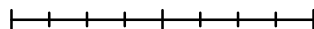


LOCATION MAP



SUBJECT LAND

0 15 30 60 Meters



N



Attachment 1
MV-2025-0010
10101 Old Shiloh Road
Page 1 of 1

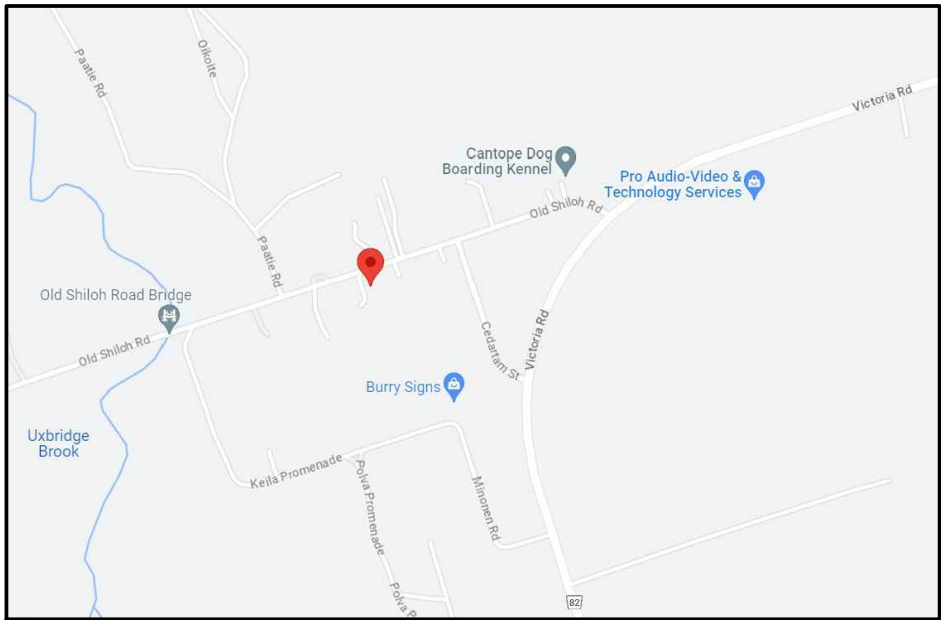
INTERIOR ALTERATION /ADDITION ON EXISTING 2 STOREY SINGLE DETACHED RESIDENTIAL 10101 OLD SHILOH RD.



EXISTING STREET FACADE

LIST OF DRAWINGS :

- A0 - COVER SHEET AND VICINITY MAP
- SP1 - SITE PLAN
- A1 - CONSTRUCTION NOTES
- A2 - CONSTRUCTION SPECIFICATIONS
- A3 - ONTARIO BUILDING CODE MATRIX & GENERAL NOTES
- A4 - EXISTING BASEMENT FLOOR PLAN & DEMOLITION NOTES
- A5 - EXISTING GROUND FLOOR PLAN & DEMOLITION NOTES
- A6 - EXISTING SECOND FLOOR PLAN & DEMOLITION NOTES
- A7 - EXISTING GROUND FLOOR PLAN & DEMOLITION NOTES
- A8 - EXISTING ELEVATIONS
- A9 - PROPOSED BASEMENT PLAN
- A10 - PROPOSED GROUND FLOOR PLAN
- A11 - PROPOSED SECOND FLOOR PLAN
- A12 - PROPOSED ROOF PLAN
- A13 - PROPOSED FRONT AND LEFT SIDE ELEVATIONS
- A14 - PROPOSED REAR AND RIGHT SIDE ELEVATIONS
- A15 - PROPOSED SECTIONAL PLANS
- A16 - SECTIONAL DETAIL "X" AND "Y" /
WALL CROSS SECTIONAL DETAILS
- A17 - TYPICAL PORCH/DECK AND STAIRS DETAILS
- A18 - TYPICAL STRUCTURAL DETAILS
- A19 - GENERAL NOTES
- A20 - DOOR AND WINDOW SCHEDULE



VICINITY / LOCATION MAP

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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1	2023.05.25	ISSUED FOR PERMIT

DESIGN



LCMA Engineering
138 Homestead Rd. Unit 11 Toronto, ON M1E 3S2
T: (647) 885 4480 E: lcma_eng@yahoo.com

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Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 1 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL

CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
COVER SHEET
VICINITY MAP

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A0
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	

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Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required

Section 6.1 (f): To legalize an interior side yard setback of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings

PROPOSED 2 STOREY SINGLE DETACHED RESIDENTIAL (ADDITION/ALTERATION TO EXISTING 1 1/2 STOREY BRICK DWELLING)
ELEVATION - EXISTING BUILDING HEIGHT

PART OF LOT 21 CONCESSION 1
PIN 03548 - 0076

- NOTES FOR LOT GRADING:
1. THE INTENT OF THE EXISTING DRAINAGE AND SLOPE PATTERN IN THE AREA OF THE SITE SHOULD BE MAINTAINED.
 2. IN COMPLIANCE WITH 9.14.6.1. OF THE ONTARIO BUILDING CODE THE SITE IS TO BE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING UNDER CONSTRUCTION AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES

SITE PLAN
SCALE 1:750

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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DO NOT SCALE DRAWINGS



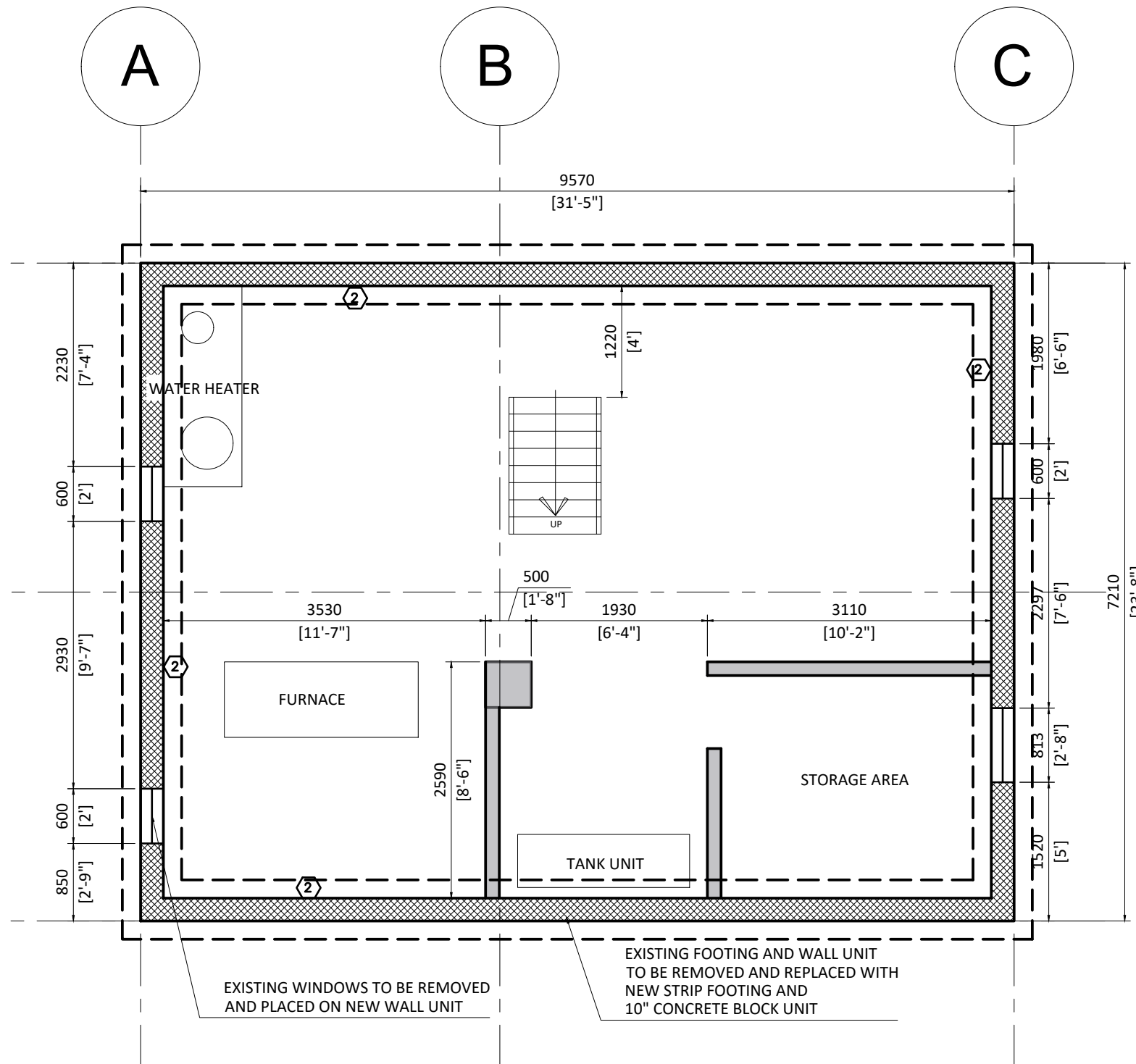
Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 2 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON EXISTING SINGLE DETACHED RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
SITE PLAN

DRAWN BY: LJMA	DRAWING NO. SP1 REV. NO. :
CHECKED BY: LCA	
SCALE: As shown	
DATE: MAY 25, 2023	

PROJECT NO.:



EXISTING BASEMENT FLOOR PLAN

SCALE: 1: 60

DEMOLITION NOTES

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- DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
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 - THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
 - REMOVAL TO BE DONE ON OVERTIME. REFER TO BUILDING DEPARTMENT RULES AND REGULATIONS.
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- REPAIR/DAMAGES:
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WALL LEGEND :

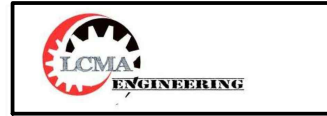
	EXST. BLOCK WALLS TO REMAIN
	EXST. STRIP FOUNDATION AND WALLS TO REMOVED AND REPLACED WITH NEW FOOTING AND 10" BLOCKWALL
	EXST. INT. WALLS / ITEMS TO REMAIN

PERIMETER STRIP FOUNDATION AND BLOCK WALL OF THE HOUSE TO REPLACE WITH NEW STRIP FOOTING AND 10" CONCRETE BLOCK WALL UNIT

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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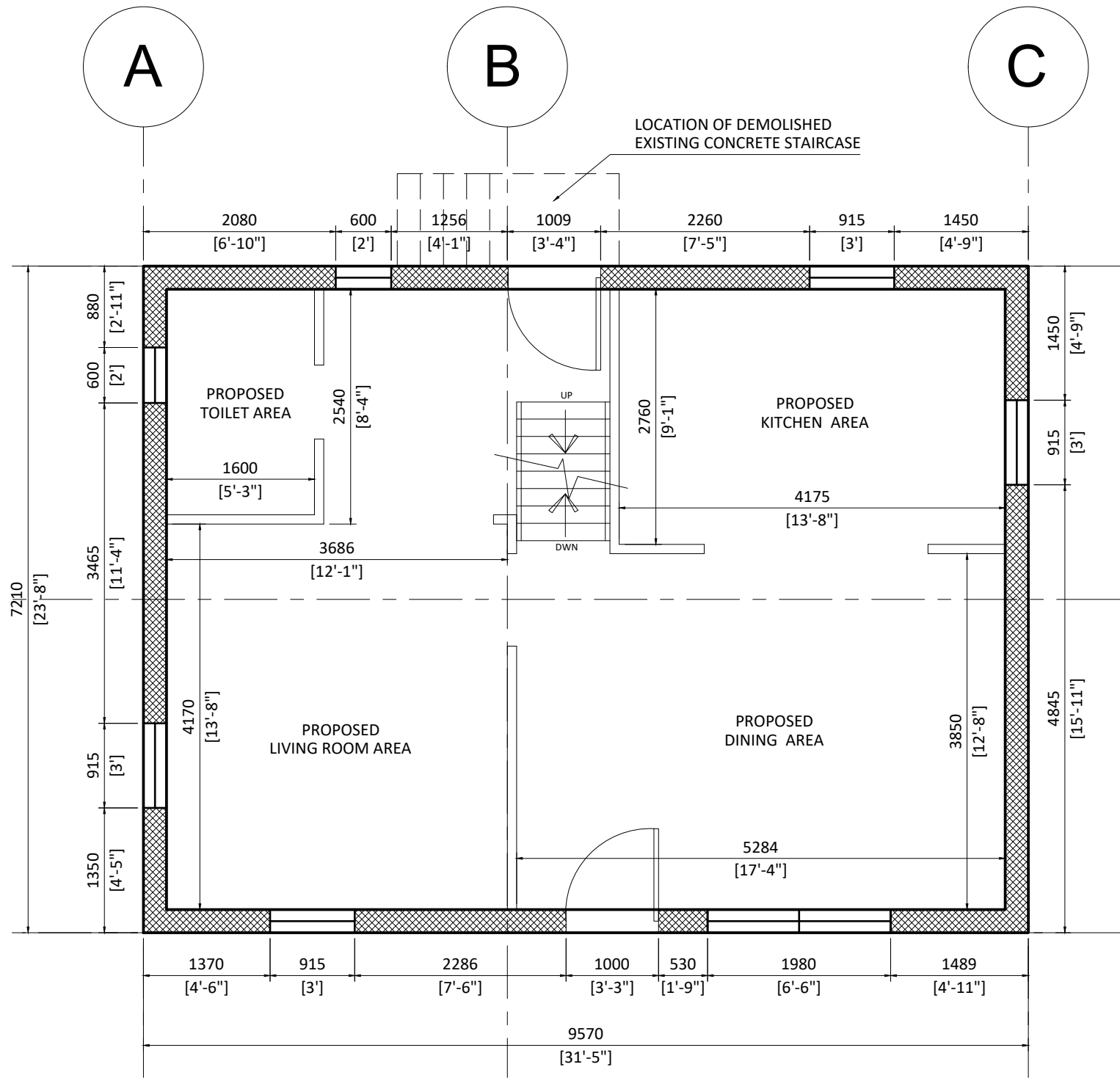
Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 3 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON EXISTING SINGLE DETACHED RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
EXISTING BASEMENT FLOOR PLANS & DEMOLITION NOTES

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A4
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :

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EXISTING GROUND FLOOR PLAN

SCALE: 1: 60

DEMOLITION NOTES

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 - THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
 - REMOVAL TO BE DONE ON OVERTIME. REFER TO BUILDING DEPARTMENT RULES AND REGULATIONS.
- PROTECTION:
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- REPAIR/DAMAGES:
 - THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGES IN THE SURROUNDING AREAS AND IN THE AREA OF WORK CAUSED BY DEMOLITION AND CONSTRUCTION PERFORMED IN THE AREA OF WORK.

WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	EXST. WALL FRAMING TO REMAIN

EXISTING INTERIOR WALL OF THE HOUSE
ALREADY GUTTED OUT

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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DESIGN



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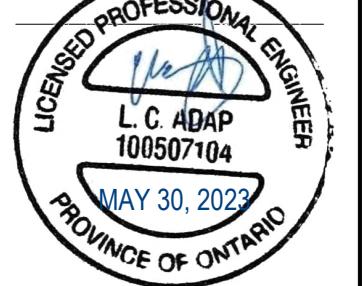
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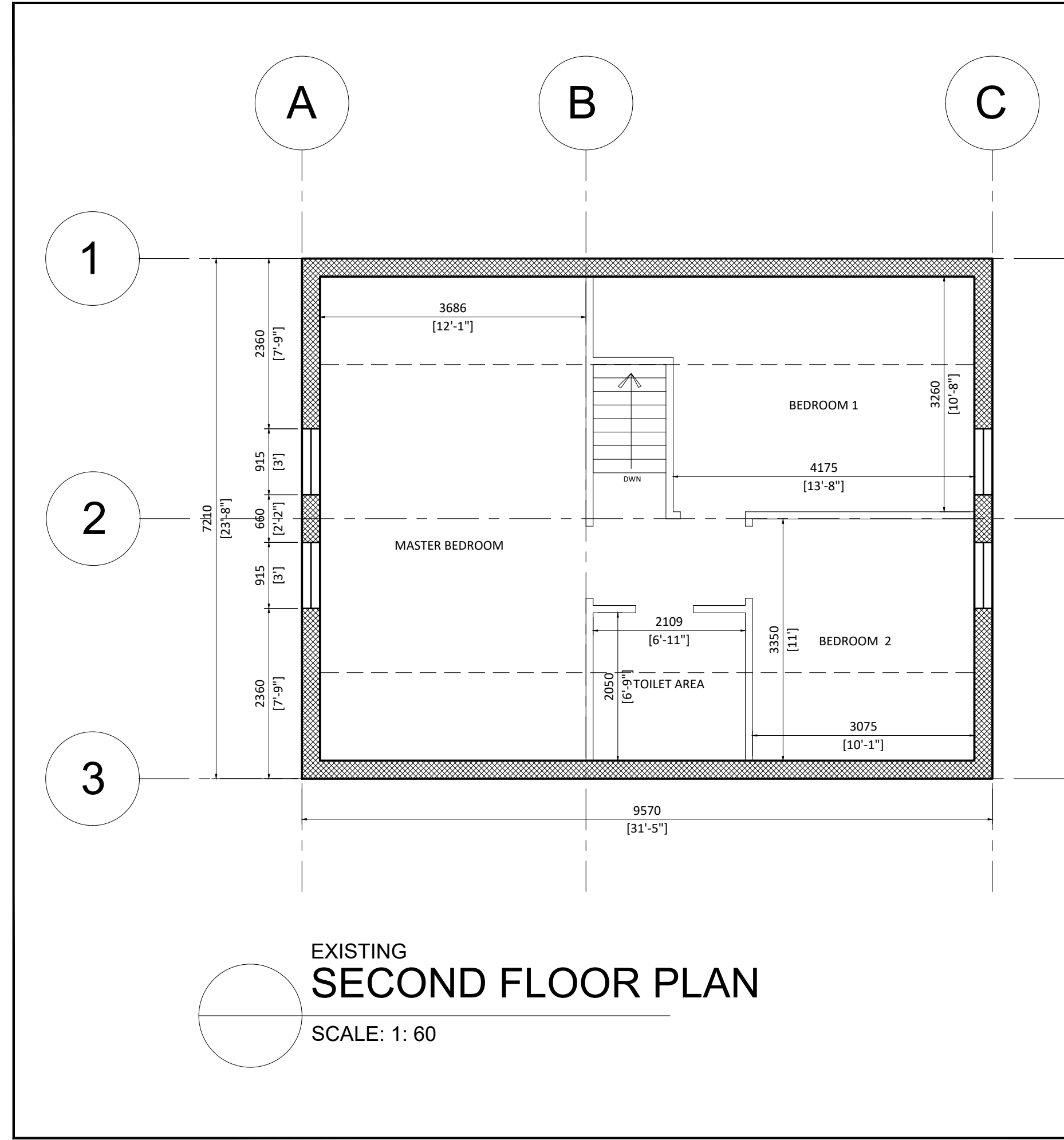


Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 4 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
EXISTING GROUND FLOOR PLAN &
DEMOLITION NOTES

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A5
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	PROJECT NO.:



DEMOLITION NOTES

1. SEE ALL ARCHITECTURAL DRAWINGS FOR OTHER APPLICABLE NOTES AND SPECIFICATIONS.
2. DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
3. DEBRIS REMOVAL:

3.1. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE.

3.1.1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM THE BUILDING PREMISES ON A DAILY BASIS. DO NOT MIX DEMOLITION DEBRIS WITH THAT OF BUILDING OCCUPANTS.

3.1.2. THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.

3.1.3. REMOVAL TO BE DONE ON OVERTIME. REFER TO BUILDING DEPARTMENT RULES AND REGULATIONS.
4. PROTECTION:

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4.4. THE CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION. THERE IS TO BE MINIMAL DUST INFILTRATION FROM THE CONSTRUCTION AREAS AND THE PUBLIC WAY.
5. REPAIR/DAMAGES:

5.1. THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGES IN THE SURROUNDING AREAS AND IN THE AREA OF WORK CAUSED BY DEMOLITION AND CONSTRUCTION PERFORMED IN THE AREA OF WORK.

WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	EXST. WALL FRAMING TO REMAIN

EXISTING INTERIOR WALL OF THE HOUSE
ALREADY GUTTED OUT.
EXISTING ROOF TO BE REMOVED

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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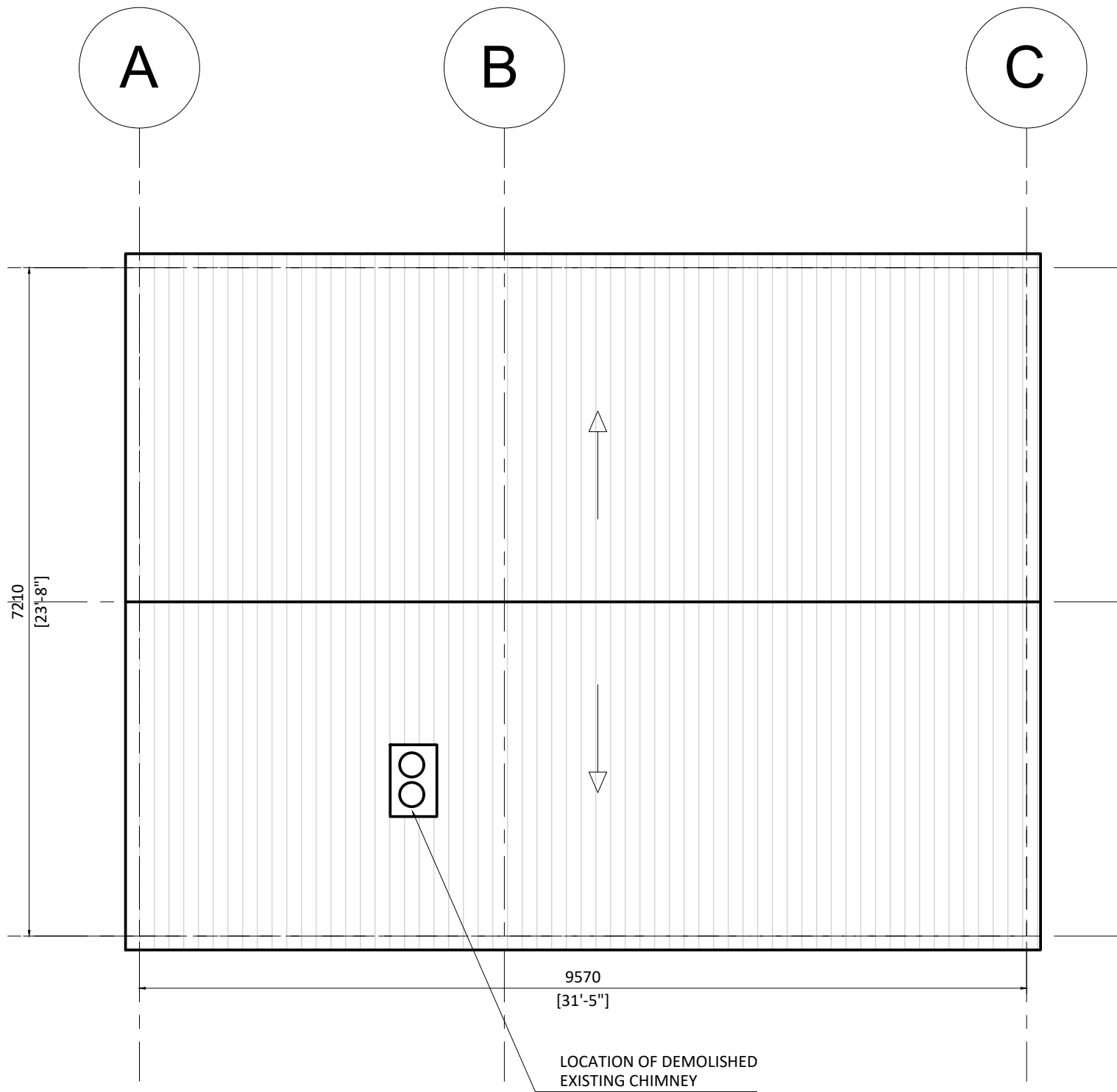


Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 5 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
EXISTING SECOND FLOOR PLAN &
DEMOLITION NOTES

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A6
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :


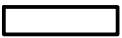


EXISTING
ROOF PLAN
SCALE: 1: 60

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WALL LEGEND :

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	EXST. WALL FRAMING TO REMAIN

EXISTING ROOF UNIT TO BE REMOVE AND
LONGITUDINAL WALLS TO BE STRAIGHTENED
UP

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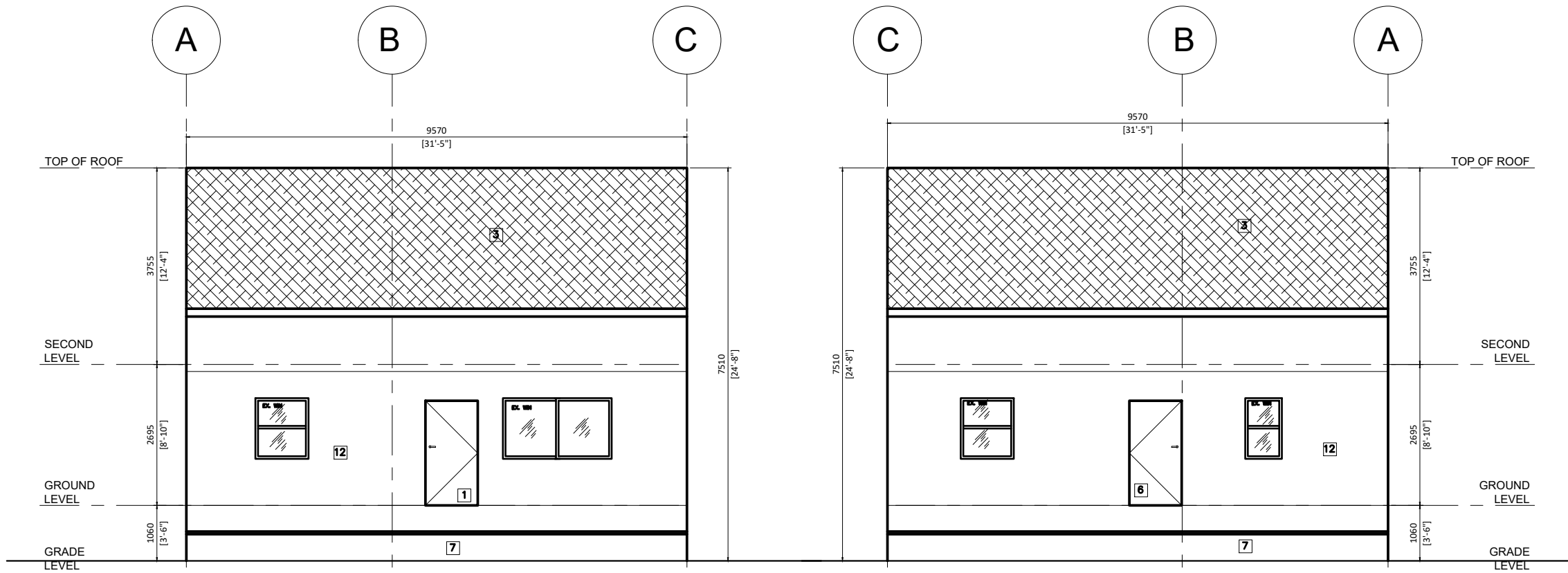


Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 6 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

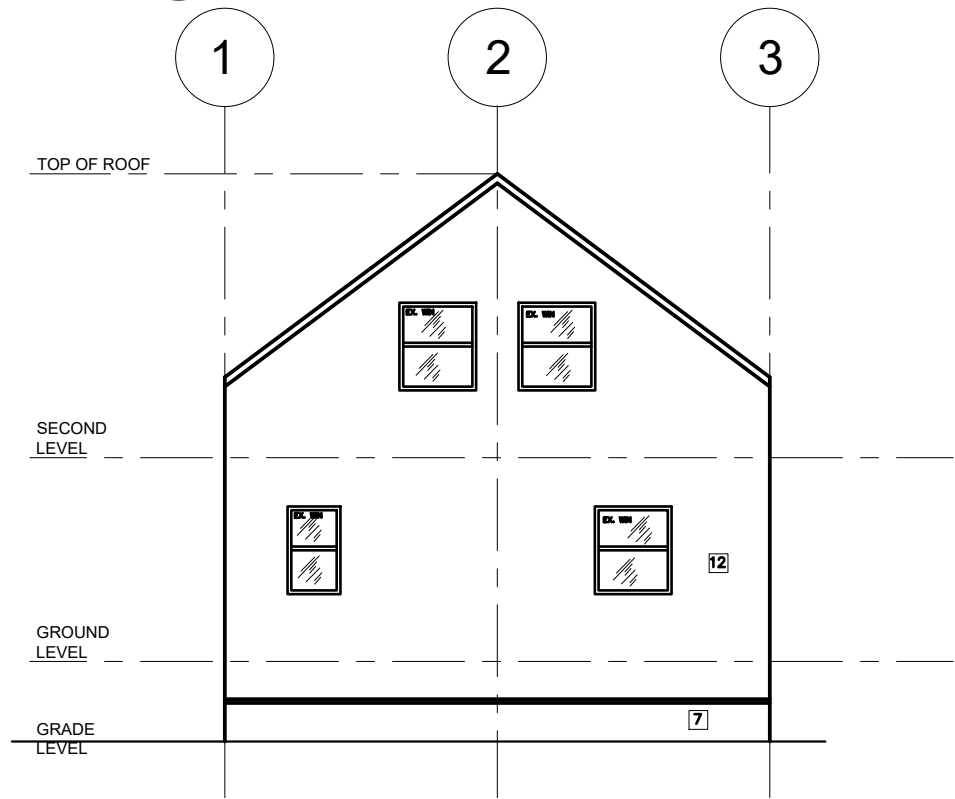
DRAWING TITLE :
**EXISTING ROOF PLAN &
DEMOLITION NOTES**

DRAWN BY: LJMA	A7
CHECKED BY: LCA	
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :

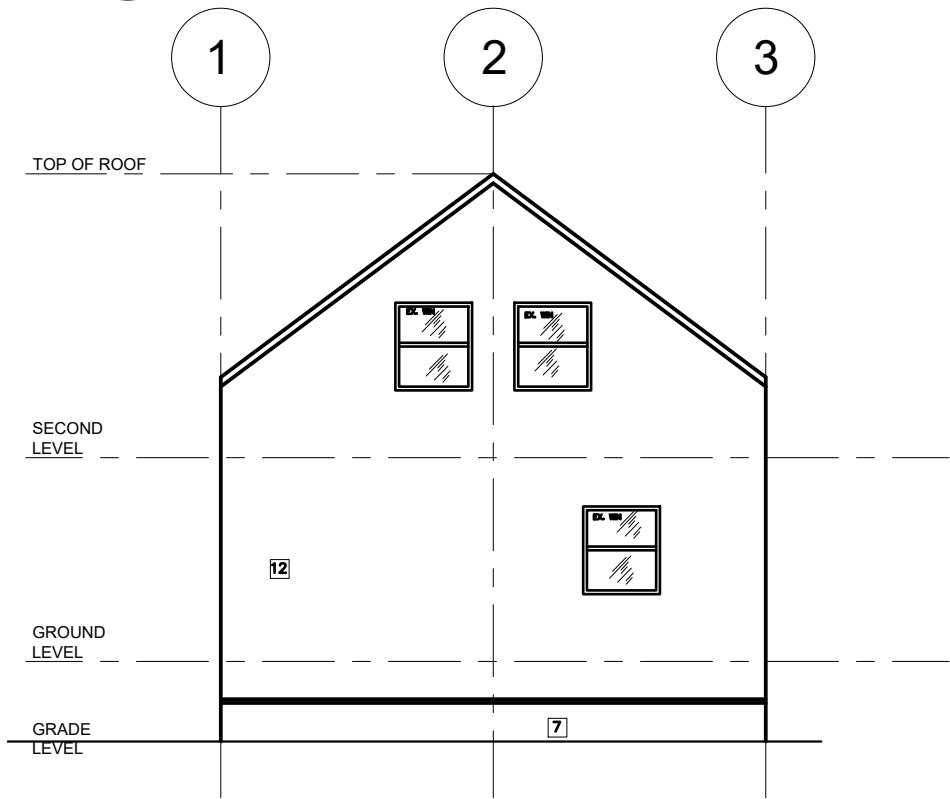


EXISTING
FRONT SIDE ELEVATION
SCALE: 1: 100

EXISTING
REAR SIDE ELEVATION
SCALE: 1: 100



EXISTING
LEFT SIDE ELEVATION
SCALE: 1: 100



EXISTING
RIGHT SIDE ELEVATION
SCALE: 1: 100

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NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT



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T: (647) 885 4480 E: lcma_eng@yahoo.com

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DO NOT SCALE DRAWINGS



Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 7 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

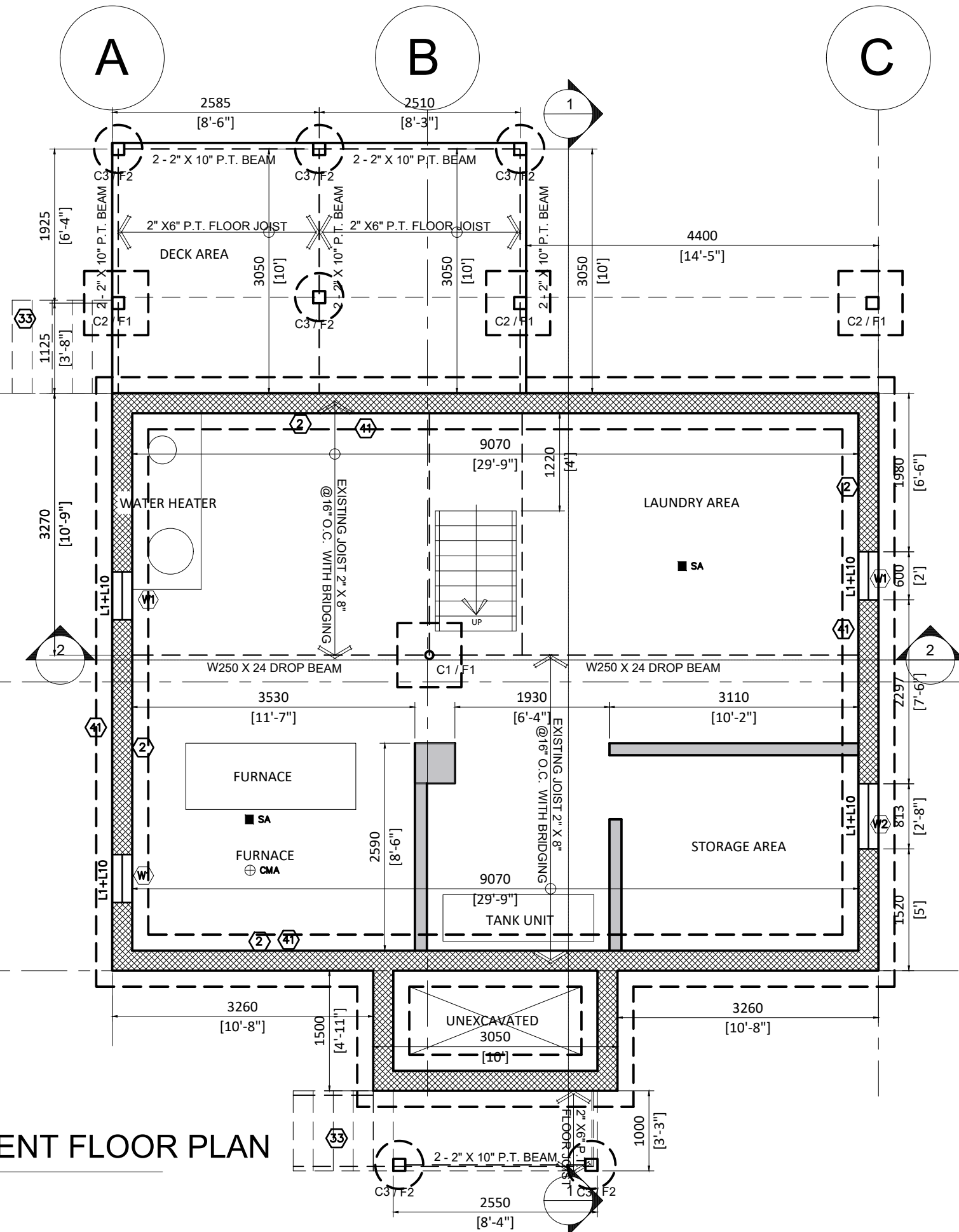
DRAWING TITLE :
EXISTING ELEVATIONS

DRAWN BY: LJMA	DRAWING NO. A8
CHECKED BY: LCA	
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :

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PROPOSED
BASEMENT FLOOR PLAN

SCALE: 1: 60



WALL LEGEND :

	EXST. BLOCK WALLS TO REMAIN
	EXST. WALLS TO REMOVED AND REPLACED WITH NEW 10" BLOCK WALL
	EXST. INT. WALLS / ITEMS TO REMAIN

FOOTING AND COLUMN LEGEND :

F1	30" X30 " X 10" CONC. FOOTING REINF.D/W (3) 15M REBARS BOTHWAYS
F2	24" X 4' SONOTUBE FOOTING FOR DECK FOOTING
C1	3 1/2" Ø STEEL COLUMN PIPE WITH 8" X 8" X 1/2" STEEL PLATE T&B ANCHOR EMBEDDED 6" MIN. TO CONCRETE FOOTING
C2	6" X 6" P.T. WOOD POST ANCHORED TO 12" X12" X 5' CONCRETE PIER REINF.D W/ 4-15M VERT. BARS & 10M STIRRUPS @ 10" O.C.
C3	6" X 6" P.T. WOOD POST ANCHORED TO SONOTUBE FOOTING

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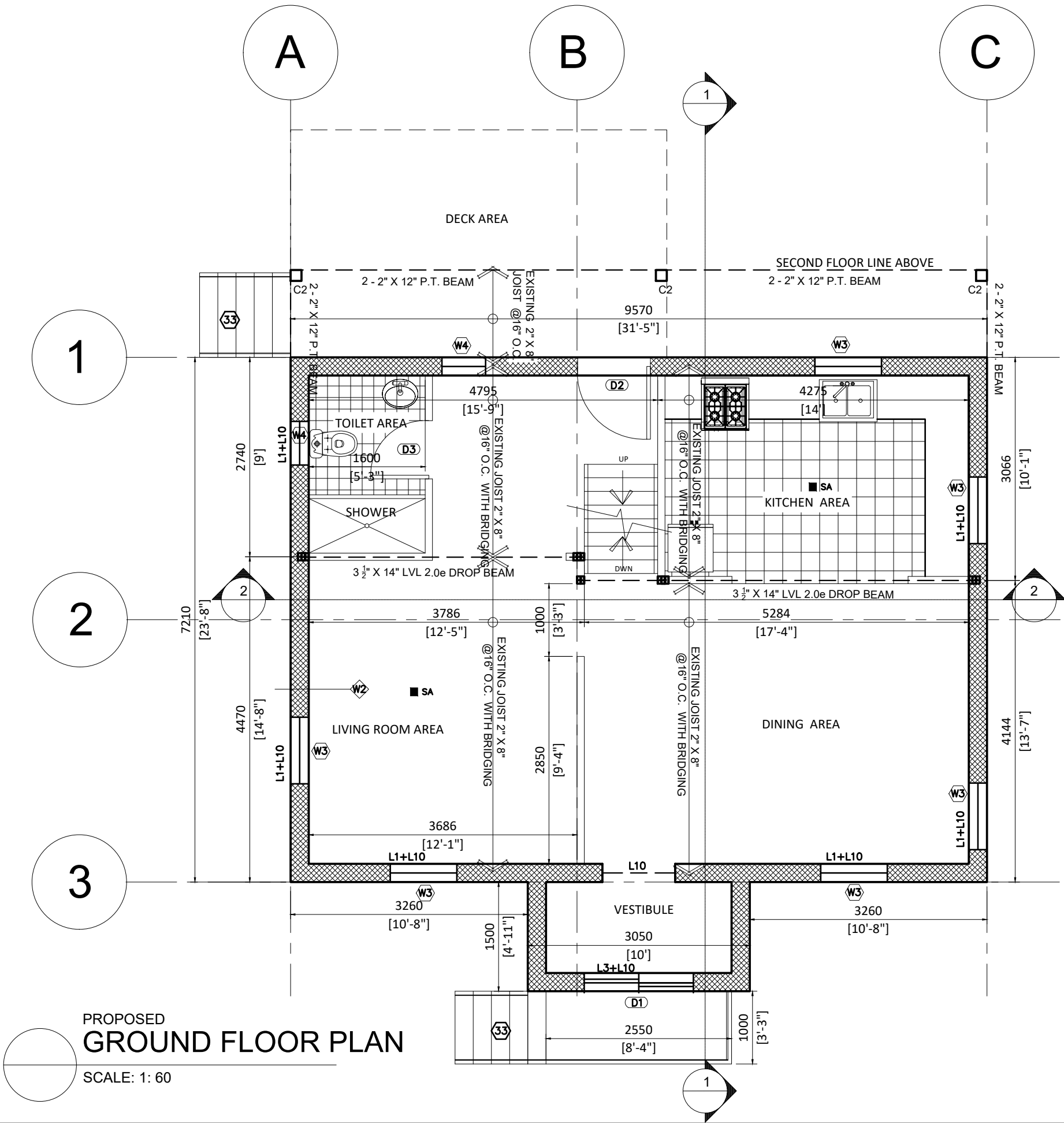
Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 8 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON
EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
PROPOSED BASEMENT PLAN

DRAWN BY: LJMA	DRAWING NO. A9 REV. NO. :
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DATE: MAY 25, 2023	
PROJECT NO.:	

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WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	INT. WALL FRAMING

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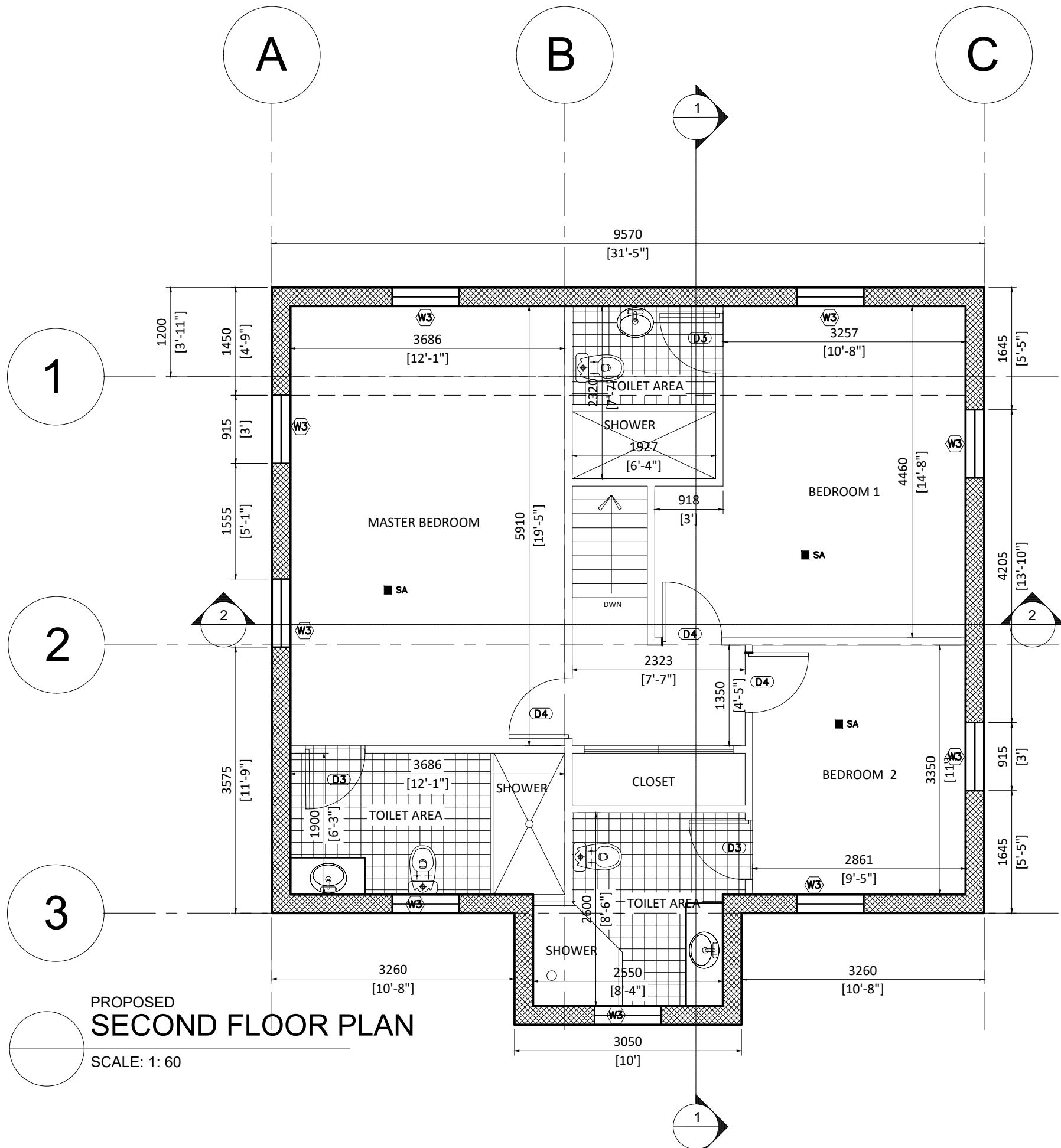
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10101 Old Shiloh Road
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EXISTING SINGLE DETACHED
RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
PROPOSED GROUND FLOOR

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A10
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	

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DO NOT SCALE DRAWING



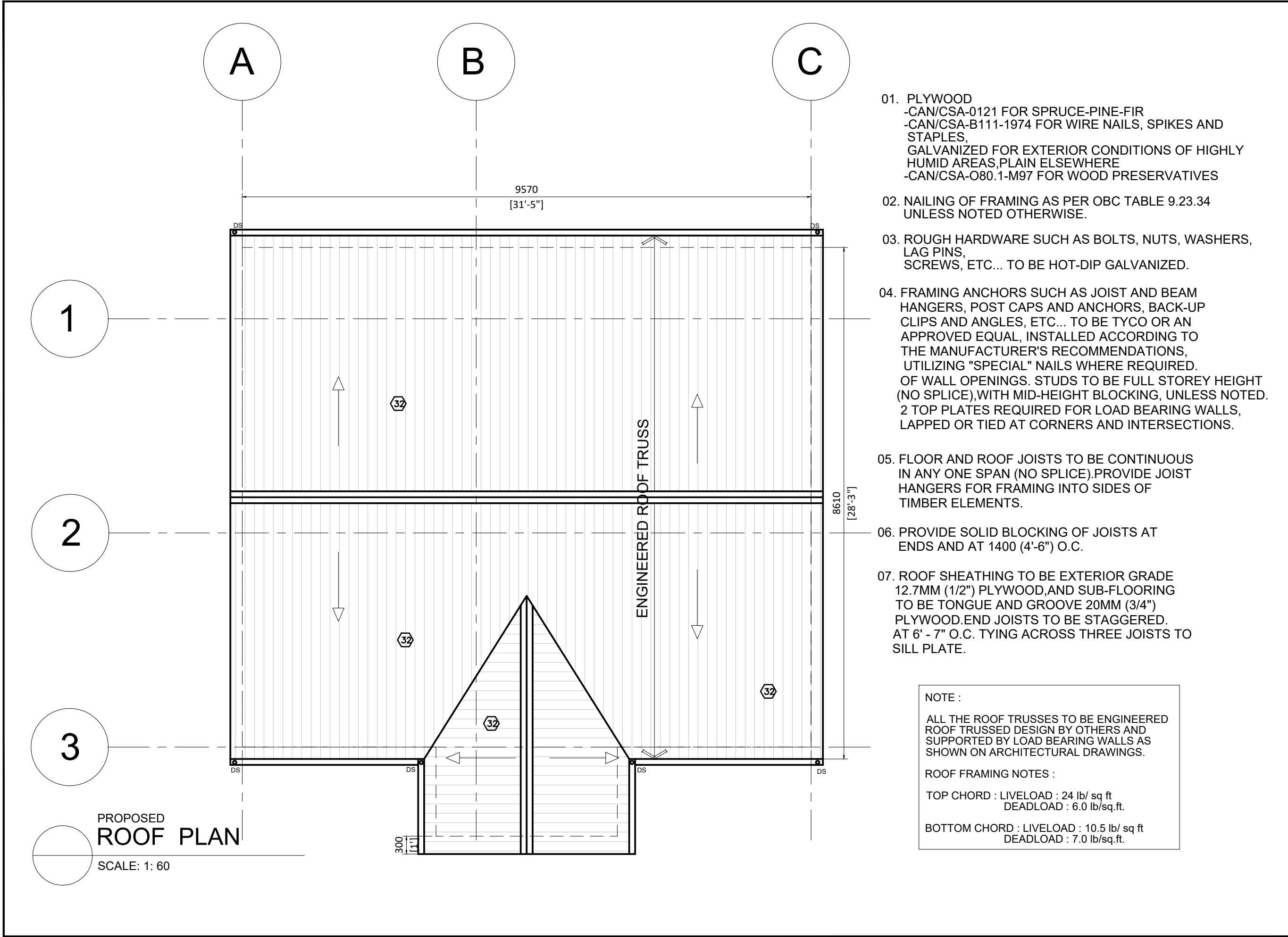
Attachment 3
MV-2025-0010
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Page 10 of 14

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RESIDENTIAL
CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
PROPOSED SECOND FLOOR

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A11
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	

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01. PLYWOOD
-CAN/CSA-0121 FOR SPRUCE-PINE-FIR
-CAN/CSA-B111-1974 FOR WIRE NAILS, SPIKES AND STAPLES,
GALVANIZED FOR EXTERIOR CONDITIONS OF HIGHLY HUMID AREAS,PLAIN ELSEWHERE
-CAN/CSA-O80.1-M97 FOR WOOD PRESERVATIVES
02. NAILING OF FRAMING AS PER OBC TABLE 9.23.34 UNLESS NOTED OTHERWISE.
03. ROUGH HARDWARE SUCH AS BOLTS, NUTS, WASHERS, LAG PINS, SCREWS, ETC... TO BE HOT-DIP GALVANIZED.
04. FRAMING ANCHORS SUCH AS JOIST AND BEAM HANGERS, POST CAPS AND ANCHORS, BACK-UP CLIPS AND ANGLES, ETC... TO BE TYCO OR AN APPROVED EQUAL, INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, UTILIZING "SPECIAL" NAILS WHERE REQUIRED. OF WALL OPENINGS. STUDS TO BE FULL STOREY HEIGHT (NO SPLICE),WITH MID-HEIGHT BLOCKING, UNLESS NOTED. 2 TOP PLATES REQUIRED FOR LOAD BEARING WALLS, LAPPED OR TIED AT CORNERS AND INTERSECTIONS.
05. FLOOR AND ROOF JOISTS TO BE CONTINUOUS IN ANY ONE SPAN (NO SPLICE).PROVIDE JOIST HANGERS FOR FRAMING INTO SIDES OF TIMBER ELEMENTS.
06. PROVIDE SOLID BLOCKING OF JOISTS AT ENDS AND AT 1400 (4'-6") O.C.
07. ROOF SHEATHING TO BE EXTERIOR GRADE 12.7MM (1/2") PLYWOOD,AND SUB-FLOORING TO BE TONGUE AND GROOVE 20MM (3/4") PLYWOOD.END JOISTS TO BE STAGGERED. AT 6' - 7" O.C. TYING ACROSS THREE JOISTS TO SILL PLATE.

NOTE :
ALL THE ROOF TRUSSES TO BE ENGINEERED ROOF TRUSSED DESIGN BY OTHERS AND SUPPORTED BY LOAD BEARING WALLS AS SHOWN ON ARCHITECTURAL DRAWINGS.

ROOF FRAMING NOTES :
TOP CHORD : LIVELOAD : 24 lb/ sq ft
DEADLOAD : 6.0 lb/sq.ft.
BOTTOM CHORD : LIVELOAD : 10.5 lb/ sq ft
DEADLOAD : 7.0 lb/sq.ft.

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DESIGN



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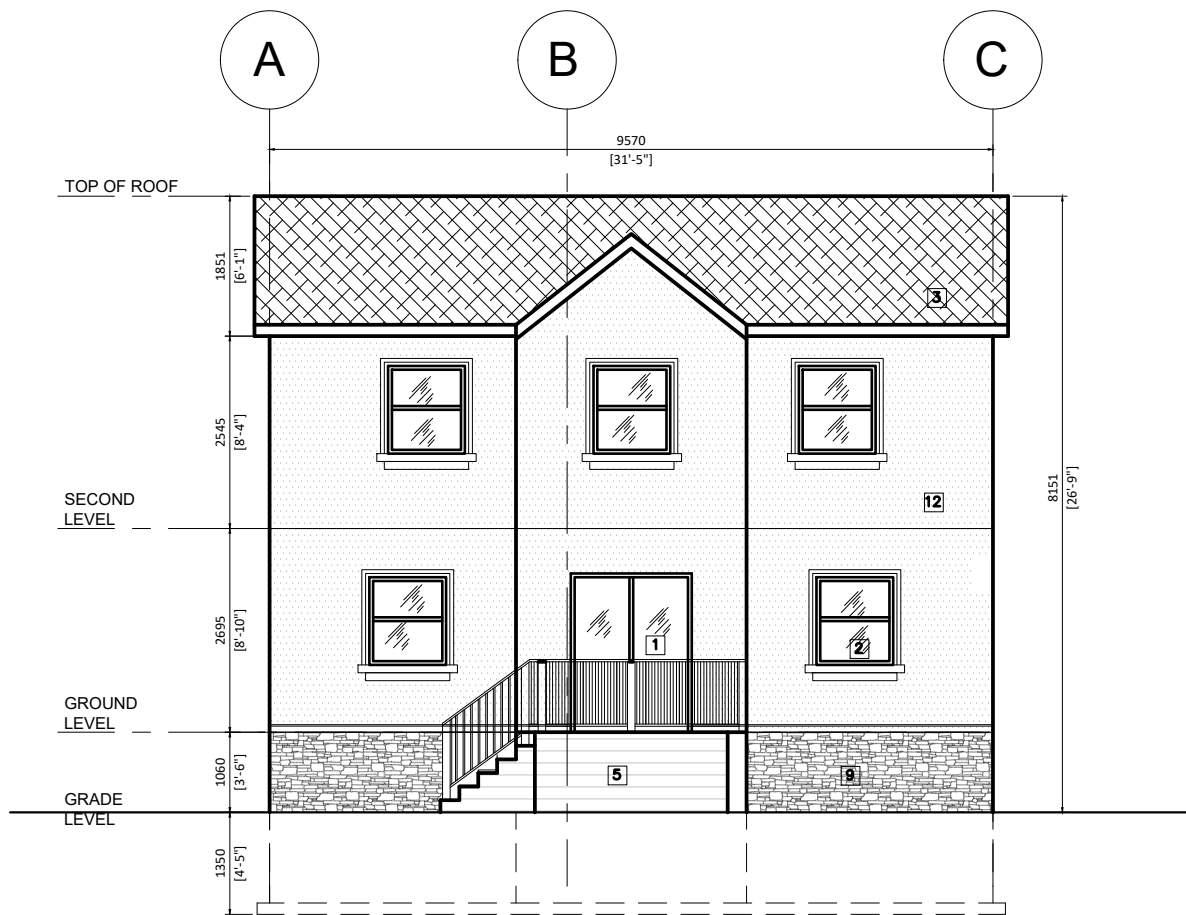
Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 11 of 14

PROJECT TITLE:
INTERIOR ALTERATION/ADDITION ON EXISTING SINGLE DETACHED RESIDENTIAL

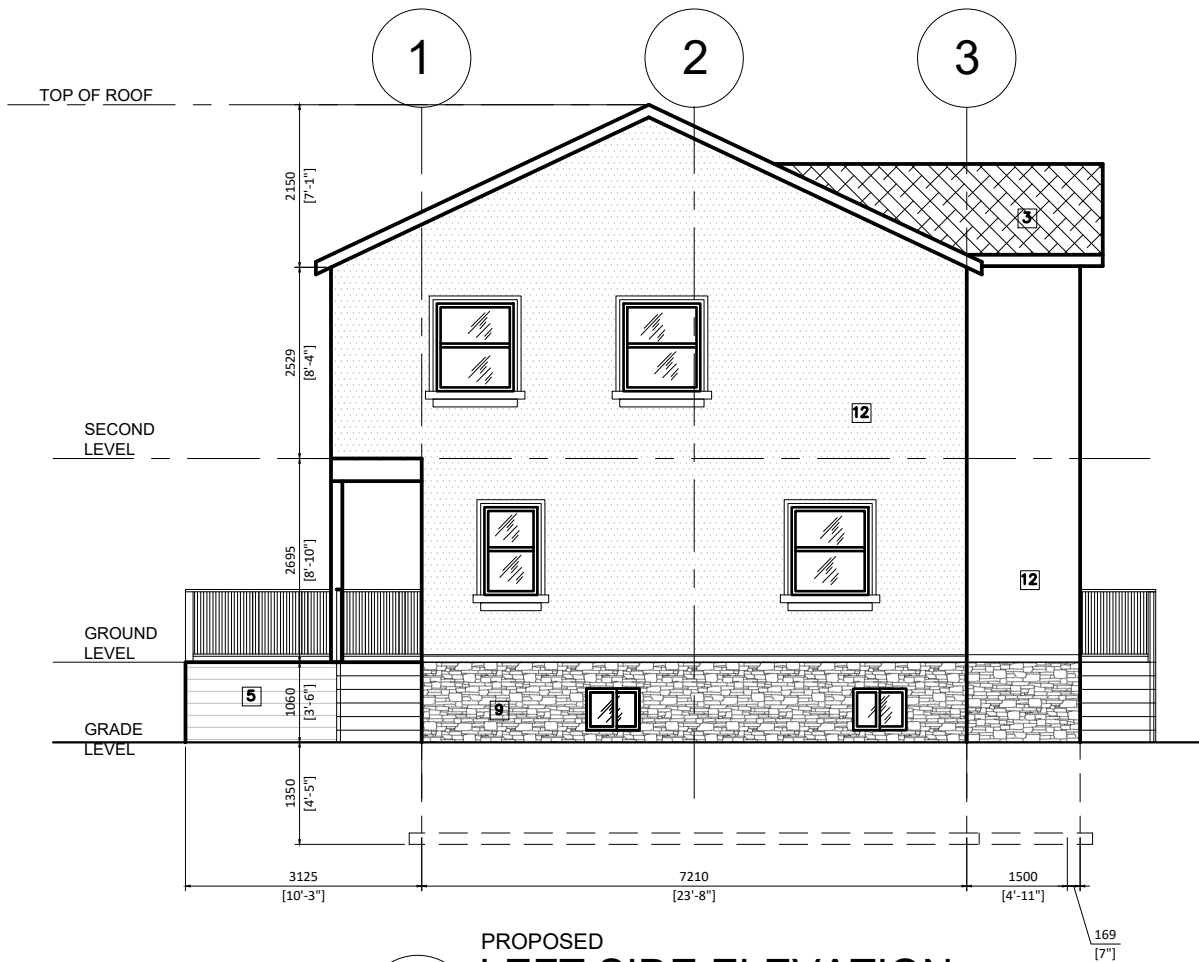
CLIENT : MR. AND MRS. WALTER DE PAZ
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DRAWING TITLE :
PROPOSED ROOF PLAN

DRAWN BY:	DRAWING NO.
LJMA	A12
CHECKED BY:	
LCA	
SCALE:	
As shown	
DATE:	
MAY 25, 2023	
PROJECT NO.:	



PROPOSED
FRONT SIDE ELEVATION
SCALE: 1: 100



PROPOSED
LEFT SIDE ELEVATION
SCALE: 1: 100

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Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 12 of 14

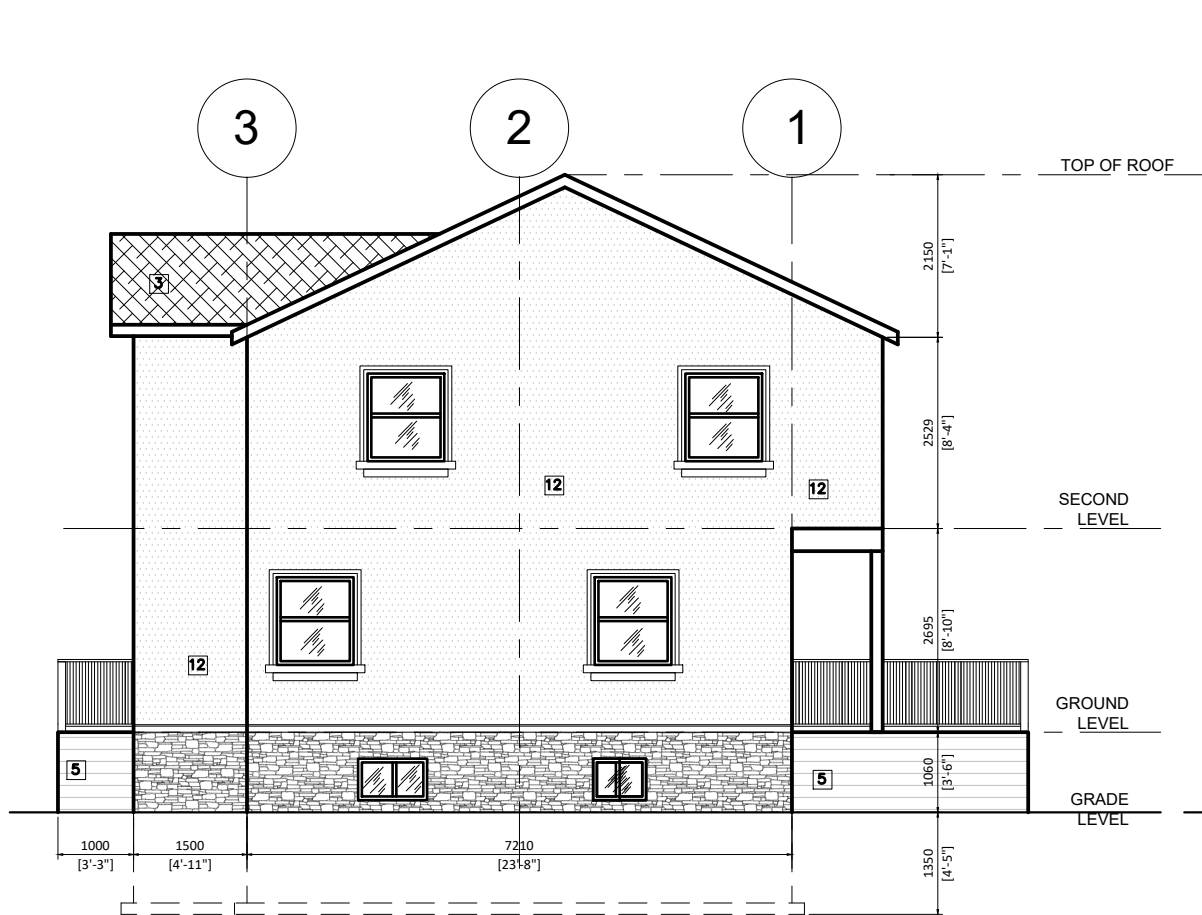
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CLIENT : MR. AND MRS. WALTER DE PAZ
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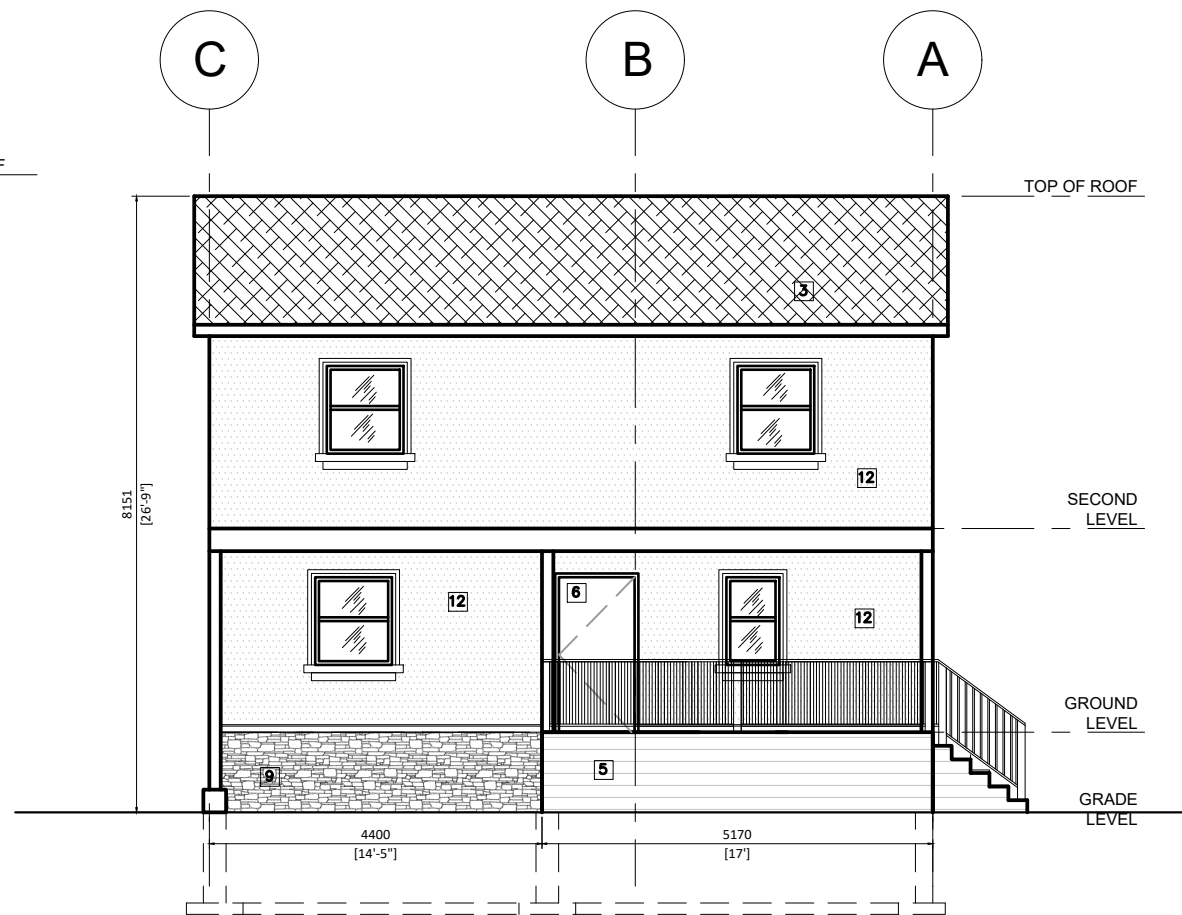
DRAWING TITLE :
PROPOSED FRONT AND LEFT SIDE
ELEVATIONS

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A13
SCALE: As shown	
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PROPOSED
REAR SIDE ELEVATION
SCALE: 1: 100



PROPOSED
RIGHT SIDE ELEVATION
SCALE: 1: 100

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DESIGN



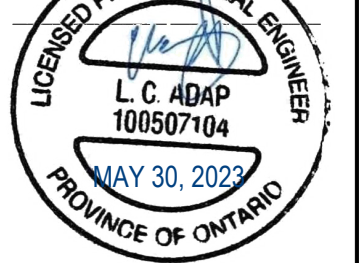
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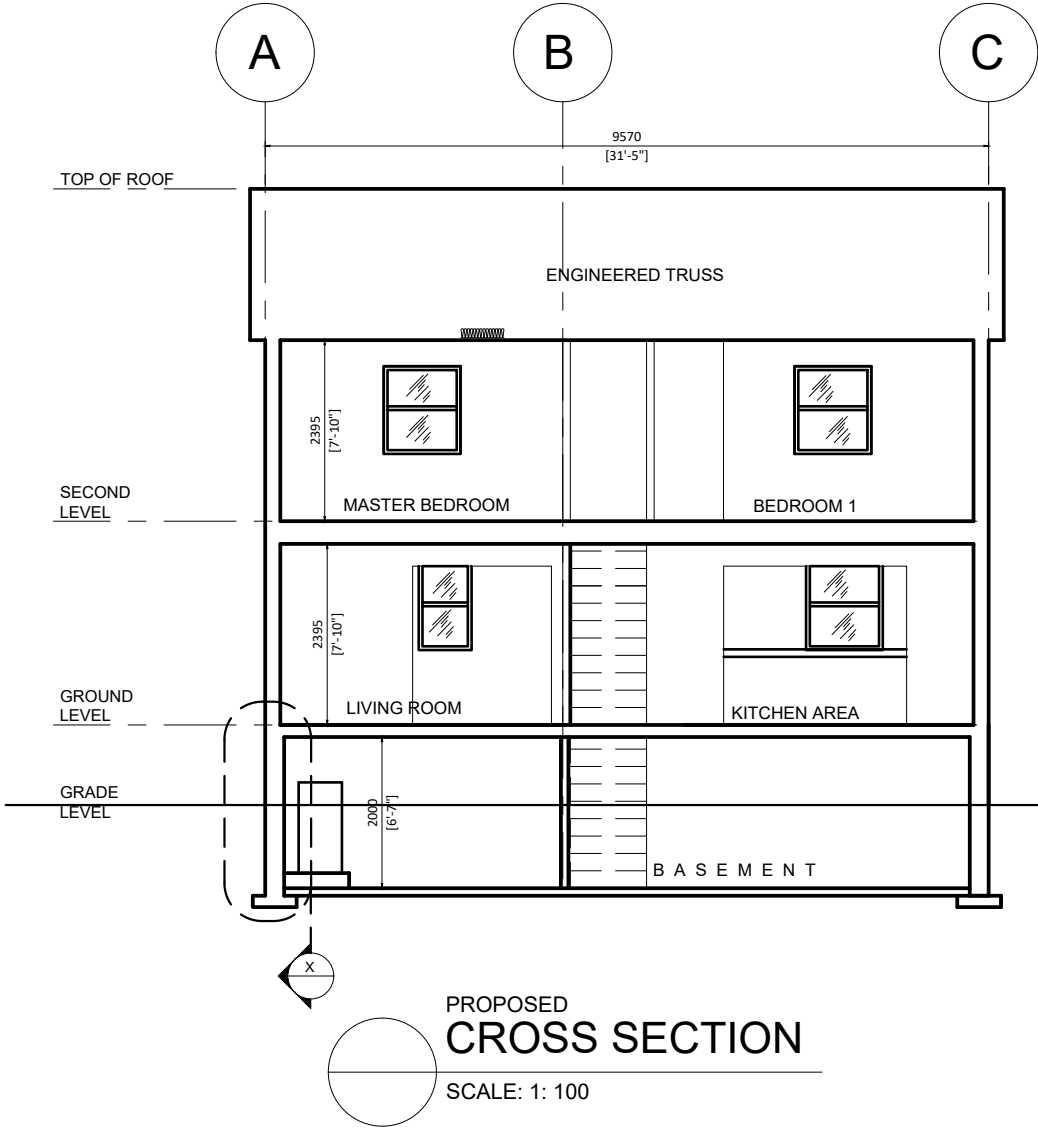
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Page 13 of 14

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CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

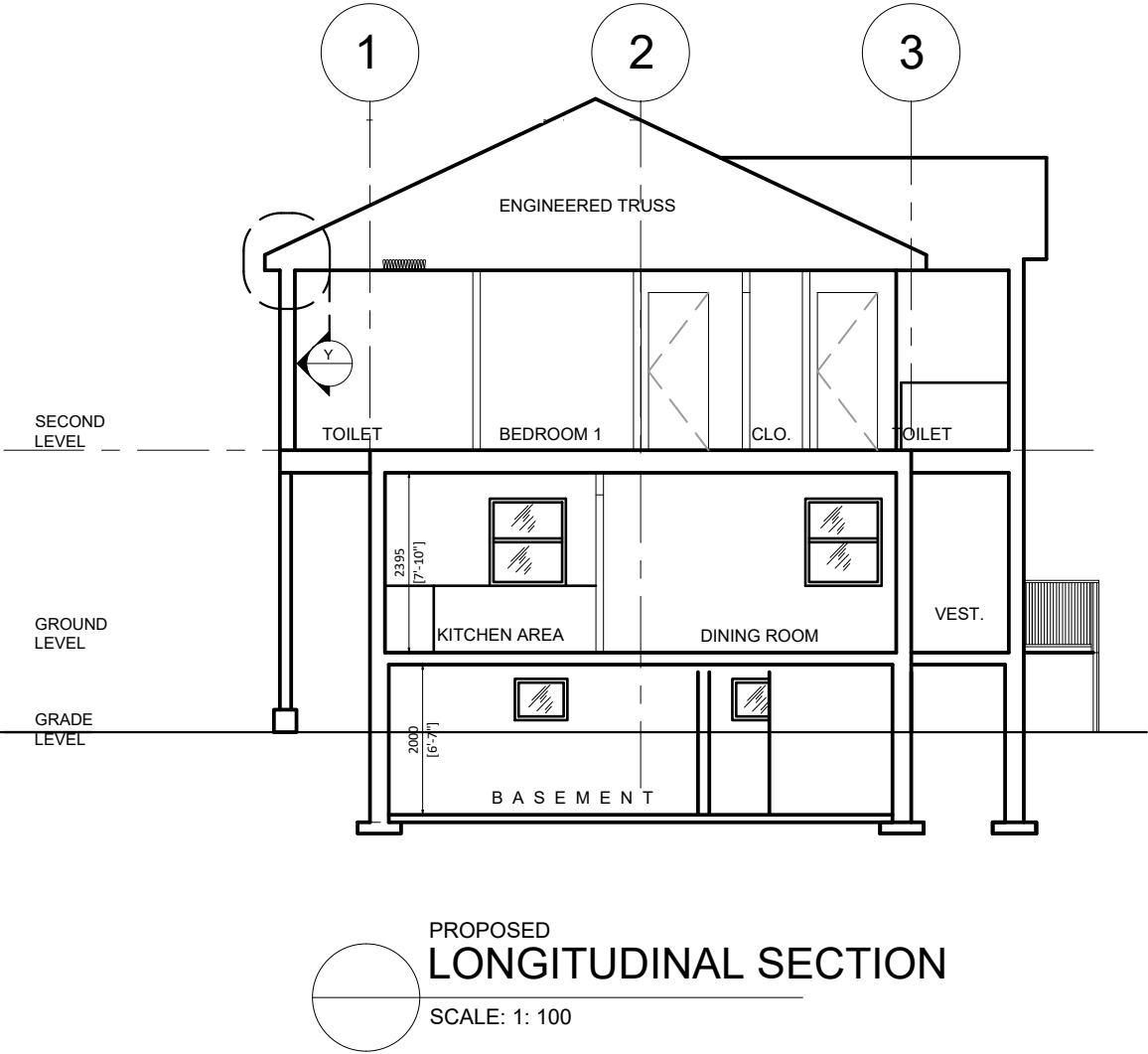
DRAWING TITLE :
PROPOSED REAR AND RIGHT SIDE
ELEVATIONS

DRAWN BY: LJMA	DRAWING NO.
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SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	

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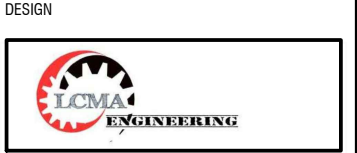
PROPOSED
CROSS SECTION
SCALE: 1: 100



PROPOSED
LONGITUDINAL SECTION
SCALE: 1: 100

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Attachment 3
MV-2025-0010
10101 Old Shiloh Road
Page 14 of 14

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CLIENT : MR. AND MRS. WALTER DE PAZ
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :
PROPOSED SECTIONAL PLANS

DRAWN BY: LJMA	DRAWING NO.
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Site Photos

10101 Old Shiloh Road
Facing South



10101 Old Shiloh Road
Facing West



10101 Old Shiloh Road
Facing West



10101 Old Shiloh Road
Facing North



10101 Old Shiloh Road
Facing South



10101 Old Shiloh Road
Facing East



Consolidated Comments for MV-2025-0010 - 10101 Old Shiloh Road

Department/Agency	Date Received	Response:
Building Division	June 13, 2025	No Concern, please note any alterations will need to comply with the Ontario Building and may include an evaluation of the sewage system
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	June 24, 2025	See Attached
Economic Development		
Georgina Fire Department	June 18, 2025	No Objections
Municipal Law	June 6, 2025	No comments
Operations & Infrastructure	June 23, 2025	No Objections or Concerns
Policy Planning	June 20, 2025	No comments
Tax & Revenue	June 7, 2025	No Tax Concerns
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)		
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	June 9, 2025	No comments or concerns
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers		

Consolidated Comments for MV-2025-0010 - 10101 Old Shiloh Road

Southlake Regional Health Centre		
York Catholic Separate District School Board	June 6, 2025	No comments or objections
York Region - Community Planning & Development Services	June 11, 2025	No comment
York Region District School Board	June 9, 2025	No comments or concerns
York Regional Police		

To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Iampietro, Manager, Development Engineering
Monika Saddler, Planner
Cory Repath, Sr. Development Inspector
Ashwin Kannuthurai, Junior Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: June 20th, 2025

Re: MINOR VARIANCE MV-2025-0010
10101 Old Shiloh Road, Georgina
CON 1 PT LOT 21
Roll No.: 022-160

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0010:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing engineering2@georgina.ca to fulfill your conditions, or if you have any questions or concerns, please email ssial@georgina.ca.