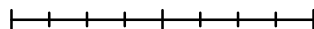


LOCATION MAP



SUBJECT LAND

0 12.5 25 50 Meters



N

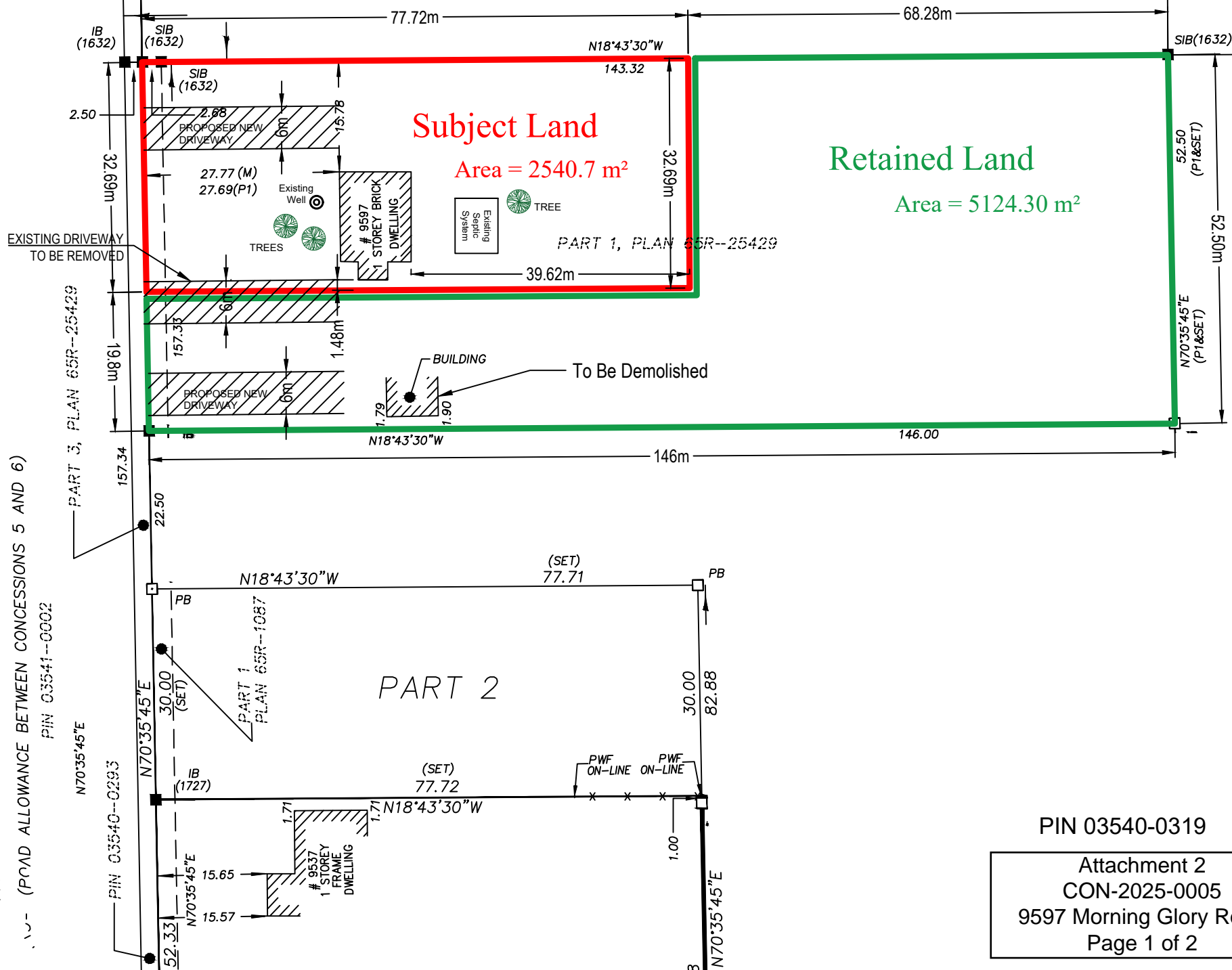


Attachment 1
CON-2025-0005 9597 Morning
Glory Road
Page 1 of 1

MORNING GLORY ROAD

12- (PCAD ALLOWANCE BETWEEN CONCESSIONS 5 AND 6)

PIN 03541--0002



PIN 03540-0319

Attachment 2

CON-2025-0005

9597 Morning Glory Road
Page 1 of 2

Site Photos

9597 Morning Glory Road
Facing South



9597 Morning Glory Road
Facing South



9597 Morning Glory Road
Facing North



9597 Morning Glory Road
Facing South



9597 Morning Glory Road
Facing East



9597 Morning Glory Road
Facing West



To: Brianna Raines, Secretary-Treasurer - Committee of Adjustments

From: Saleem Sail, Senior Development Technologist
Mike Iampietro, Manager, Development Engineering

cc: Domenic Romano, Development Inspector
Ashwin Kannuthurai, Junior Development Inspector
Michelle Gunn, Development Engineering Clerk

Date: May 14th, 2025

Re: CON-2025-005, 9597 Morning Glory Rd CONCESSION 5 PART LOT 20 REFERENCE PLAN
65R-254029 PART 1
ROLL NO.: 052-9501
9597 Morning Glory Rd

The Development Engineering Division has no objection to Consent Application No. CON-2025-005, subject to the following conditions being fulfilled to the Engineering Development Division's satisfaction:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a Site Alteration and Entrance Permit may also be required. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing engineering2@georgina.ca to fulfill your conditions, or if you have any questions or concerns, please email ssial@georgina.ca.