

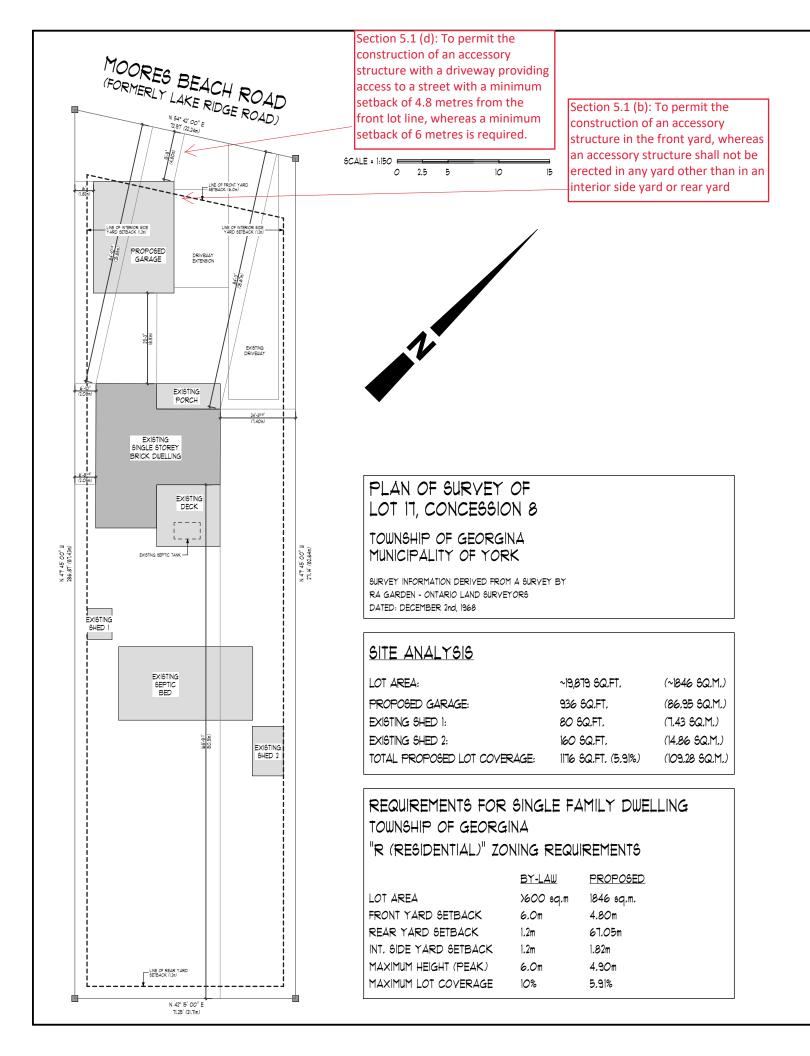


LOCATION MAP

0 5 10 20 Meters



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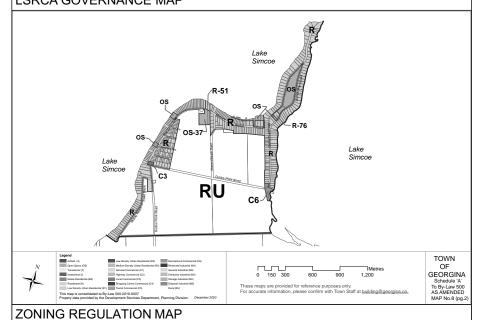




GOOGLE MAPS - SITE LOCATION



LSRCA GOVERNANCE MAP





905.505.0781 class5design@gmail.com

QUALIFICATION INFORMATION THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AS WELL AS HAVIN THE QUALIFICATION AND REQUIREMENTS MANDATE BY THE ONTARIO BUILDING CODE TO BE A DESIGNE JASON BOYD ASSON BOYD ASSON BOYD ASSON BOYD ASSON BOYD ASSON BOYD CASCAL TO THE ONTARIO BUILDING CODE REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DI C-3.2.4 OF THE ONTARIO BUILDING CODE CLASS 5 DESIGN 103157

ENGINEERING

B.C.I.N.

143 MOORES BEACH ROAD Georgina, ON.

PROJECT TITLE:

Proposed Accessory Structure

ISSUED FOR:

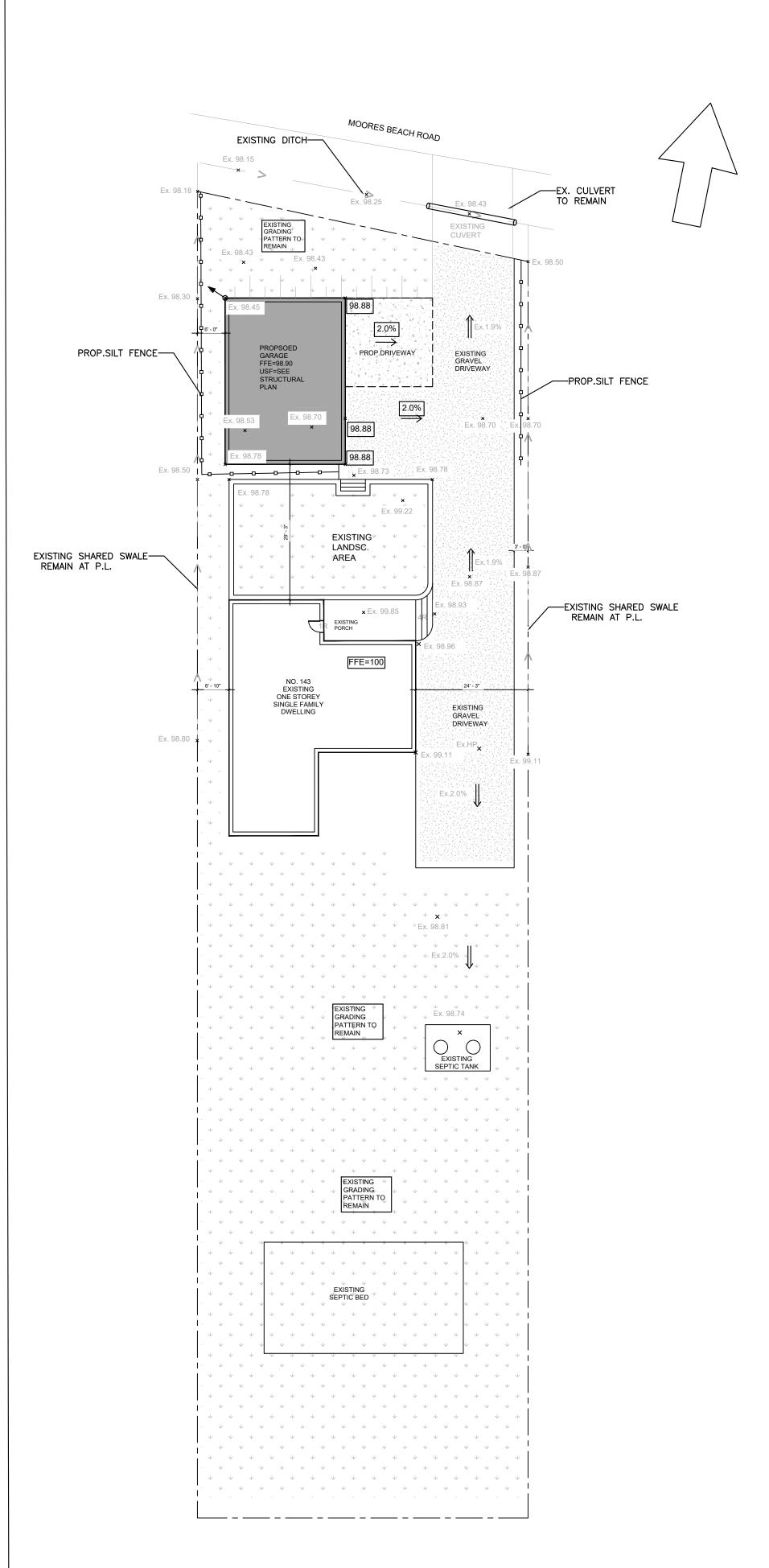
PERMIT

DESIGNED BY:

PROJECT ID: C5D_588

PLOT DATE: 2025-03-18

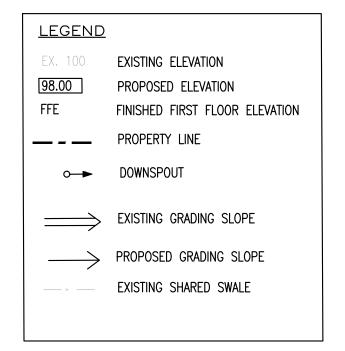
Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 1 of 8





ADDRESS: 143 MOORES BEACH RD, GEORGINA

Assessment Roll Legal: CON 8 PT LOT Description: 17



NOTES

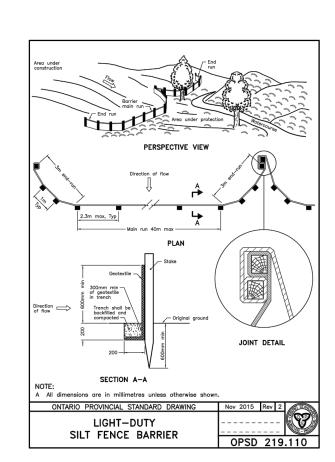
- 1. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL TOWN BYLAWS.
- 2. THE MINIMUM GRADIENT ON ANY DRIVEWAY SHALL BE 2.0%. 3. THE MAXIMUM GRADIENT ON ANY DRIVEWAY SHALL BE 7.5%.
- 4. MINIMUM SWALE DEPTH IS 0.15M
 5. PERFORATED SUBDRAIN FOR SWALE SHOULD BE LESS THAN
- 5. PERFORATED SUBDRAIN FOR SWALE SHOULD BE LESS THAN 2.0%
- 6. ALL EXISTING SERVICES TO BE DECOMMISSIONED AT OWNER
- EXPENSE.

 7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES DURING CONSTRUCTION, ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF THE WORK. ANY VARIANCE IN LOCATION (VERTICAL OR HORIZONTAL) IS TO BE REPORTED TO THE DESIGN ENGINEER 48 HRS PRIOR TO CONSTRUCTION.
- DESIGN ENGINEER 48 HRS PRIOR TO CONSTRUCTION.

 8. THE CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL DEVICES PRIOR THE COMMENCEMENT OF SITE GRADING WORK. SILT LADEN WATER WILL NOT BE PERMITTED TO ENTER INTO ANY EXISTING CATCH BASINS, INLETTING STRUCTURES, OR WATERCOURSES. ADDITIONAL CONTROLS AS DEEMED REQUIRED
- BY THE AUTHORITIES

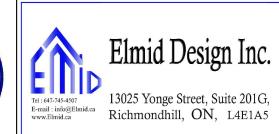
 9. INVERT ELEVATIONS AND ALL SURVEY POINTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE LAYOUT SHALL BE REPORTED TO THE CONSULTANT AND THE CONSULTANT SHALL NOTIFY THE CITY FOR THE
- NECESSARY CHANGES.

 10. EXISTING PEDESTRIAN SIDEWALK TO BE FULLY ACCESSIBLE DURING CONSTRUCTION OF THIS HOUSE



		NO.	Date	Revision	Contractor to check and verify all
Drawn By	H.A				dimensions and conditions on the job
					and report discrepancies to the
SCALE	CALE				designer before proceeding with the
1:200					works. This drawing is the property
1.200					of "Elmid Design Inc"
					and any use of it should have the
Project issue Date	19.11.2024				designer consent. Drawings are not to be scaled



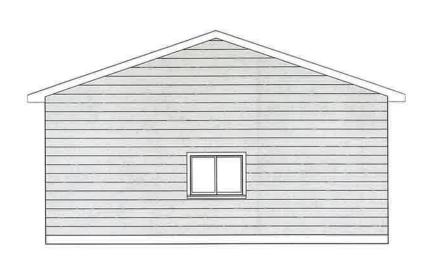


G1 GRADING PLAN

Project:

PLAN 143 MOORES BEACH RD,
GEORGINA, ON

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TITLE PAGE	A-1
FOUNDATION PLAN	A-2
MAIN FLOOR PLAN	A-3
ROOF PLAN	A-4
FRONT & REAR ELEVATIONS	A-5
LEFT & RIGHT ELEVATIONS	A-6
BUILDING SECTION	A-7
WALL SECTIONS	A-8
TYPICAL DETAILS	A-9
TYPICAL DETAILS	A-10
CONSTRUCTION NOTES	A-11
CONSTRUCTION NOTES	A-12

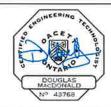
Beaverton, Ontario				
ROOF LOADING	KPA (psf)			
GROUND SNOW LOAD Ss	2.2 (45.95 psf)			
RAIN LOAD Sr	0.4 (8.35 psf)			
SNOW LOAD FACTOR Cb	0.55			
ROOF DESIGN SNOW LOAD	1.61 (33.63 psf)			
ROOF & CEILING DESIGN DEAD LOAD	0.57 (12.00 psf)			
FLOOR LOADING				
GROUND & SECOND FLOOR	1.92 (40.00 psf)			
FLOOR/CEILING DESIGN DEAD LOAD	0.72 (15.00 psf)			
WIND LOADING				
1/50 WIND PRESSURE	0.36 (7.52 psf)			
1/10 WIND PRESSURE	0.28 (5.85 psf)			
TEMPERATURE				
DEGREE DAYS BELOW 18°C	4300			
SOIL				
ASSUMED ALLOWABLE BEARING PRESSURE	75 (1570 psf)			
AT FOOTING FOUNDING ELEVATION(S)	Firm Clay			
ROCK	500 (10,443 psf)			
FREEZING INDEX	2041			
ELEVATION	240			
THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON MATERIALS EITHER SPECIFIED OR ASSUMED, WHERE DIFFER MATERIALS ARE PROPOSED THE CONTRACTOR MUST NOTIFY TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT AFFECTED.	ENT OR HEAVIER THE DESIGNER PRIO			

GENERAL NOTE: These drawings are not to be scaled. All dimensions must be verified by contractor prior to commencement of any work. Any discrapancies must be reported directly to the designer.



Schell Lumber Home Bldg Center (905) 722 6561





IBD remains in possession of the original drawing as purchased, it is a criminal offence to electronically alter our pertinent design information in any way. If you are the municipality issuing the permit and require an unlocked PDF for review purposes please contact brian@lbdweb.ca,

143 Moores Beach Rd

143 Moores Beach Rd Georgina, Ontario

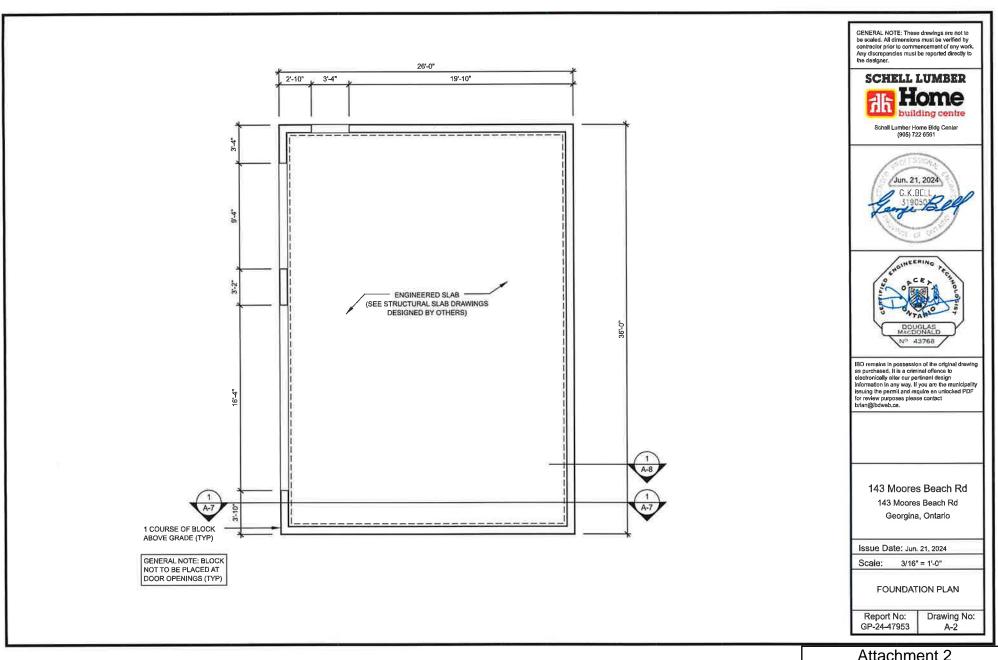
Issue Date: Jun. 21, 2024

Scale: N/A

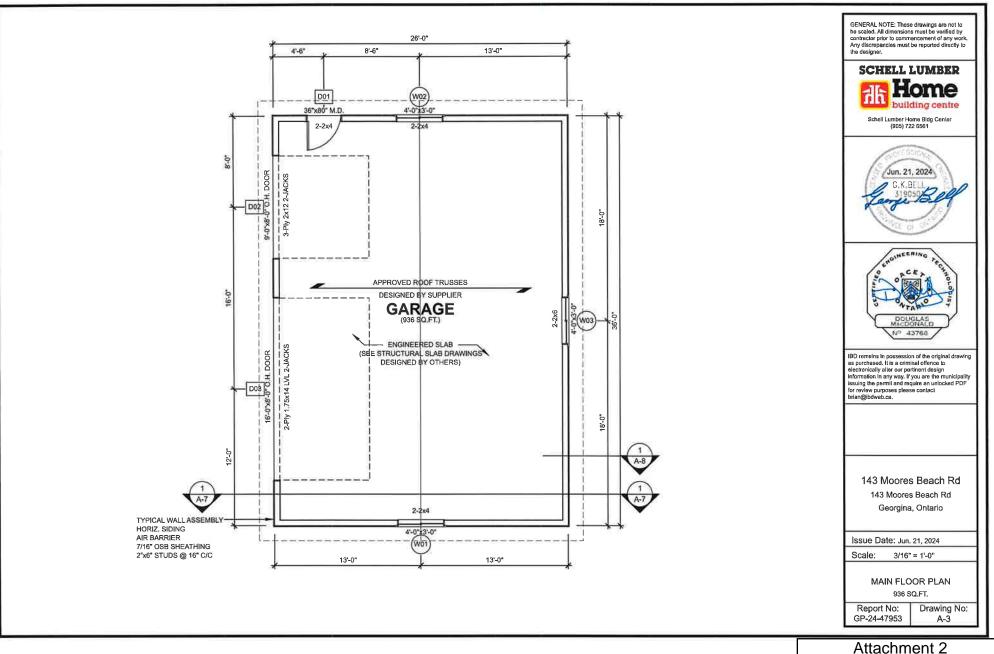
TITLE PAGE

Report No: GP-24-47953 Drawing No:

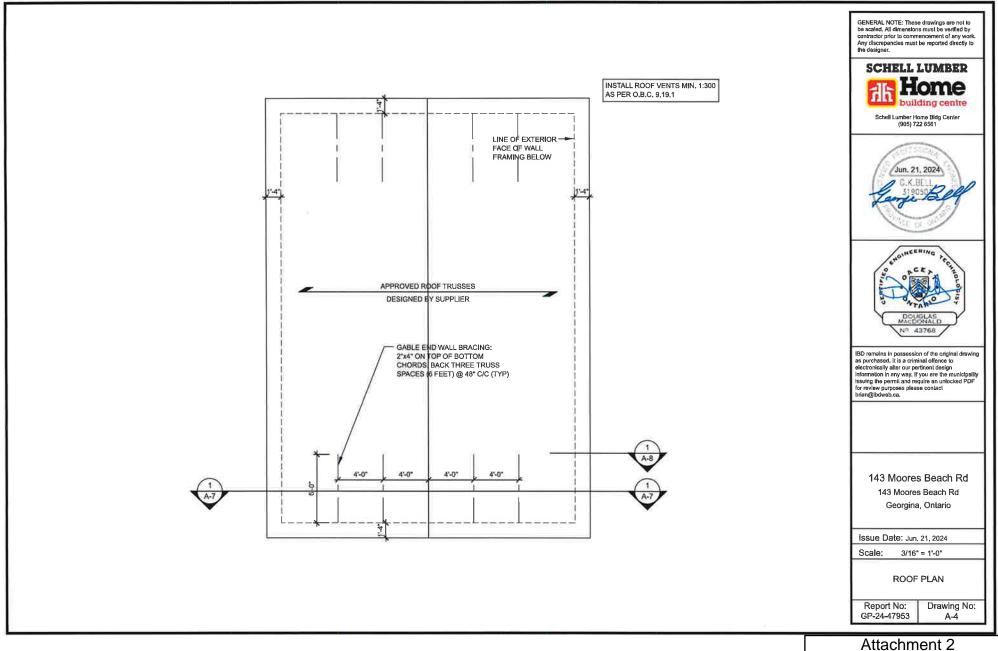
Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 3 of 8



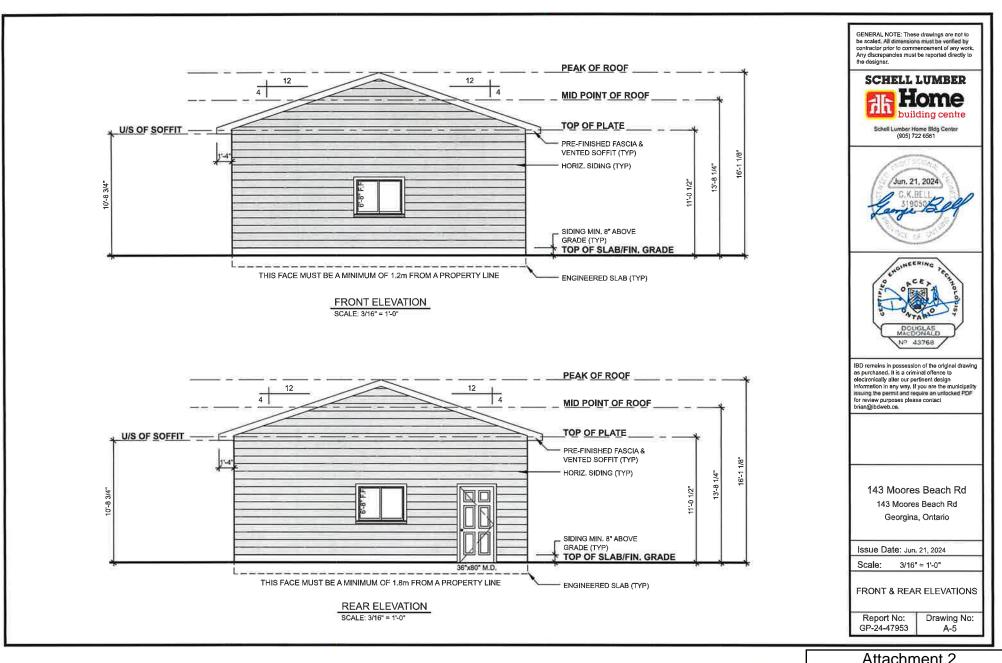
Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 4 of 8



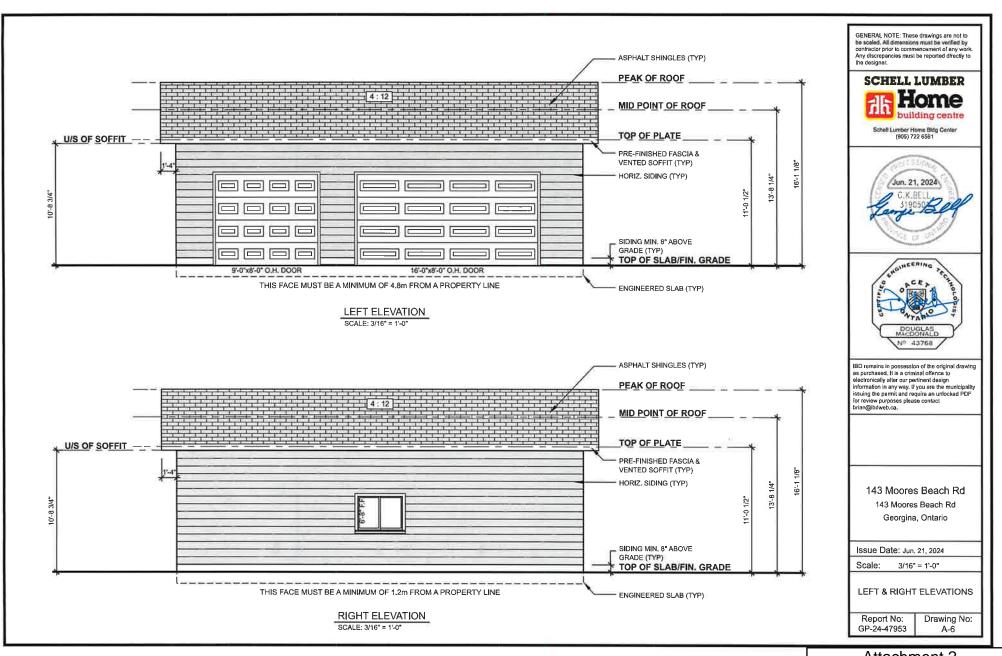
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Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 6 of 8



Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 7 of 8



Attachment 2 MV-2025-0006 143 Moore's Beach Road Page 7 of 8

Site Photos





Attachment 3 MV-2025-0006 143 Moore's Beach Road Page 1 of 3





Attachment 3 MV-2025-0006 143 Moore's Beach Road Page 2 of 3





Attachment 3 MV-2025-0006 143 Moore's Beach Road Page 3 of 3 **To:** Brianna Raines, Secretary-Treasurer - Committee of Adjustments

From Saleem Sail, Senior Development Technologist

cc: Mike lampietro, Manager, Development Engineering

Domenic Romano, Development Inspector Michelle Gunn, Development Engineering Clerk Monika Sadler, Planner I, Development Planning

Date: April 28th, 2025

Re: MINOR VARIANCE MV-2025-0006

143 Moore's Beach Road CONCESSION 8 PART LOT 17

Roll No.: 044-302

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0006:

The Development Engineering Division has no objection to Minor Variance Application No. A21-24, subject to the following conditions being fulfilled to the Engineering Development Division's satisfaction:

- Lot Grading Plan: The applicant/owner shall provide a detailed detailed engineering drawing, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
- 2. Check List: The applicant/owner shall provide a **completed drawing check list**, which is to be signed by the designer of the drawing. The checklist template is linked here.

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. Once these conditions are fulfilled, a Site Alteration and Entrance Permit may also be required. Related information can be found on the Town's website linked here.

Please contact the Development Engineering Division to fulfill your conditions, or if you have any questions or concerns by emailing ssial@georgina.ca.

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