

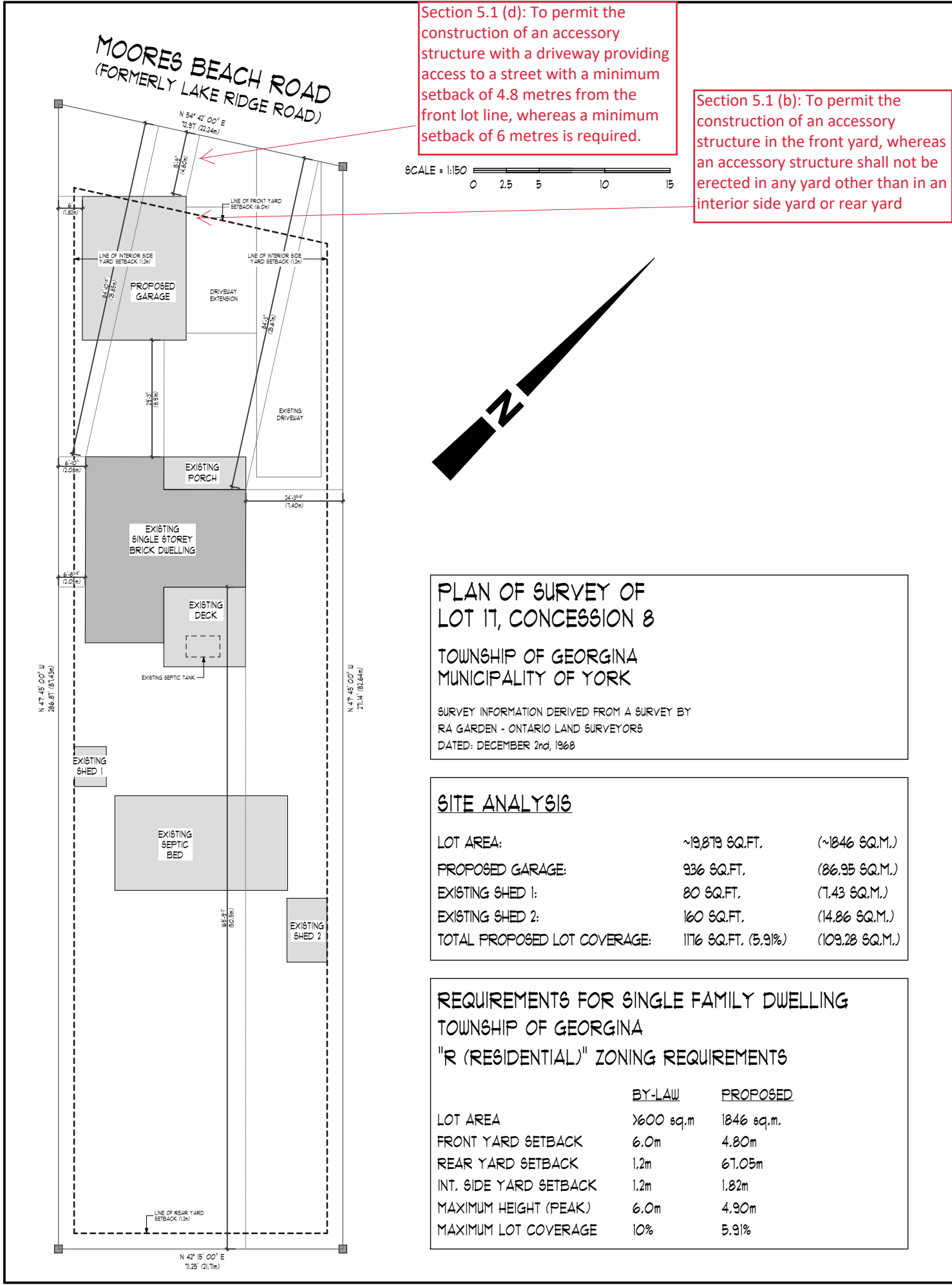
LOCATION MAP



SUBJECT LAND

0 5 10 20 Meters
|-----|

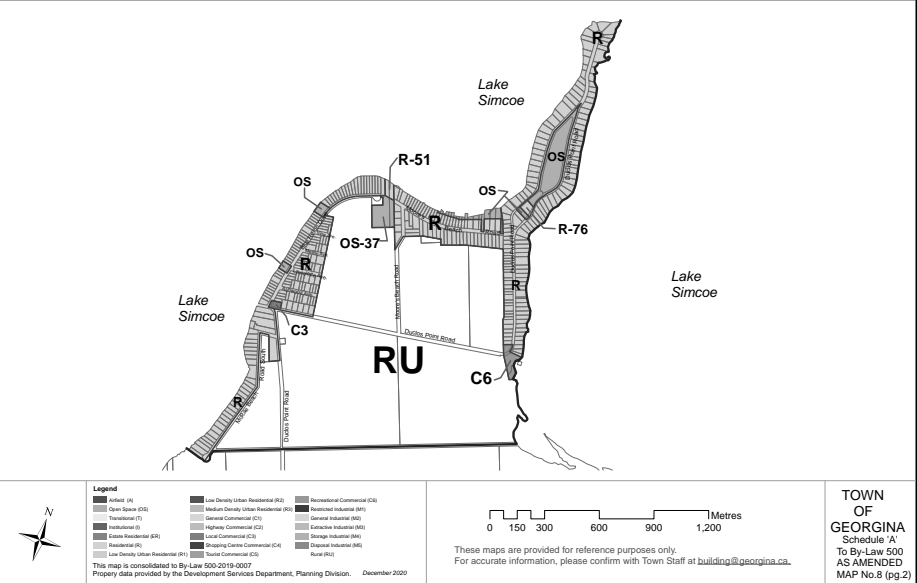




GOOGLE MAPS - SITE LOCATION



LSRCA GOVERNANCE MAP



ZONING REGULATION MAP



905.505.0781
class5design@gmail.com

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
JASON BOYD *Jason Boyd* 103156
NAME: B.C.I.N.
REGISTRATION INFORMATION
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE
CLASS 5 DESIGN 103157
FIRM NAME: B.C.I.N.

ENGINEERING

143 MOORES BEACH ROAD
Georgina, ON.

PROJECT TITLE:
Proposed Accessory Structure

ISSUED FOR:
PERMIT

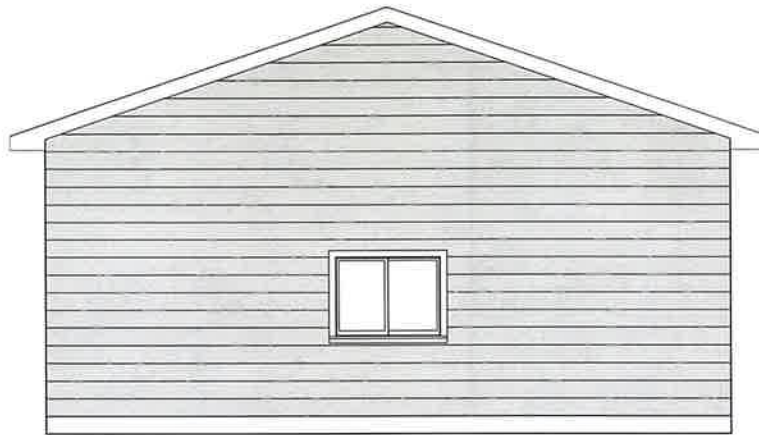
DESIGNED BY:
J.B.

PROJECT ID:
C5D_588

PLOT DATE:
2025-03-18

Attachment 2
MV-2025-0006

143 Moore's Beach Road
Page 1 of 8



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CLIMATIC & DESIGN LOAD DATA	
Beaverton, Ontario	
ROOF LOADING	KPA (psf)
GROUND SNOW LOAD Ss	2.2 (45.95 psf)
RAIN LOAD Sr	0.4 (8.35 psf)
SNOW LOAD FACTOR Cb	0.55
ROOF DESIGN SNOW LOAD	1.61 (33.63 psf)
ROOF & CEILING DESIGN DEAD LOAD	0.57 (12.00 psf)
FLOOR LOADING	
GROUND & SECOND FLOOR	1.92 (40.00 psf)
FLOOR/CEILING DESIGN DEAD LOAD	0.72 (15.00 psf)
WIND LOADING	
1/50 WIND PRESSURE	0.36 (7.52 psf)
1/10 WIND PRESSURE	0.28 (5.85 psf)
TEMPERATURE	
DEGREE DAYS BELOW 18°C	4300
SOIL	
ASSUMED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDING ELEVATION(S)	75 (1570 psf) Firm Clay
ROCK	500 (10,443 psf)
FREEZING INDEX	2041
ELEVATION	240
THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR MUST NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED.	

GENERAL NOTE: These drawings are not to be scaled. All dimensions must be verified by contractor prior to commencement of any work. Any discrepancies must be reported directly to the designer.



Schell Lumber Home Bldg Center
(905) 722 6561



IBD remains in possession of the original drawing as purchased. It is a criminal offence to electronically alter our pertinent design information in any way. If you are the municipality issuing the permit and require an unlocked PDF for review purposes please contact brian@ibdweb.ca.

143 Moores Beach Rd
143 Moores Beach Rd
Georgina, Ontario

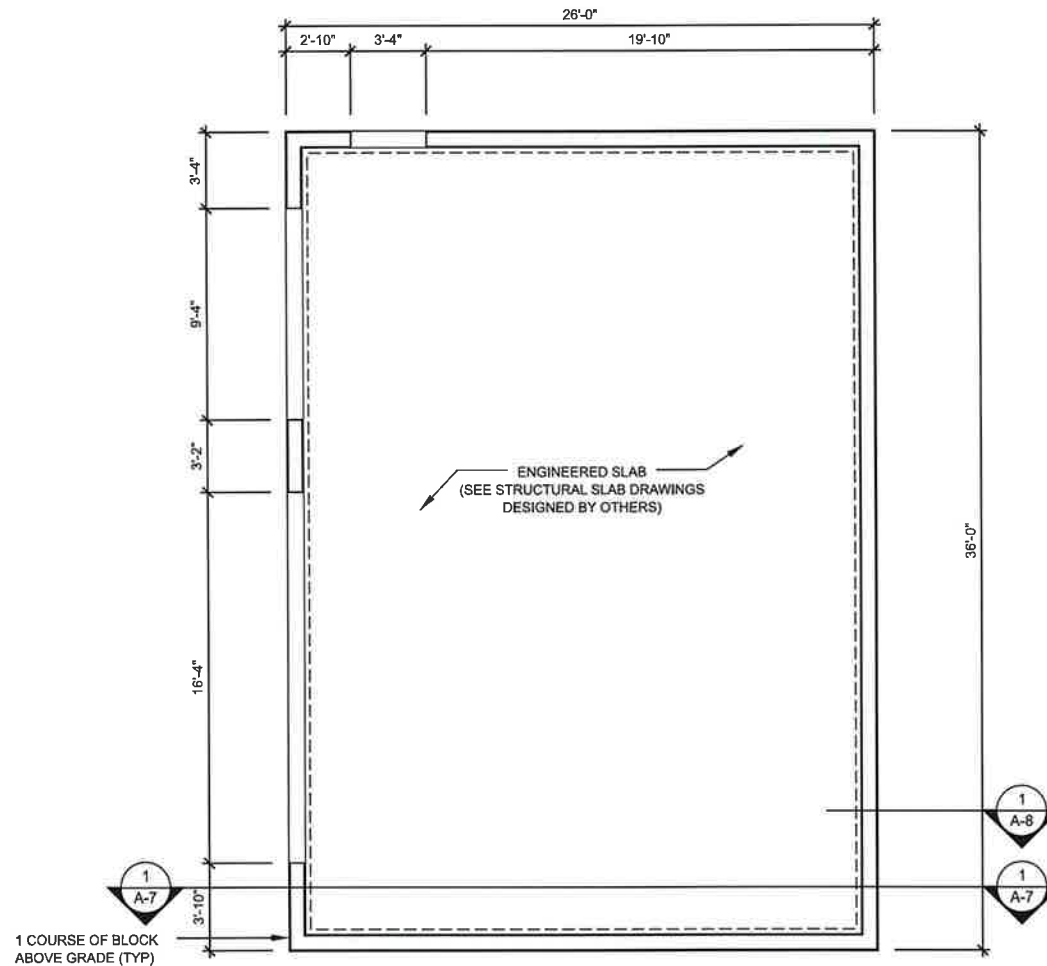
Issue Date: Jun. 21, 2024

Scale: N/A

TITLE PAGE

Report No:
GP-24-47953

Drawing No:
A-1



GENERAL NOTE: BLOCK NOT TO BE PLACED AT DOOR OPENINGS (TYP)

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143 Moores Beach Rd
143 Moores Beach Rd
Georgina, Ontario

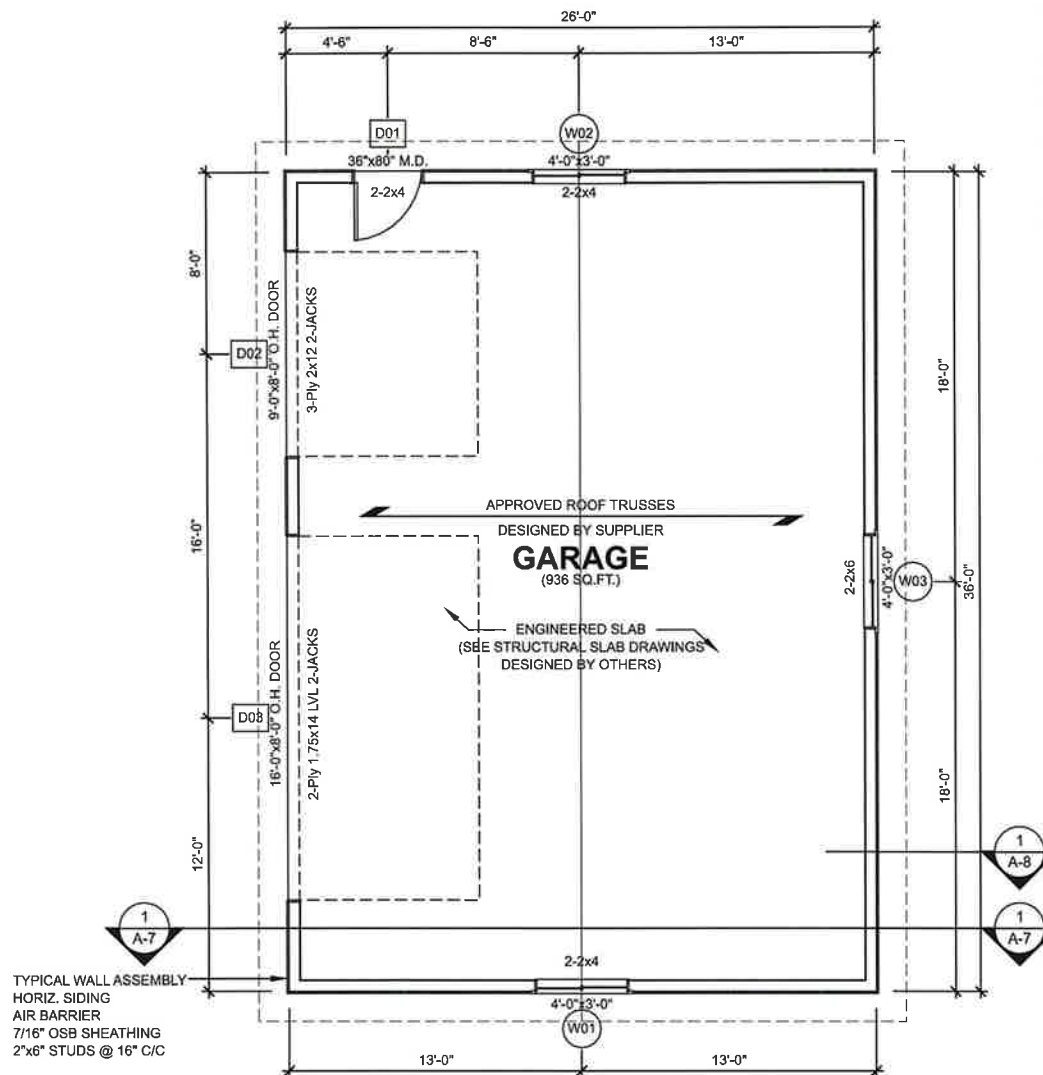
Issue Date: Jun. 21, 2024

Scale: 3/16" = 1'-0"

FOUNDATION PLAN

Report No:
GP-24-47953

Drawing No:
A-2



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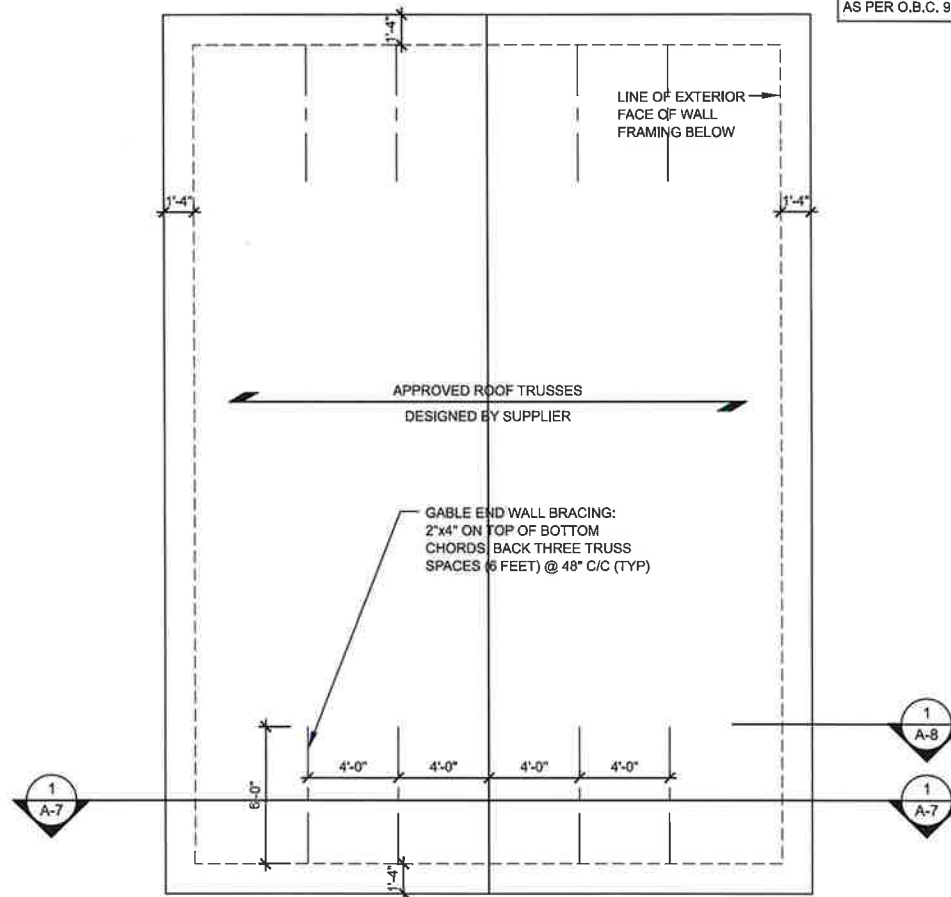
143 Moores Beach Rd
143 Moores Beach Rd
Georgina, Ontario

Issue Date: Jun. 21, 2024

Scale: 3/16" = 1'-0"

MAIN FLOOR PLAN
936 SQ.FT.

Report No: GP-24-47953
Drawing No: A-3



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143 Moores Beach Rd
Georgina, Ontario

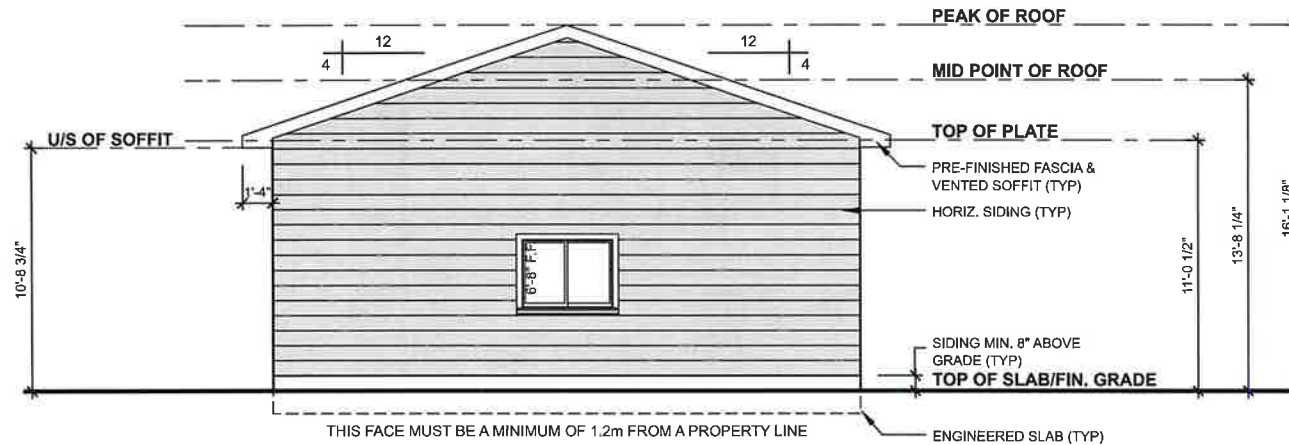
Issue Date: Jun. 21, 2024

Scale: 3/16" = 1'-0"

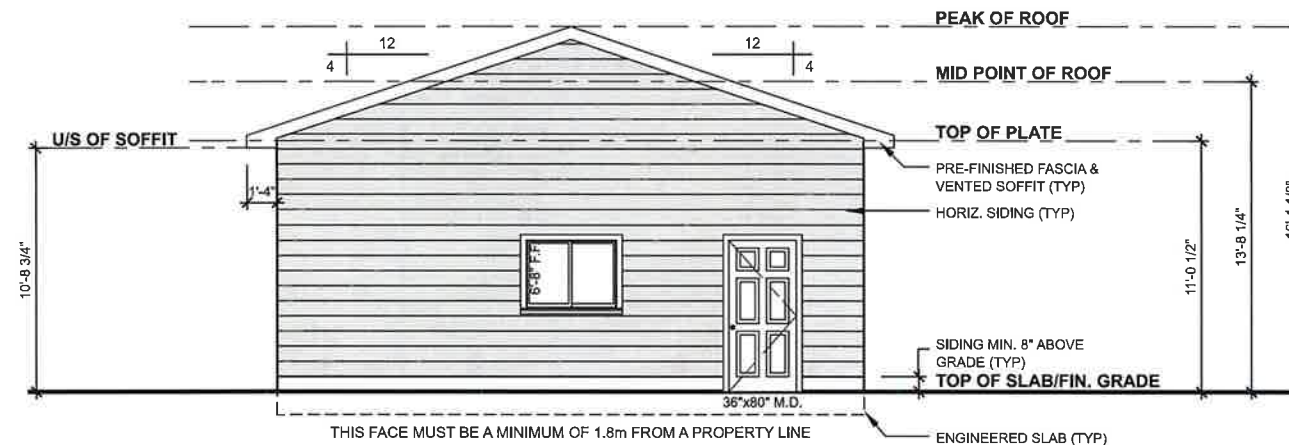
ROOF PLAN

Report No:
GP-24-47953

Drawing No:
A-4



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

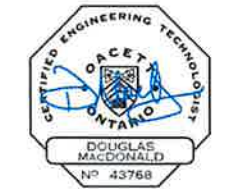


REAR ELEVATION
SCALE: 3/16" = 1'-0"

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SCHELL LUMBER
Home
building centre

Schell Lumber Home Bldg Center
(905) 722 6561



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143 Moores Beach Rd
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Georgina, Ontario

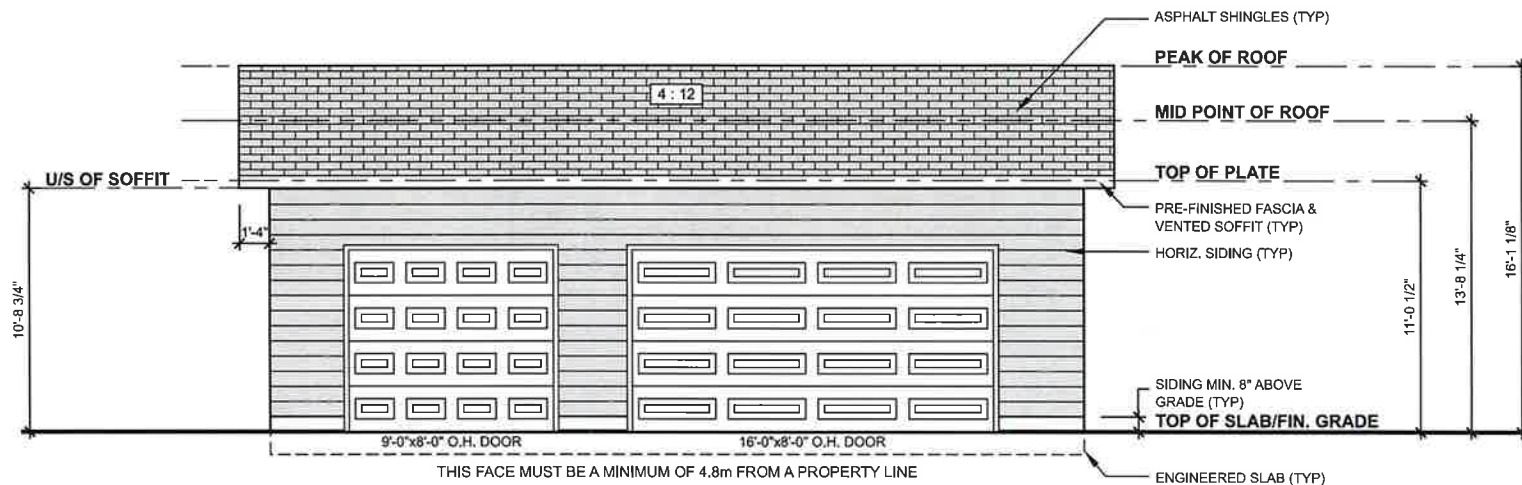
Issue Date: Jun, 21, 2024

Scale: 3/16" = 1'-0"

FRONT & REAR ELEVATIONS

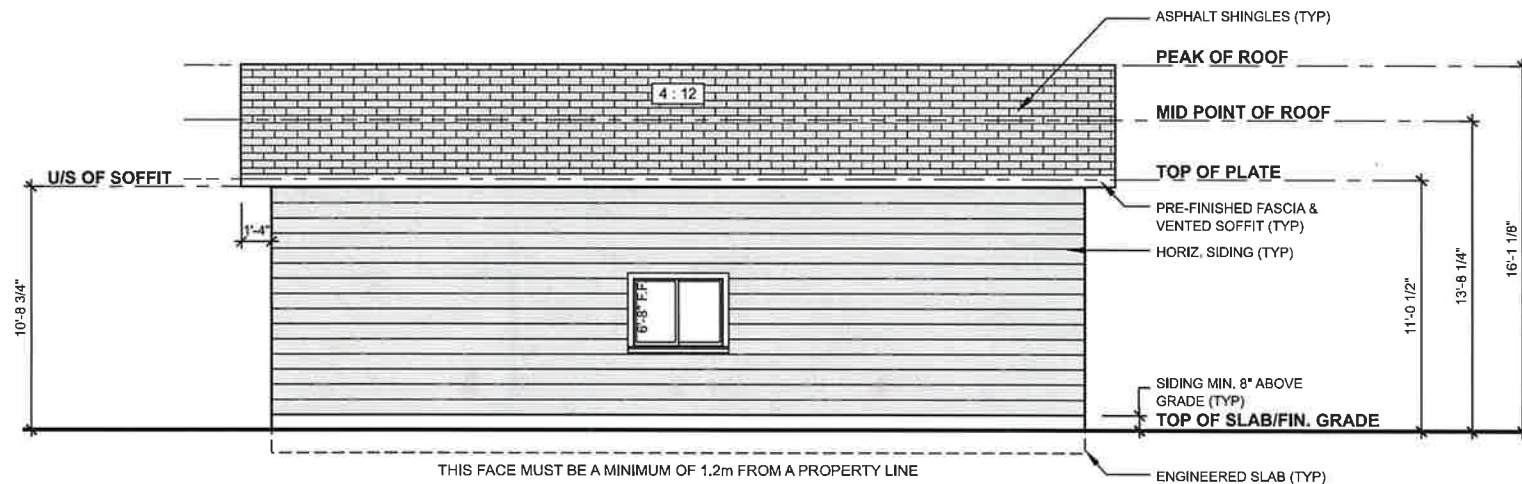
Report No:
GP-24-47953

Drawing No:
A-5



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

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143 Moores Beach Rd
143 Moores Beach Rd
Georgina, Ontario

Issue Date: Jun. 21, 2024

Scale: 3/16" = 1'-0"

LEFT & RIGHT ELEVATIONS

Report No:
GP-24-47953

Drawing No:
A-6

Site Photos

143 Moore's Beach Road
Facing South



143 Moore's Beach Road
Facing West



143 Moore's Beach Road
Facing West



143 Moore's Beach Road
Facing North



143 Moore's Beach Road
Facing North



143 Moore's Beach Road
Facing South



To: Brianna Raines, Secretary-Treasurer - Committee of Adjustments

From Saleem Sail, Senior Development Technologist

cc: Mike Iampietro, Manager, Development Engineering
Domenic Romano, Development Inspector
Michelle Gunn, Development Engineering Clerk
Monika Sadler, Planner I, Development Planning

Date: April 28th, 2025

Re: MINOR VARIANCE MV-2025-0006
143 Moore's Beach Road CONCESSION 8 PART LOT 17
Roll No.: 044-302

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0006:

The Development Engineering Division has no objection to Minor Variance Application No. A21-24, subject to the following conditions being fulfilled to the Engineering Development Division's satisfaction:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing check list**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a Site Alteration and Entrance Permit may also be required. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division to fulfill your conditions, or if you have any questions or concerns by emailing ssial@georgina.ca.