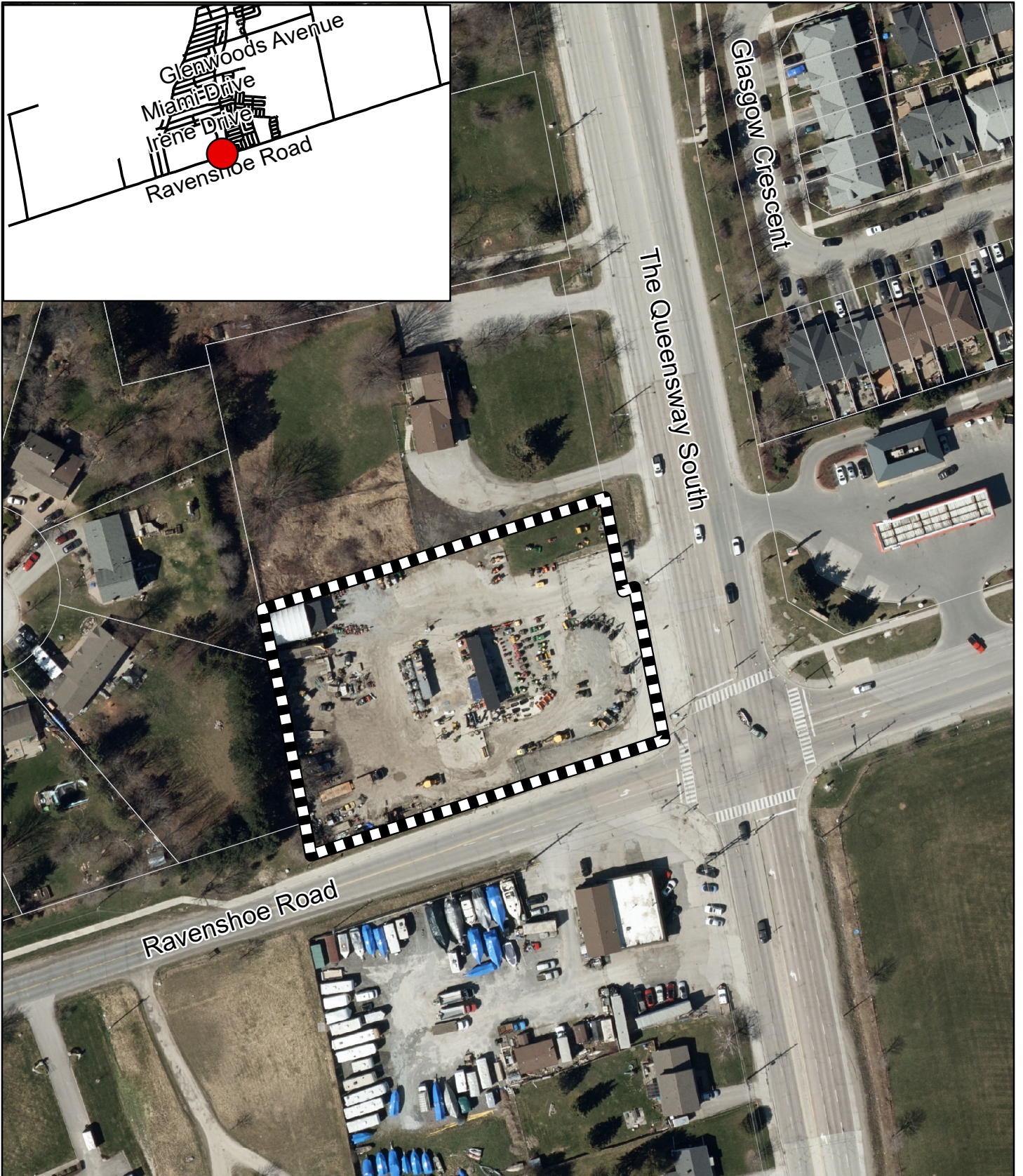
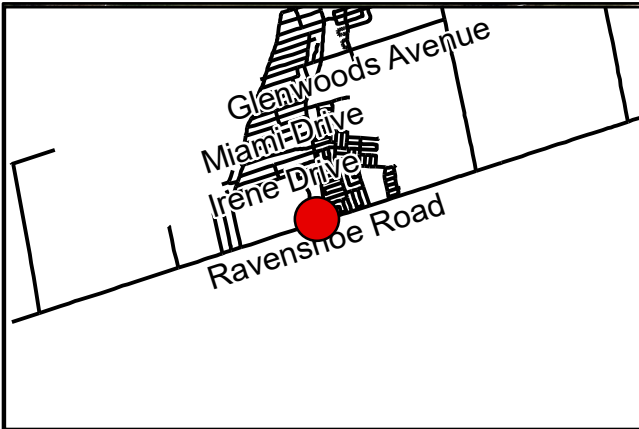




LOCATION MAP



SUBJECT LAND

0 15 30 60 Meters



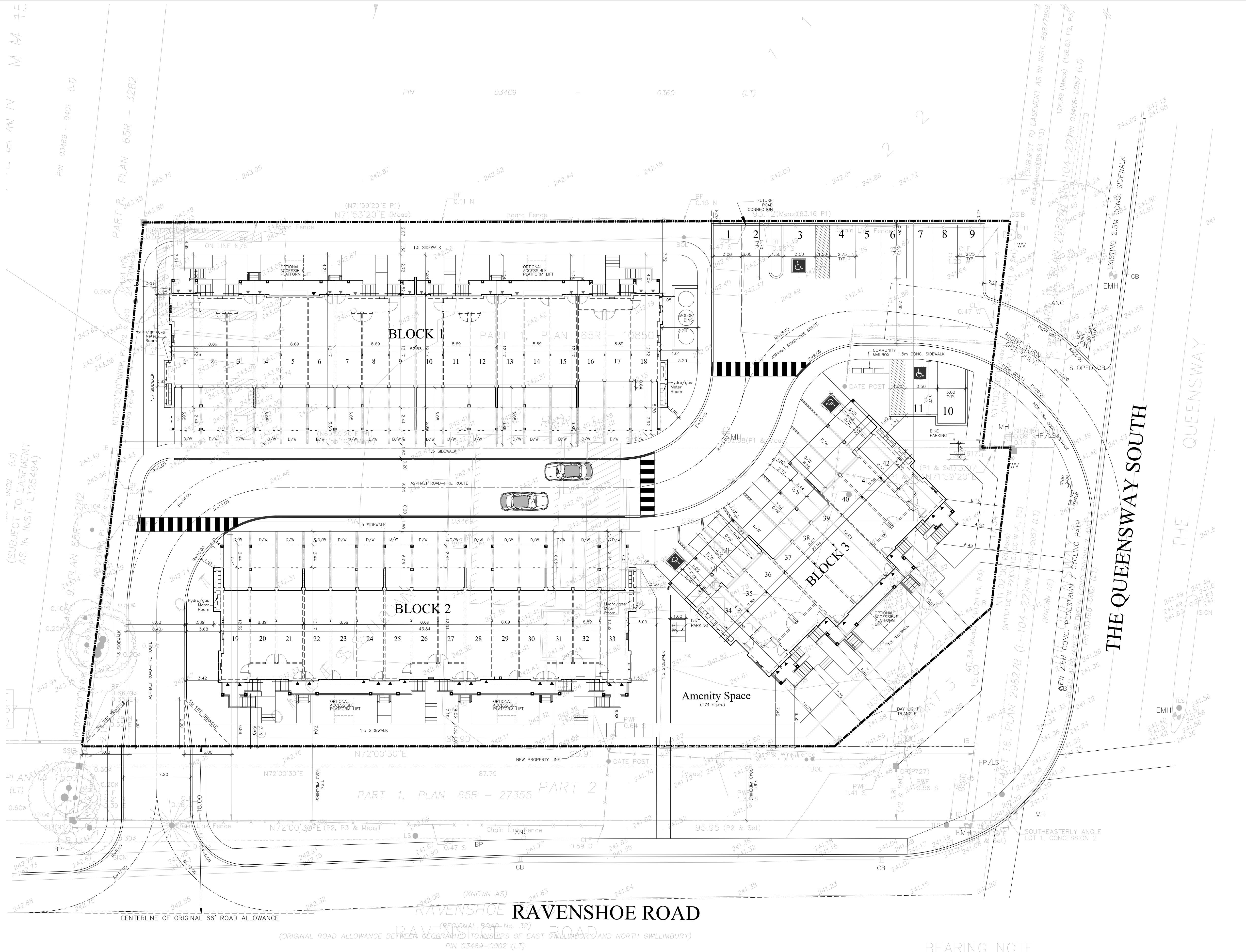
SITE PHOTOS

772 THE QUEENSWAY SOUTH
FACING WEST



772 THE QUEENSWAY SOUTH
FACING NORTH





LEGEND:

EXISTING ELEVATION

CURB ELEVATIONS

PROPOSED ELEVATION

1.8m WOOD PRIVACY FENCE

1.5m BLACK CHAIN LINK FENCE

TREE HOARDING

600x600 CONCRETE SLABS

UNIT PAVERS

CENTRAL AIR CONDITIONING UNITS

PROVISION FOR THE ADDITION OF AIR CONDITIONING

AIR CONDITIONING UNIT

GAS METER

HYDRO METER

VALVE & BOX

VALVE CHAMBER

DROPPED CURB

STREET LIGHT

CATCH BASIN

TRANSFORMER

HYDRANT

WATER SERVICE

DIRECTION OF FLOW

FINISHED FLOOR ENTRY

TOP OF FOUNDATION WALL

FINISHED BASEMENT SLAB

UNDERSIDE OF FOOTINGS

BUILDING ENTRANCE

STM MANHOLE

SAN MANHOLE

MAILBOX

UNIT NUMBER

MUNICIPAL ADDRESS

EXISTING TREES TO BE SAVED TYP.

BUILDING ENTRANCES

SITE STATISTICS			
GROSS SITE AREA	-	6093.64 m ² / 0.6094Ha / 1.5058Ac	
ROAD WIDENING AREA	-	761.53 m ²	
SIGHT TRIANGLE AREA	-	112.16 m ²	
NET SITE AREA	-	5219.95 m ² / 0.5220Ha / 1.2899Ac	
COVERAGE (including Porches, Steps & Decks)		2025.79 sq. m.	38.8%
LANDSCAPE AREA		1137.76 sq. m.	21.8%
ROADS AND PARKING		2056.40 sq. m.	39.4%
BLOCK 1	UNIT	GFA (ft ²) (including interior and exterior)	FOOTPRINT(M ²) (including porch, exterior stair & mezz)
BLOCK 2	18	20793.06	523.67
BLOCK 3	15	17394.61	437.53
	9	10543.35	322.45
TOTAL:		48721.02 (ft ²) / 4526.18 (m ²)	

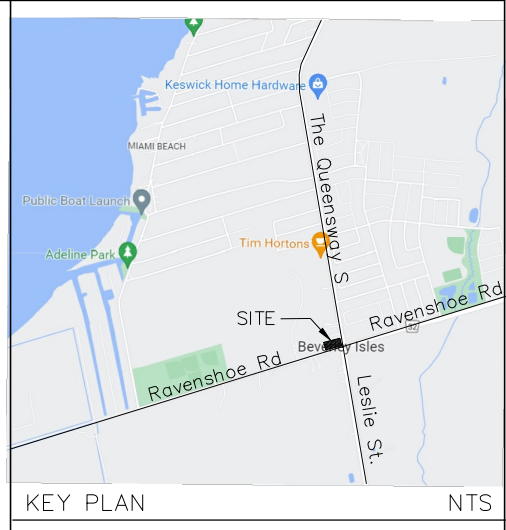
DENSITY	-	42 UNITS / 0.5220 HA = 80.46 UPHa
FLOOR SPACE INDEX (FSI)	-	Gross floor area = 4526.18 m ² = 0.867 NET site area = 5219.95 m ²

Units Breakdown							
Numbering	Name/unit	NUMBER OF UNITS	UNIT GFA(FT ²)	TOTAL GFA (FT ²)	UNIT GFA(M ²)	TOTAL GFA(M ²)	BUILDING HEIGHT
Block 1	1.18 TYPE B CORNER	2	1126.95	2253.90	1230.81	2461.62	3 storey
	2.17 TYPE A CORNER	2	1035.50	2071.00	1035.50	2071.00	
	3.16 TYPE C CORNER	2	1207.13	2414.26	1290.24	2580.48	
	4.15 TYPE INTERIOR	2	1163.57	2327.14	1246.68	2493.36	
	5.14 TYPE INTERIOR	2	1011.77	2023.54	1011.77	2023.54	
	6.13 TYPE INTERIOR	2	1088.69	2177.38	1117.80	2343.60	
	7.12 TYPE INTERIOR	2	1074.89	2149.78	1158.22	2316.44	
	8.11 TYPE INTERIOR	2	1010.49	2020.98	1010.49	2020.98	
	9.10 TYPE INTERIOR	2	1157.91	2315.82	1241.02	2482.04	
	Total for Block		19753.80		20793.06		
Block 2	19.33 TYPE B CORNER	2	1126.95	2253.90	1230.81	2461.62	3 storey
	20.32 TYPE A CORNER	2	1035.50	2071.00	1035.50	2071.00	
	21.31 TYPE C CORNER	2	1207.13	2414.26	1290.24	2580.48	
	22.28 TYPE INTERIOR	2	1163.57	2327.14	1246.68	2493.36	
	23.29 TYPE INTERIOR	2	1011.77	2023.54	1011.77	2023.54	
	24.30 TYPE INTERIOR	2	1088.69	2177.38	1117.80	2343.60	
	25 TYPE INTERIOR	1	1074.89	2149.78	1158.22	2316.44	
	26 TYPE INTERIOR	1	1011.77	2020.98	1011.77	2020.98	
	27 TYPE INTERIOR	1	1157.91	2315.82	1241.02	2482.04	
	Total for Block		16511.79		17384.61		
Block 3	34.42 TYPE A CORNER	2	1126.95	2253.90	1230.81	2461.62	3 storey
	35.41 TYPE C CORNER	2	1035.50	2071.00	1035.50	2071.00	
	36.40 TYPE C CORNER	2	1207.13	2414.26	1290.24	2580.48	
	37 TYPE INTERIOR	1	1163.57	2327.14	1246.68	2493.36	
	38 TYPE INTERIOR	1	1011.77	2020.98	1011.77	2020.98	
	39 TYPE INTERIOR	1	1088.69	2177.38	1117.80	2343.60	
	Total for Block		10003.19		10543.35		
Total Proposed		42		46268.78		48721.02	

PARKING		
RESIDENT PARKING	REQUIRED	PROVIDED
REQUIRED: PARKING @ 2 SPACES/UNIT		84
42 units X 2/unit = 84		
PROVIDED:		
1 per unit on driveway (includes TWO accessible parking spaces)		42
1 per unit in attached garage		42
TOTAL RESIDENT PARKING PROVIDED		84
VISITOR PARKING		
VISITOR PARKING REQUIRED:		
42 units X 0.25/unit = 10.5		11
VISITOR PARKING PROVIDED:		
(includes TWO accessible parking spaces)		11
TOTAL PARKING REQUIRED		95
TOTAL PARKING PROVIDED		95
HEIGHT	3.5 STOREY	
ROAD WIDTH	6.4m (includes curb) & 7.4m (including curb)	
CL ROAD RADIUS	13.0m	

NOTE:
In the event of heavy snowfall excess snow which cannot be stored on site will be removed from the site at the expense of the condominium corporation.

NOTE:
All exterior steps shown are estimated and will be based on final grading design.



KEY PLAN

NTS

Revisions

Date	Ref.	Description
06.06.24	FP	SEE PLAN UPDATES AS PER CITY COMMENT WHEN DETERMINED
01.22.24	FP	SEE PLAN UPDATES AS PER CITY COMMENT WHEN DETERMINED
09.29.23	CZ	UPDATES AS PER COMMENTS AND RECALCULATED SITE DATA
09.22.23	CZ	UPDATES AS PER COMMENTS AND RECALCULATED SITE DATA
06.06.23	CZ	UPDATES AS PER COMMENTS AND RECALCULATED SITE DATA
05.02.23	FP	UPDATES ENTRY ROAD PER CITY COMMENTS
03.22.23	FP	UPDATES ONE UNIT STEPS, SIGNATURE PER SITE CONDITIONS
03.08.23	FP	REVISED FOR CITY SUBMISSION
02.27.23	CZ	UPDATES SP AS PER PLANNER COMMENTS
02.08.23	CZ	UPDATES SP AS PER NEW SURVEY
11.03.22	SM	PRELIMINARY SITE PLAN
03.23.22	CZ	PRELIMINARY SITE PLAN

Date Ref. Description

Drawn **CZ/FP**

Date **01/22/24**

Checked

Approved

Printed **01.22.24**

CAD File **22-1507SPB.DWG**

The Architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractors to carry out the work in accordance with the Contract Documents. Single pages of documents are not to be read independently of all pages of the Contract Documents.

The contractor shall verify all dimensions on the Contract Documents. Any discrepancies prior to the commencement of the work. Under no circumstances shall the Contractor or sub-contractors proceed in uncertainty.

Do not scale drawings.

architects inc.

70 Sitor Road, Unit #11
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

SP

STYLUX HOMES
THE QUEENSWAY
KESWICK.

PROPOSED CONDOMINIUM
TOWNHOUSE
DEVELOPMENT
THE QUEENSWAY, KESWICK,
ONTARIO

Sheet Title **SITEPLAN**

Scales **1:200**

Sheet Number **22-1507_SPB**

ATTACHMENT 3
Page 1 of 5
Report No. DS-2025-0015
772 The Queensway South (02.206 & 03.1178)



MODULE A CORNER (STD.)

MODULE A INTERIOR (STD.)
ELEVATION 'A'

MODULE A INTERIOR (REV.)
ELEVATION 'B'

MODULE A INTERIOR (STD.)
ELEVATION 'B'

MODULE A INTERIOR (REV.)
ELEVATION 'A'

MODULE A CORNER (REV.)

05 FRONT ELEVATION
BLOCK 1
UNITS 1-18



MODULE A CORNER (REV.)

MODULE A INTERIOR (STD.)
ELEVATION 'A'

MODULE A INTERIOR (REV.)
ELEVATION 'B'

MODULE A INTERIOR (STD.)
ELEVATION 'B'

MODULE A INTERIOR (STD.)
ELEVATION 'A'

MODULE A CORNER (STD.)

06 REAR ELEVATION
BLOCK 1
UNITS 1-18

ATTACHMENT 3
Page 2 of 5
Report No. DS-2025-0015
772 The Queensway South (02.206 & 03.1178)

DATE	REF.	DESCRIPTION
JUNE 02 2023	JMM	GLASS GUARDS PER CLIENT REV. PER GRADES

Engineered truss drawings to be submitted to the architect for co-ordination of structure.
The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractor to carry out the work in accordance with the documents.
Single pages of the contract documents are not to be read independently of all pages of the contract documents.

The contractor shall verify all dimensions on the contract documents. Any discrepancies are to be reported to the architect prior to the commencement of the work. Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.
Digital & Hard Copies are issued to the client on the understanding that no changes are to be made to the contract documents without written consent of the architect.

FPB Architect Inc. retains the copyright in all drawings, plans, sketches, and all digital information. They may not be used for any other projects or purposes without the written consent of FPB Architects Inc. Failure to do so will result in legal action.

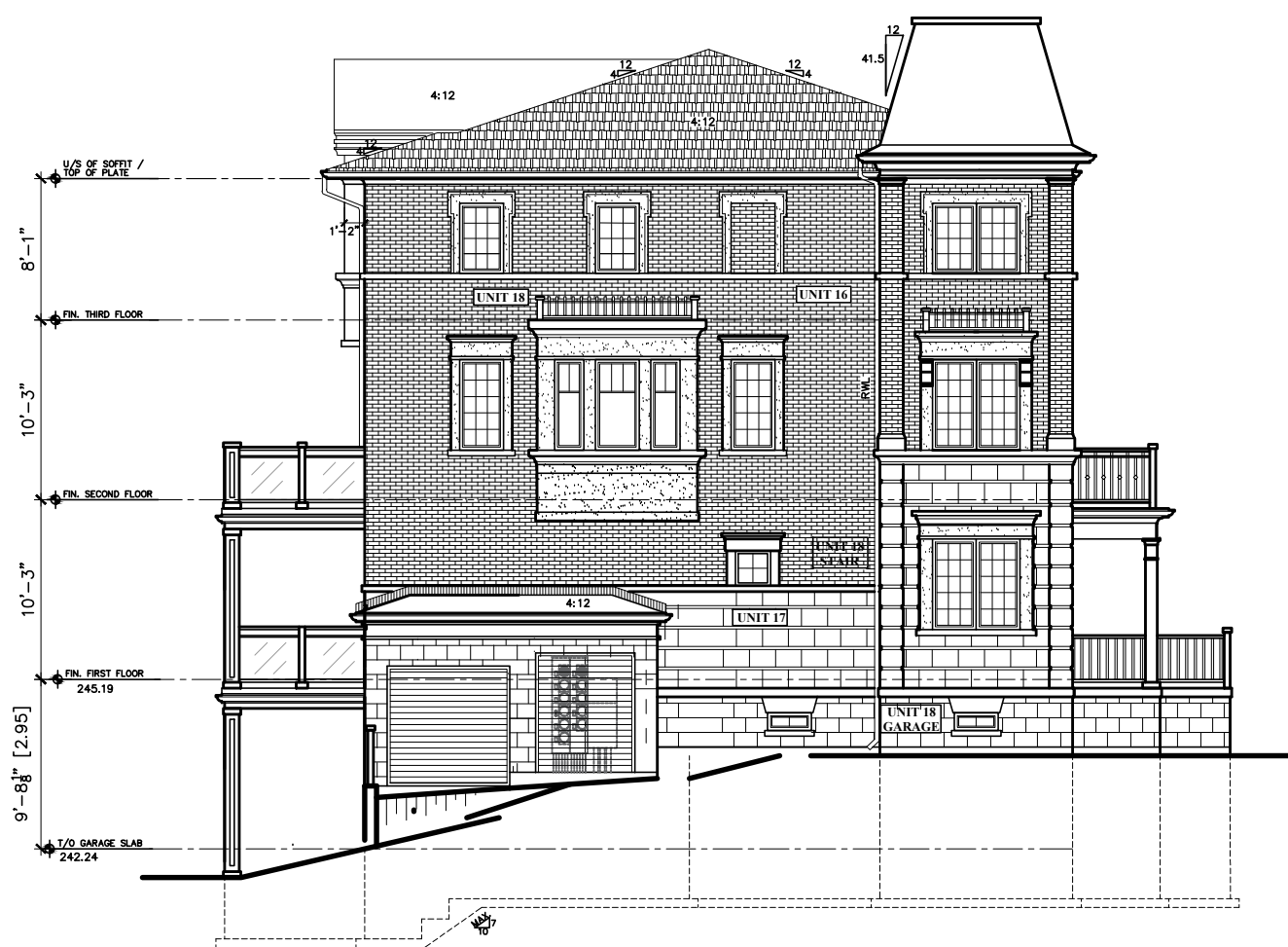
DO NOT SCALE DRAWING



STYLUX HOMES

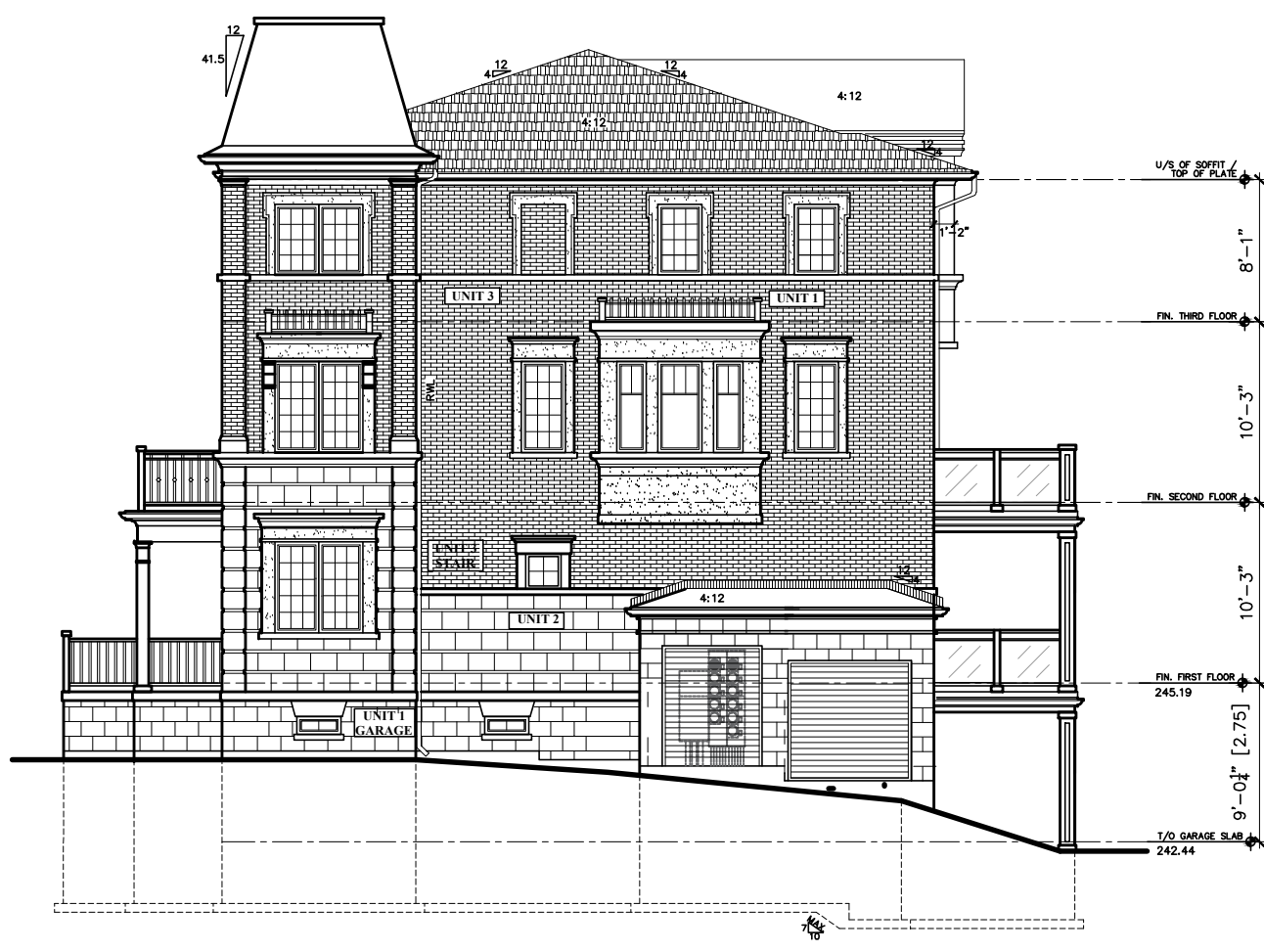
THE QUEENSWAY, KESWICK,
ONTARIO

Date MAY 2023	Checked By
Job Number 22-1507	Drawn By JMM
Scale 3/32" = 1'-0"	
Issued	Sheet Number BL1-03



MODULE A CORNER
(STD.)

07 LEFT SIDE ELEVATION
BLOCK 1
UNITS 1-18



MODULE A CORNER
(REV.)

07 RIGHT SIDE ELEVATION
BLOCK 1
UNITS 1-18

ATTACHMENT 3
Page 3 of 5
Report No. DS-2025-0015
772 The Queensway South (02.206 & 03.1178)

JUNE 02 2023	JMM	GLASS GUARDS PER CLIENT REV. PER GRADES
DATE	REF.	DESCRIPTION

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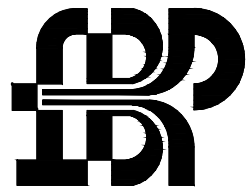
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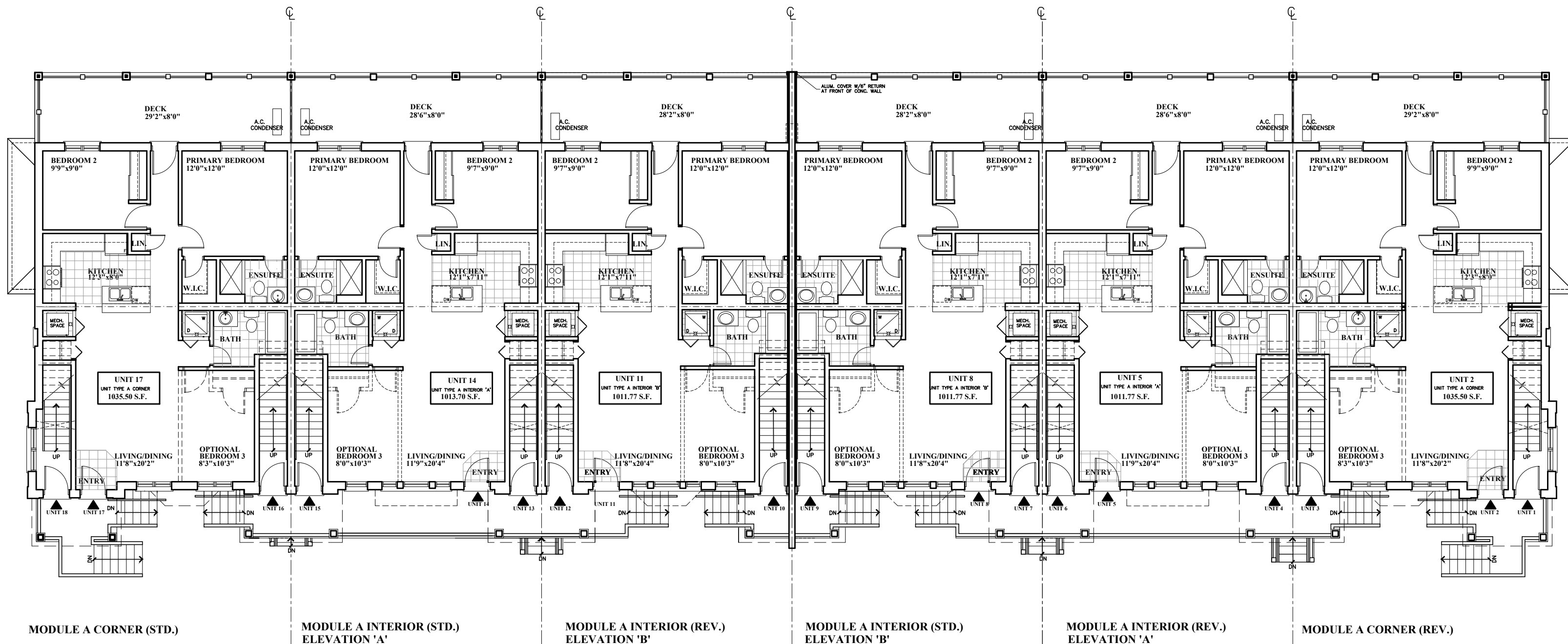
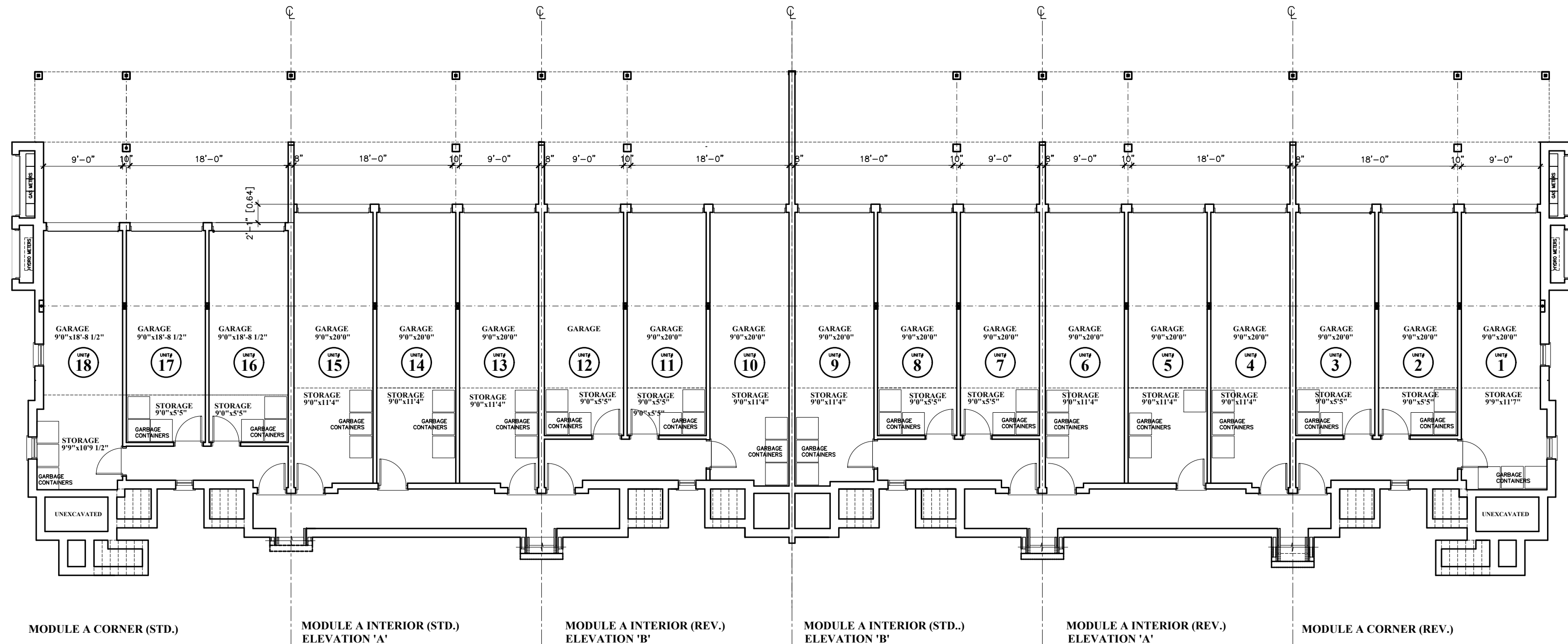
DO NOT SCALE DRAWING



architects inc.
70 Silton Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

STYLUX HOMES
THE QUEENSWAY, KESWICK,
ONTARIO

Date MAY 2023	Checked By JMM
Job Number 22-1507	Drawn By JMM
Scale 3/32" = 1'-0"	
Issued	Sheet Number BL1-04



JUNE 02 2023	JMM	GLASS GUARDS PER CLIENT REV. PER GRADES
DATE	REF.	DESCRIPTION

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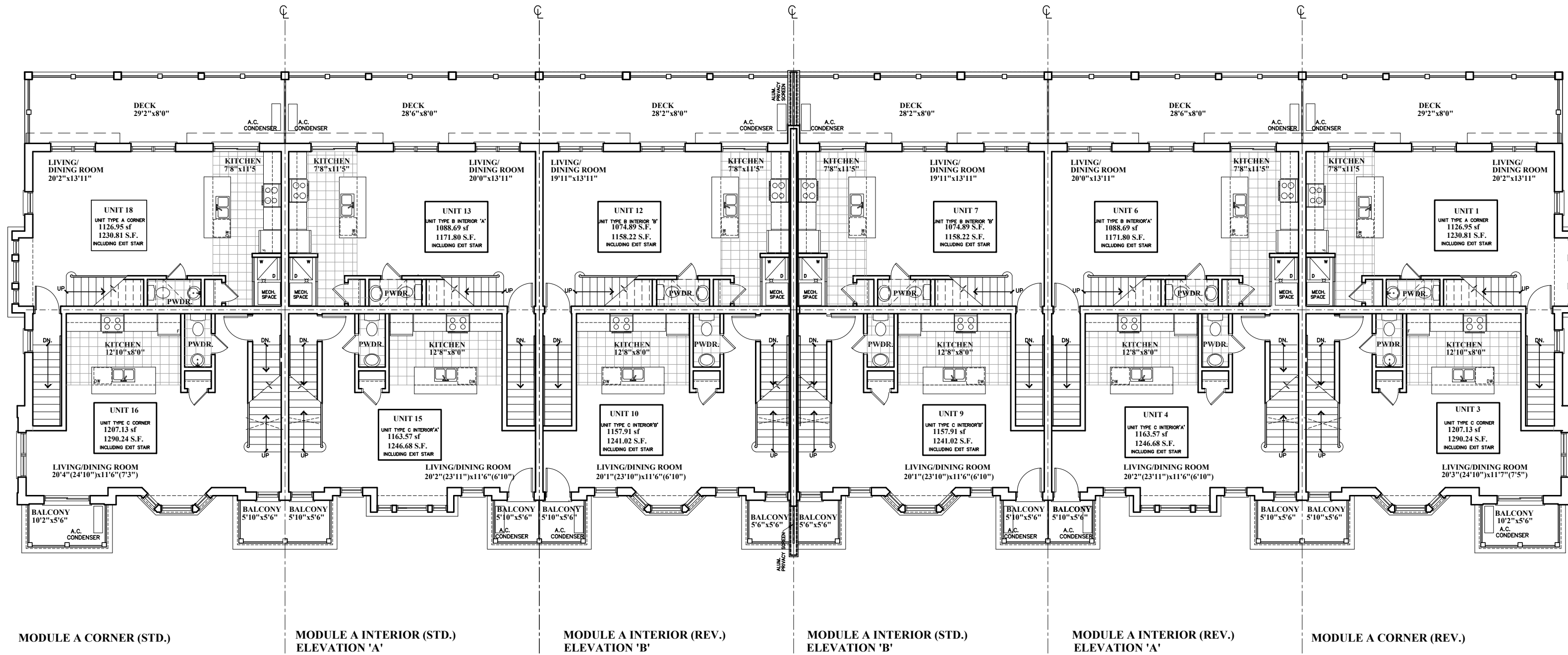
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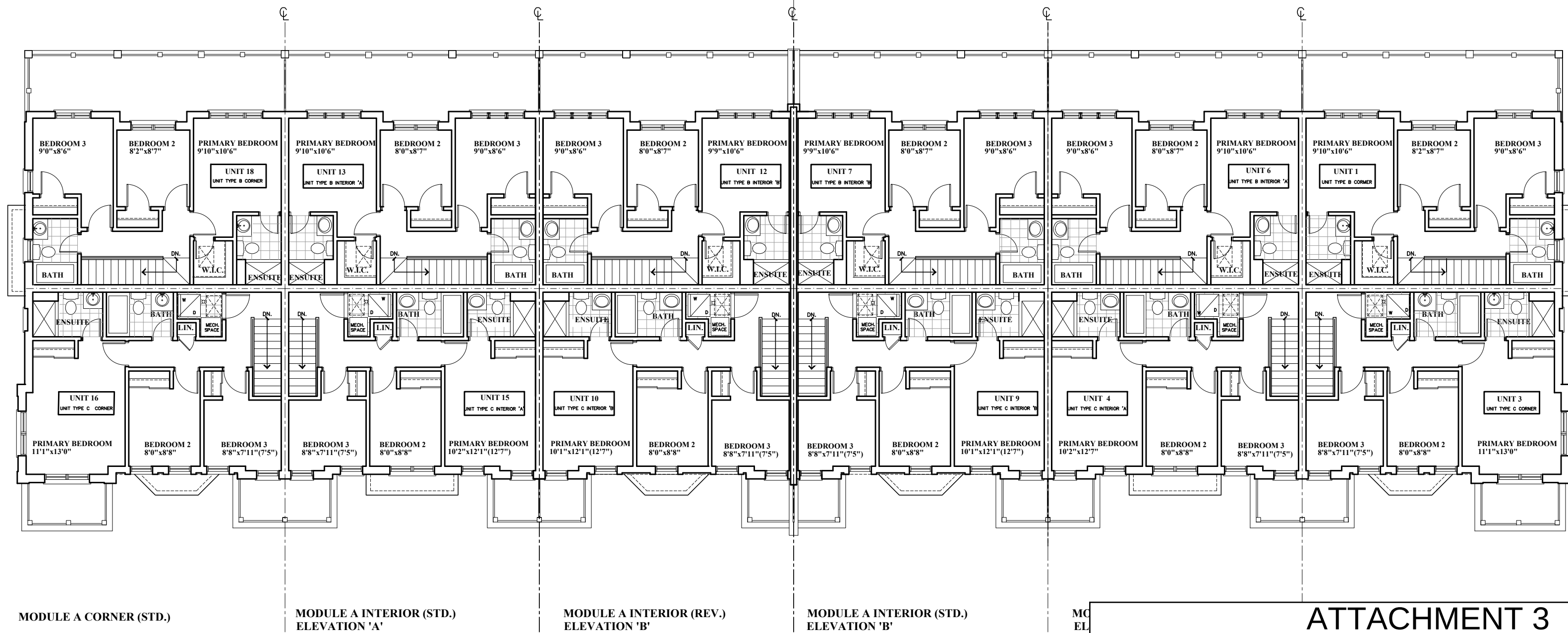


STYLUX HOMES
THE QUEENSWAY, KESWICK,
ONTARIO

Date MAY 2023	Checked By
Job Number 22-1507	Drawn By JMM
Scale 3/32" = 1'-0"	
Issued	Sheet Number BL1-01



03 SECOND FLOOR PLAN
BLOCK 1
UNITS 1-18



04 STD. THIRD FLOOR PLAN
BLOCK 1
UNITS 1-18

DATE	REV.	DESCRIPTION
JUNE 02 2023	JMM	GLASS GUARDS PER CLIENT REV. PER GRADES

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractor to carry out the work in accordance with the documents.

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DO NOT SCALE DRAWING



STYLUX HOMES
THE QUEENSWAY, KESWICK,
ONTARIO

Date	Checked By
MAY 2023	
Job Number	Drawn By
22-1507	JMM
Scale	
3/32" = 1'-0"	
Issued	Sheet Number
	BL1-02

Consolidated Comments for 02.206 03.1178 - 772 The Queensway South - Stylux

Department/Agency	Date Received	Response
Building Division		
Building/Plumbing Inspector		
Building/Zoning Examiners		
Clerks Division		
Community Services		
Development Engineering	July 10, 2024	See attached.
Economic Development		
Georgina Fire Department		
Municipal Law		
Operations & Infrastructure		
Policy Planning	July 22, 2024	I have no further comments on this application. My comments made in first and second submission have been addressed.
Tax & Revenue		
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)	July 22, 2024	LSRCA staff have received a third submission in support of the of the above noted files and have not further comments at this time. We note all outstanding technical comments related to Conservation Engineering and Hydrogeology were addressed in the 2nd submission and sign-off was provided.
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers	July 9, 2024	See attached.
Southlake Regional Health Centre		
Viamonde School Board (French Public)		
York Catholic District School Board	July 17, 2024	We have reviewed the proposal and have no additional comments or objections to its approval

Consolidated Comments for 02.206 03.1178 - 772 The Queensway South - Stylux

York Region - Community Planning & Development Services	July 24, 2024	Our previous comments have been acknowledged and will be addressed as part of the subsequent site plan stage. York Region has no additional comments on the OPA/ZBA applications as this time.
York Region District School Board		
York Regional Police		



GEORGINA

Interoffice Memorandum

Development Engineering Division

Date: July 10, 2024, **File No.:** 02.206/03.1178

To: Brittany Dobrint, Planner Development Services

From: Vikum Wegiriya, Jr Engineering Technologist of Development Engineering

Subject: **APPLICATION FOR OFFICIAL PLANNING AMMENDMENT (Submission 3)**
Address: 772 The Queensway South, Keswick
Description: Part Lot 1, Concession 2 (NG), Part 1 on Plan 65R-10850
Applicant: Stylux Keswick Incorporated
File No.: 02.206/03.1178
Ward 2 Ward 1 (Charlene Biggerstaff)

Applicants are to reach out to Vikum Wegiriya vwegiriya@georgina.ca prior to making a formal Plan of Condominium application submission to discuss these comments, gain understanding/consensus on detailed design criteria and to reduce approval timelines.

A review has been undertaken of the third submission planning drawings for the above captioned property and have no comments for this submission.

1. The Owner shall provide an overall lot grading and drainage plan, together with a stormwater management report for review prior to making a detailed design submission for review. The stormwater management report shall address any external contributing areas. **Noted. A full report will be required at detailed design stage**
2. It is recommended that funding be advanced, prior to submitting a formal detailed design submission, to allow for the Town to complete water and wastewater modeling on behalf of the applicant. Town representatives will request a quotation for this mentioned modeling if directed by the Applicant. This is recommended to gain a better understanding of the servicing requirements as early as possible in the application process. **Noted. New quotation is attached**
3. All unpaved areas on are to be seeded/sodded and stabilised to control erosion and dust at all times. **Noted to be addressed at detailed design stage**
4. Monitoring and reporting of SWM facility operation and maintenance will be required to ensure it is providing the required storm water quality and quantity controls as per approved design standards. The applicant shall provide a monitoring plan for review and approval of the Town as part of the detailed design submission. All the runoff from the proposed development should be treated before leaving the site for the interim period. Provide a grading and drainage plan demonstrating this design. **Noted to be addressed at detailed design stage**

5. See the LSRCA Parking Lot Design Guidelines to Promote Salt Reduction for estimates of snow storage area (15% of plowed area) required. If snow storage areas do not match guidelines, please advise how excess snow will be managed and/or removed from site as necessary. Fire Routes are required to be always maintained and are not to be impacted by snow storage limitations. **Noted. Please provide with the contract at the at the detail design stage**
6. Municipal Address will be required. **Noted to be addressed at detailed design stage**
7. The Owner shall submit a composite utility plan for review and approval by the Town of Georgina on behalf of all affected authorities. **Noted to be addressed at detailed design stage**
8. We recommend a Temporary Truck Traffic sign at entrance on Ravenshoe Rd to caution the traffic, cyclists, and pedestrians. **Noted to be addressed at detailed design stage**
9. Please provide a Construction Management Plan. **Noted to be addressed at detailed design stage**
10. Fire protection measures are not provided/discussed. Fire protection will be required as per OBC and Town requirements. **Noted to be addressed at detailed design stage**
11. On site Lighting Plan will be required. **Noted to be addressed at detailed design stage**
12. The Owner shall design and construct a new Sanitary main (~60m in length, a 200mm diameter) in accordance with the FSR recommendations at his own cost. Detailed drawing to be provided at detailed design stage. **Noted to be addressed at detailed design stage**
13. The Owner shall design and construct a new water main accordance with the FSR recommendations at his own cost. Detailed drawing to be provided at detailed design stage. **Noted to be addressed at detailed design stage**
14. Turning radius shall comply with fire regulations. **Addressed**
15. The Owner shall restore the sections of the right-of-way disturbed during servicing. **Noted to be addressed at Construction**

ESC Plan

1. Please provide an ESC Plan. For detailed drawings of the ESC (Erosion and Sediment Control) fence and Mud mat, refer to the Town of Georgina's design criteria. **Noted to be addressed at detailed design stage**

Noise Study

1. Please provide comments on whether the proposed Manufactured Treatment Unit will affect the results presented in the provided Noise study. The noise study indicates that AC units will generate significant noise. Could you please suggest alternative units to mitigate this issue? **Noted to be addressed at detailed design stage. Also confirm if the**

manufactured treatment plant is still part of the development and if so it needs to be captured in the Noise study.

Preliminary Grading Plan

1. Further information is required concerning driveways, including driveway width specifications. **Noted to be addressed at SPA**
3. Only the backyards of three houses are permitted to drain to a backyard swale before being discharged to an approved outlet. **Noted to be addressed at SPA**
4. Surface drainage necessitates a minimum of 1% slope. **Addressed. Will be reviewed at detailed design stage**
5. All swales should have a minimum depth of 0.15 and a 1% slope. **Addressed. Will be reviewed at detailed design stage**



July 09, 2024

Town of Georgina
Brittany Dobrindt
Planner

Dear Brittany:

Re: 02.206 & 03.1178 – 772 The Queensway S - (the “Subdivision”)

Rogers Communications Canada Inc. (“**Rogers**”) has reviewed the application for the above Subdivision and has determined that it intends to offer its communications services to residents of the Subdivision. Accordingly, we request that municipal approval for the Subdivision be granted subject to the following conditions:

- (1) The Owner shall agree in the Subdivision Agreement to (a) permit all CRTC-licensed telecommunications companies intending to serve the Subdivision (the “**Communications Service Providers**”) to install their facilities within the Subdivision, and (b) provide joint trenches for such purpose.
- (2) The Owner shall agree in the Subdivision Agreement to grant, at its own cost, all easements required by the Communications Service Providers to serve the Subdivision, and will cause the registration of all such easements on title to the property.
- (3) The Owner shall agree in the Subdivision Agreement to coordinate construction activities with the Communications Service Providers and other utilities, and prepare an overall composite utility plan that shows the locations of all utility infrastructure for the Subdivision, as well as the timing and phasing of installation.
- (4) The Owner shall agree in the Subdivision Agreement that, if the Owner requires any existing Rogers facilities to be relocated, the Owner shall be responsible for the relocation of such facilities and provide where applicable, an easement to Rogers to accommodate the relocated facilities.

In addition, we kindly request to, where possible, receive copies of the following documents:

- (1) the comments received from any of the Communications Service Providers during circulation;
- (2) the proposed conditions of draft approval as prepared by municipal planners prior to their consideration by Council or any of its committees; and
- (3) the municipal planners' report recommending draft approval before it goes to Council or any of its committees.

Should you require further information or have any questions, please do not hesitate to contact York Outside Plant Engineering.

Sincerely,

York Outside Plant Engineering
244 Newkirk Road
Richmond Hill, ON
L4C 3S5
yorkcirculations@rci.rogers.com

Kim Harris

From: Connor McBride
Sent: October 19, 2023 3:31 PM
To: Kim Harris
Subject: FW: 772 The Queensway - Stacked Townhouses

Hi Kim,
Please file in the OPA file for 772 The Queensway South.
Please include redacted and unredacted copies.
is already an interested party.
Thanks,

Connor McBride, BES, RPP, MCIP
Senior Development Planner, Development Services Department
Office: 905-476-4301 Ext. 2275
26557 Civic Centre Road, Keswick, ON | L4P 3G1 georgina.ca Follow us on Twitter and Instagram Like us on Facebook

-----Original Message-----

From:
Sent: October 18, 2023 8:10 PM
To: Connor McBride <cmcbride@georgina.ca>
Subject: 772 The Queensway - Stacked Townhouses

WARNING: The sender of this email could not be validated and may not match the person in the ""From"" field.

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hey Conner,

I was unable to attend the meeting in person but watched it live online. I was happy to hear the matter of our dug wells brought up, so thank you for that!

Are we able to request that the landscape architect, ensures that the trees that are planted that run along the property lines are evergreens? There should be no issue with being able to grow different types of evergreens along those property lines...they're not affected by salt, wind, etc. and the evergreens, as they mature, will provide a good sound barrier and light barrier for our properties as they get taller and wider all year round (as opposed to dropping leaves).

I think having the "emergency driveway" being an actual functional driveway with right turns in and out only that was suggested in the meeting would help alleviate some of the noise and quantity of vehicles in and out of the one driveway that would run along our property lines (off Ravenshoe) as well.
I worry about the constant sound of the vehicles that we will hear.

Thanks and I look forward to hearing all good things for this new construction project. The "gateway" into Keswick lol

GENERAL NOTES:

PLANTING:
(UNLESS OTHERWISE SPECIFIED)
• PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 500g. BONE MEAL AND 750g COMMERCIAL FERTILIZER PER CUBIC METER. THE FOREGOING RATES ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
• EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
• PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
• SPRAY ALL PLANTINGS IN LEAF WITH ANTIDESICCANT. PROVIDE TREES WITH STAKES.
• PLANTS ARE TO BE NO. 1 NURSERY GROWN, UNDER PROPER CULTURAL PRACTICES, IN PARTICULAR WITH RESPECT TO AMPLE SPACING, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT PRUNING.
• TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS.
• TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
• DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 1.8m ABOVE THE GROUND.
• ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS.
• DO NOT SOD BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNFORMALLY TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.
TREE LOCATION:
• NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES OR OVER UNDERGROUND SERVICES.
• TREES ARE NOT TO BE PLANTED LESS THAN 1M FROM CURBS, UNDERGROUND UTILITIES, SIDEWALKS AND DRIVEWAYS, 2m FROM FIRE HYDRANTS AND TRANSFORMERS, AND 4m FROM LIGHT STANDARDS.
• THE CONTRACTOR IS TO STAKE OUT LOCATIONS OF TREE PITS. THIS STAKE OUT IS TO BE INSPECTED BEFORE THE EXCAVATION OF ANY TREE PITS.
• BEFORE THIS STAKE OUT, THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
• THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS, PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.
SODDING:
• PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH A 10-6-4 COMMERCIAL FERTILIZER AT 7.3kg./100sq.m. AND SUPER PHOSPHATE AT 5kg./100sq.m. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT.
• LAY NO. 1 NURSERY SOD ON ALL AREAS OF THE PROJECT NOT COVERED BY BUILDINGS OR PAVING.
• IMMEDIATELY AFTER INSTALLATION, SOD MUST BE WATERED AND ROLLED.

RODENT PROTECTION:
• THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT INJURY FOR THE DURATION OF THE GUARANTEE PERIOD.
• PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
• THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

UTILITIES:
• APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORKS WITHIN THE MUNICIPAL BOULEVARD.
• ALL UTILITIES WITHIN THE BOULEVARDS MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

TOPSOIL:

• USE EVENLY MIXED TOPSOIL OF FERTILE, FRIABLE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACIDITY RANGE OF 5.5 TO 7.5 pH. ALL TOPSOIL SHOULD BE FREE OF SUBSOILS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER EXTRANEOUS MATTER.

MAINTENANCE & ACCEPTANCE:

• ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
• SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, VIGOROUS AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING WHEN REQUIRED, PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
• AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
• ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
• MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
• THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE WETLAND UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT.

PLANTING NOTES:

- CHECK ALL QUANTITIES
- REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT
- THE QUANTITIES INDICATED ON THE PLAN SUPERSEDE THE TOTALS OF THE PLANT LIST
- THE LAYOUT OF ALL PLANT MATERIAL IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

DECIDUOUS TREES													
KEY	QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	COND.	REMARKS	PQ	DT	ON	CAUTION
AF	4	Acer freemanii 'Armstrong'	Armstrong Maple	4000	2000	60	as shown	WB	FULL FORM	—	—	—	—
AM	14	Acer glabrum	Amur Maple	4000	2000	50	as shown	WB	FULL FORM	—	—	—	—
GT	10	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honey Locust	4000	2000	60	as shown	WB	FULL FORM	YES	—	—	—
PC	6	Pyrus calleryana 'Chanticleer'	Chanticleer Ornamental Pear	3500	1000	50	as shown	WB	FULL FORM	—	—	*	—
SR	21	Syringa reticulata	Japanese Tree Lilac	4000	2000	50	as shown	WB	FULL FORM	—	—	YES	—
UH	2	Ulmus x 'Americana'	American Elm	4000	2000	60	as shown	WB	FULL FORM	YES	—	—	—
QR	10	Quercus rubra	Red Oak	4000	2000	60	as shown	WB	FULL FORM	—	YES	—	—
CONIFEROUS TREES													
KEY	QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	COND.	REMARKS	PQ	DT	ON	CAUTION
PS	3	Picea omorika	Serbian Spruce	1750	1500	—	as shown	WB	FULL FORM	—	—	—	—
PP	6	Picea pungens	Colorado Spruce	1750	1500	—	as shown	WB	FULL FORM	YES	—	—	—
DECIDUOUS SHRUBS													
KEY	QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	COND.	REMARKS	PQ	DT	ON	CAUTION
Ac	2	Amelanchier canadensis	Servicberry	1500	1000	—	as shown	WB	Multistem	—	YES	—	—
Ec	7	Euonymus alatus 'Compactus'	Dwarf Burning Bush	600	600	—	750	CG	Full Form	—	—	*	—
Hy	32	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	700	—	—	750	CG	Full Form	—	—	—	—
Hk	24	Hypericum xadmirandum	Shrubby St. John's Wort	600	—	—	750	CG	Full Form	YES	YES	YES	—
Lv	116	Ligustrum x vicaryi	Golden Privet	600	—	—	750	CG	Full Form	YES	—	YES	—
Pa	34	Physocarpus opulifolius 'Burgundy Candy'	Burgundy Candy Ninebark	600	—	—	750	CG	Full Form	YES	—	—	—
Ra	73	Ribes alpinum	Alpine Currant	600	—	—	900	CG	Full Form	YES	—	—	—
Sj	68	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	600	—	—	750	CG	Full Form	—	—	YES	—
Sm	28	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	600	—	—	750	CG	Full Form	YES	—	—	—
Wt	41	Weigela florida 'Purpurea'	Purple Weigela	600	—	—	750	CG	Full Form	—	—	YES	—
CONIFEROUS SHRUBS													
KEY	QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	COND.	REMARKS	PQ	DT	ON	CAUTION
ET	52	Euonymus fortunei 'Sarcocolla'	Sarcocolla Winterberry	500	600	—	750	CG	Full Form	YES	—	—	*
Ja	30	Juniperus sabiniana	Savin Juniper	—	600	—	900	CG	Full Form	YES	—	—	—
Ja	64	Taxus x media 'Hill'	Hill's Yew	—	700	—	700	CG	Full Form	YES	—	—	*
PERENNIALS AND ORNAMENTAL GRASS													
KEY	QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	COND.	REMARKS	PQ	DT	ON	CAUTION
ca	22	Calamagrostis canadensis 'Karl Foerster'	Karl Foerster Grass	—	—	—	600	2GAL	Full Form	YES	—	—	—
ha	150	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	—	—	—	500	2GAL	Full Form	YES	—	YES	—
ho	60	Hosta 'Patio'	Patriot Hosta	—	—	—	750	2GAL	Full Form	—	—	—	—
pa	52	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	—	—	—	500	2GAL	Full Form	—	—	—	—
sa	77	Salvia nemorosa 'Cardinalia'	Meadow Sage	—	—	—	500	2GAL	Full Form	YES	—	YES	—

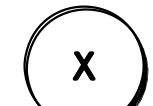
GENERAL NOTES

- VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS.
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.

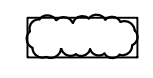
KEY MAP



LEGEND



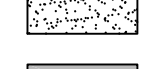
PROPOSED DECIDUOUS TREE



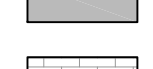
PROPOSED SHRUBS



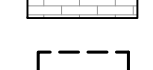
PROPOSED PERENNIALS



SODDING



CONCRETE WALKWAY



UNIT PAVING



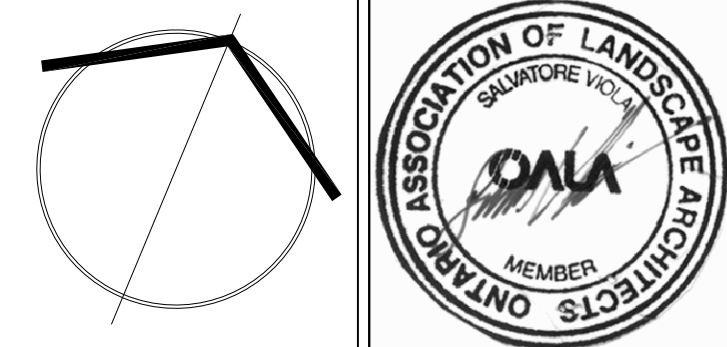
SNOW DEPOSIT AREA



1.8m HT WOOD FENCE

No.	DATE	REVISION	BY
6	FEB 06 2024	REVISED AS PER LATEST SITE PLAN	S.V.
5	APR 12 2023	ISSUED FOR REVIEW	S.V.
4	MAR 06 2023	ISSUED FOR REVIEW	S.V.
3	FEB 24 2023	ISSUED FOR REVIEW	S.V.
2	FEB 17 2023	ISSUED FOR REVIEW	S.V.
1	FEB 15 2023	ISSUED FOR REVIEW	S.V.

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.



SBK
STRYBOS BARRON KING
LANDSCAPE ARCHITECTURE

PROJECT:

772 THE QUEENSWAY S
KESWICK, ONTARIO
FILE NO.:DS-2023-0083

DRAWING TITLE:

LANDSCAPE PLAN

SCALE:	1:150	PROJECT No.	5849
DATE:	FEBRUARY 10 2023	DRAWN BY:	S.D.
CHECKED BY:	S.V.	DRAWING No.	L100

ATTACHMENT 5
Page 1 of 1
Report No. DS-2025-0015
772 The Queensway South (02.206 & 03.1178)

NOTE:
BOULEVARD PLANTING LOCATION TO
SUBJECT TO MUNICIPAL APPROVAL

RAVENSHOE ROAD

**THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK**

BYLAW NUMBER 500-2025-XXXX

**A BYLAW TO AMEND BYLAW NUMBER 500, BEING A BYLAW TO REGULATE
THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF
BUILDINGS AND STRUCTURES WITHIN THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, c.P.13, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 2, Page 1, Schedule 'A' to Zoning Bylaw Number 500, as amended, is hereby further amended by changing the zone symbol from 'C2' to 'R3-78' on lands described as Part of Lot 1, Concession 2 (N.G.) and also described as Part 1 on Reference Plan 65R-10850 and Part 1 on Reference Plan 65R-27355, shown in heavy outline and designated 'R3-78' on Schedule 'A' attached hereto.
2. That Section 9 **MEDIUM DENSITY URBAN RESIDENTIAL** of Zoning Bylaw Number 500, as amended, is hereby further amended by adding after Subsection 9.5.68 **SPECIAL PROVISIONS** the following:

"9.5.69	Part of Lot 1, Concession 2 (NG) Part 1, 65R-10850 and Part 1, 65R- 27355	'R3-78' (Map 2, Pg. 1)
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- a) Notwithstanding Section 9.1 the following shall be an additional permitted use on lands shown in heavy outline and designated 'R3-78' in Schedule 'A' attached hereto:
 - Stacked Townhouse dwellings

- b) Notwithstanding Section 2, for purposes of this bylaw, the following definition shall apply:

DWELLING, STACKED TOWNHOUSE: means a building that is divided vertically and/or horizontally into five (5) or more dwelling units, each of which has independent entrances from the exterior.

- c) Notwithstanding Sections 6.7 (b), (d), (e), (f), (g), (h) and (j) the following requirements shall apply on lands shown in heavy outline and designated 'R3-78' in Schedule 'A' attached hereto:

Lot Area (Minimum)	0.52 ha
Number of Townhouse Dwellings Per Lot (Maximum)	42 Stacked Townhouse Dwellings
Front Yard (Minimum)	6 metres
Rear Yard (minimum)	3 metres
Exterior Side Yard (Minimum)	6 metres
Interior Side Yard (Minimum)	7 metres
Height (Maximum)	12 metres

- d) Notwithstanding Sections 5.28 (a), (b), (h), and (i), and any other provisions to the contrary, the following requirements shall apply to garages, driveways, and parking areas on lands shown in heavy outline and designated 'R3-78' in Schedule 'A' attached hereto:

- i. The minimum parking space width, within the garage and driveway, shall be 2.74 metres.
- ii. The minimum parking space width, within the visitor parking area, shall be 2.75 metres.
- iii. Notwithstanding the minimum number of parking spaces required per dwelling unit, a maximum of two required parking spaces in the

visitor parking area may be eliminated for the purpose of creating a vehicle connection to the land abutting to the north.

- iv. The visitor parking area, including the parking spaces and aisle, are permitted within the minimum front yard and interior side yard.
- v. The minimum width of the paved portion of an access street, which also serves as a parking aisle, shall be 6.0 metres.
- vi. The minimum width of an aisle to access the visitor parking space, which provides two-way traffic and is at 90 degrees shall be 7.0 metres.

e) Notwithstanding Section 5.45 (a), and any other provisions to the contrary, the following requirements shall apply to yard encroachments on lands shown in heavy outline and designated 'R3-78' in Schedule 'A' attached hereto:

- i. Unenclosed porches, steps and decks are permitted to encroach 4.5 metres into the minimum interior yard.
- ii. Unenclosed porches, steps and decks are permitted to encroach 5.0 metres into the required exterior side yard.
- iii. Unenclosed porches, steps and decks are permitted to encroach 4.0 metres into the required front yard.

READ a first, second and third time and finally passed this _____ day of _____, 2025.

Margaret Quirk, Mayor

Rachel Dillabough, Clerk

EXPLANATORY NOTE TO BYLAW NUMBER 500-2025-XXXX

1. The purpose of Zoning Bylaw Number 500-2025-XXXX, which amends Zoning By-law No. 500, is to amend the current zoning from Highway Commercial Zone (C2) to a site-specific Medium Density Urban Residential (R3-78) zone. The amendment is required to facilitate the construction of forty-two stacked townhouse dwelling units.
2. Zoning Bylaw Number 500-2025-XXXX conforms to the Keswick Secondary Plan.
3. A **KEY MAP** showing the general location of the land to which By-law Number 500-2025-XXXX applies is shown below.

