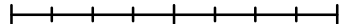


# LOCATION MAP



**SUBJECT LAND**

0 20 40 80 Meters



N



Attachment 1  
A29-24  
(43 The Queensway North)  
Page 1 of 1



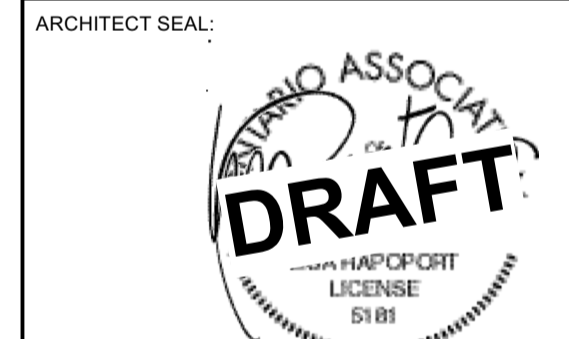
SITE STATISTICS	
MUNICIPAL ADDRESS	43 THE QUEENSWAY NORTH, KESWICK ONTARIO L4P 3T8
LEGAL DESCRIPTION	PART OF LOT 14, CONCESSION 3 TOWN OF GEORGINA, KESWICK, ONTARIO REGION MUNICIPALITY OF YORK,
SITE AREA	3.18 ACRES / 12,869.49m <sup>2</sup>
LOT COVERAGE	2851.00m <sup>2</sup> / 22%
PROJECT LIMIT STATISTICS	
EXISTING GAZEBO AREA	16.44m <sup>2</sup>
PROPOSED GAZEBO AREA	29.5m <sup>2</sup>
PROPOSED SHED AREA	5.745m <sup>2</sup>

LEGEND	
	PROPERTY LINE
	LIMIT OF WORK
	EXISTING BUILDING OR ACCESSORY STRUCTURE
	EXISTING BUILDING OR ACCESSORY STRUCTURE TO BE REMOVED
	PROPOSED BUILDING OR ACCESSORY STRUCTURE
	EXISTING SOD
	PLANTING AREA
	PROPOSED 2.4m (8FT.) HIGH FENCE
	PROPOSED PRECAST RETAINING WALL
	EXISTING TREE
	TREE PROTECTION ZONE
	EXISTING MANHOLE

NO.	DATE	ISSUE/REVISION
3	24-11-12	REVISED FOR MINOR VARIANCE APP.
2	24-10-10	ISSUED FOR MINOR VARIANCE APP.
1	24-08-26	ISSUED FOR CLASS D COSTING

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**PLANT ARCHITECT INC.**  
 SUITE 500 · 317 ADELAIDE STREET W  
 TORONTO ONTARIO CANADA M5V 1P9  
 TELEPHONE 1-416-979-2012  
 WWW.BRANCHPLANT.COM



PROJECT NAME:  
**ADP LANDSCAPING RENEWAL KESWICK GARDENS**

ADDRESS:  
**43 The Queensway North Keswick, Ontario**

PAI PROJECT NUMBER:  
**24038**

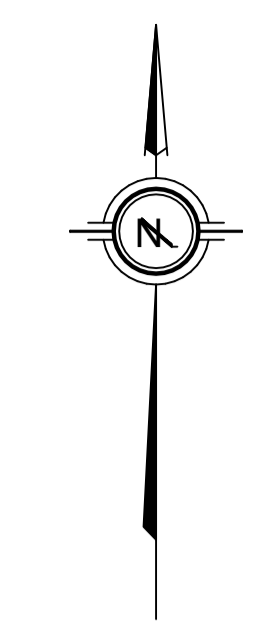
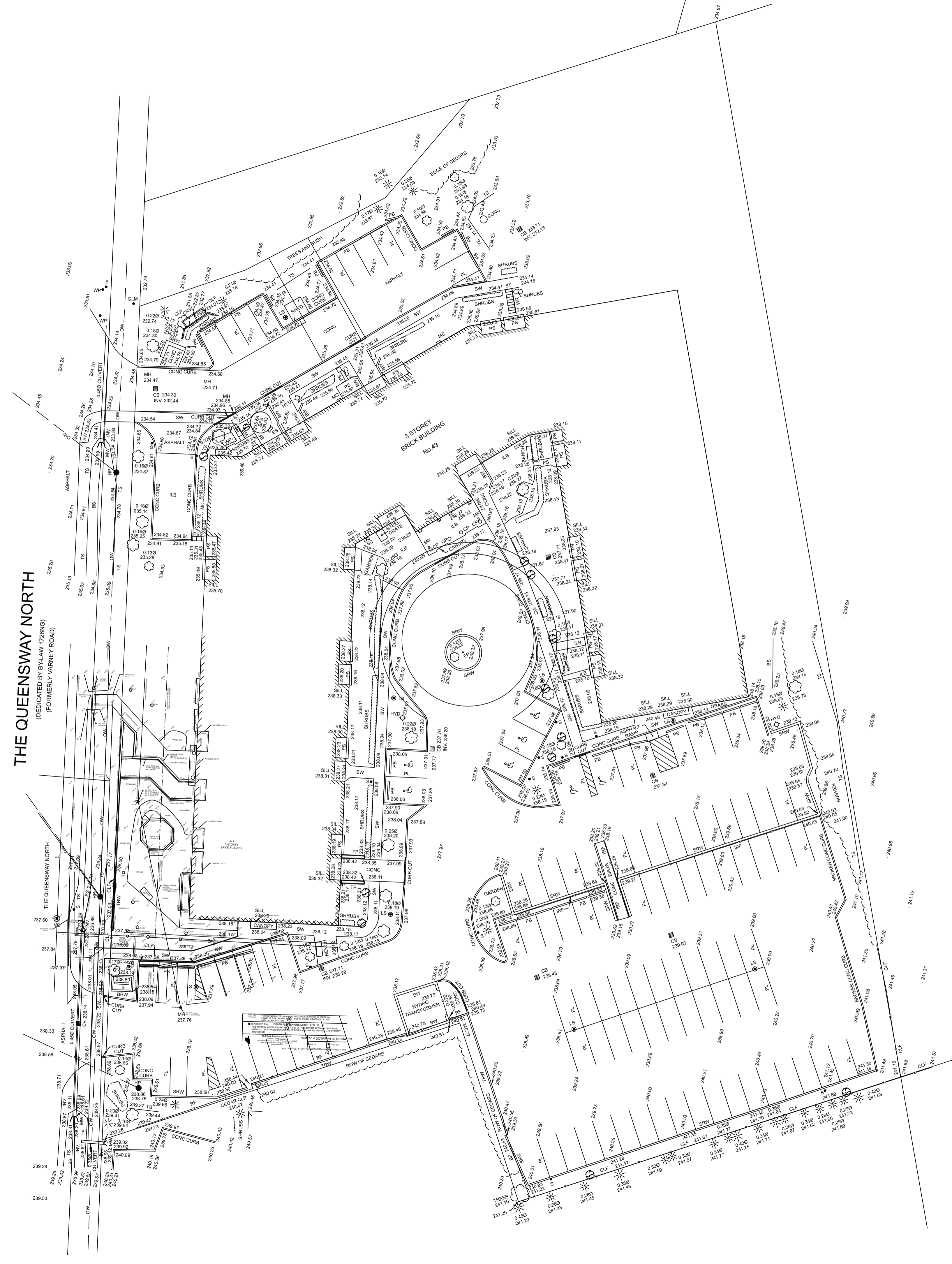
SHEET TITLE:  
**CONTEXT & SITE PLAN**

	SCALE: As Noted
	DATE: 24-07-15
	SHEET SIZE: 610 x 914 (24 x 36")

SHEET No.:  
**L-001**

Attachment 2  
 A29-24 (43 The Queensway North)  
 Page 1 of 6

D1 EXISTING SITE CONTEXT  
 Scale: 300



METRIC  
ELEVATIONS AND  
DISTANCES SHOWN ON  
THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY  
0.3048

PLAN OF TOPOGRAPHY OF  
PART OF LOT 14  
CONCESSION 3  
TOWN OF GEORGINA  
THE REGIONAL MUNICIPALITY OF YORK

SCALE 1:300  
3 0 10 20 METRES

HOLDING JONES VANDERVEEN INC.  
ONTARIO LAND SURVEYORS  
© COPYRIGHT

NOTES  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO GEODETIC SURVEY OF CANADA  
BENCH MARK No. 0011931U497S HAVING AN ELEVATION OF 241.600 METRES.  
CONTOUR INTERVAL = 0.25 METRES

- |      |         |                         |
|------|---------|-------------------------|
| BF   | DENOTES | BOARD FENCE             |
| BRW  | DENOTES | BRICK RETAINING WALL    |
| BW   | DENOTES | BRICK WALL              |
| BS   | DENOTES | BOTTOM OF SLOPE         |
| CB   | DENOTES | CATCH BASIN             |
| CONC | DENOTES | CONCRETE                |
| CLF  | DENOTES | CHAIN LINK FENCE        |
| CLP  | DENOTES | CLUMP OF TREES          |
| CP   | DENOTES | CONCRETE PILLAR         |
| CRW  | DENOTES | CONCRETE RETAINING WALL |
| ES   | DENOTES | ELECTRICAL SWITCHES     |
| FP   | DENOTES | FLAG POLE               |
| GLM  | DENOTES | GAS LINE MARKER         |
| GP   | DENOTES | GAS PIPE                |
| HYD  | DENOTES | HYDRANT                 |
| ILB  | DENOTES | INTERLOCKING BRICK      |
| INV  | DENOTES | INVERT                  |
| IRF  | DENOTES | IRON RAIL FENCE         |
| LS   | DENOTES | LIGHT STANDARD          |
| MC   | DENOTES | METAL COVER             |
| MP   | DENOTES | METAL POST              |
| MW   | DENOTES | METAL WALL              |
| PL   | DENOTES | PARKING BUMPERS         |
| PS   | DENOTES | PATIO STONE             |
| PSS  | DENOTES | PATIO STONE STEP        |
| S    | DENOTES | SIGN                    |
| SC   | DENOTES | SIAMSESE CONNECTION     |
| SPS  | DENOTES | SEWAGE PUMPING STATION  |
| SRW  | DENOTES | STONE RETAINING WALL    |
| ST   | DENOTES | STEPS                   |
| SW   | DENOTES | CONCRETE SIDEWALK       |
| TP   | DENOTES | TIMBER PLANTER          |
| TS   | DENOTES | TOP OF SLOPE            |
| TRW  | DENOTES | TIMBER RETAINING WALL   |
| VC   | DENOTES | VALVE CHAMBER           |
| WP   | DENOTES | WOOD POST               |
| WR   | DENOTES | WOOD RAILING            |
|      | DENOTES | CONIFEROUS TREE         |
|      | DENOTES | DECIDUOUS TREE          |
|      | DENOTES | SHRUB                   |

THE SURVEY WAS COMPLETED ON FEBRUARY 11, 2011.

Attachment 2  
A29-24 (43 The Queensway North)  
Page 2 of 6

NO.	DATE:	ISSUE/REVISION:
2	24-10-10	ISSUE FOR MINOR VARIANCE APP.
1	24-08-26	ISSUED FOR CLASS D COSTING

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**PLANT**  
**ARCHITECT INC.**  
SUITE 500 · 317 ADELAIDE STREET W  
TORONTO ONTARIO CANADA M5V 1P9  
TELEPHONE 1-416-979-2012  
WWW.BRANCHPLANT.COM



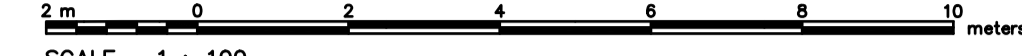
PROJECT NAME:  
ADP LANDSCAPING RENEWAL  
KESWICK GARDENS  
ADDRESS:  
43 The Queensway North  
Keswick, Ontario  
PAI PROJECT NUMBER:  
24038

SHEET TITLE:  
OVERALL SITE SURVEY

	SCALE: As Noted
	DATE: 24-07-15
	SHEET SIZE: 610 x 914 (24 x 36")

SHEET No.: **00**

TOPOGRAPHIC SKETCH SHOW PART OF  
**43 THE QUEENSWAY NORTH**  
**HOUSING YORK INC.**  
**TOWN OF GEORGINA**  
**REGIONAL MUNICIPALITY OF YORK**



SCALE 1 : 100

**METRIC**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

- SAN DENOTES SANITARY
- ST DENOTES STORM
- IB DENOTES IRON BAR
- FO DENOTES FIBER OPTIC
- O/W DENOTES OVERHEAD WIRE
- G DENOTES GAS
- E DENOTES ELECTRICAL
- MH DENOTES MANHOLE
- WV DENOTES WATER VALVE
- FH DENOTES FIRE HYDRANT
- INV DENOTES INVERT ELEVATION
- WATMH DENOTES WATER MANHOLE
- STMMH DENOTES STORM MANHOLE
- CSP DENOTES CORRUGATED STEEL PIPE
- TS DENOTES SIGN
- Ø DENOTES DIAMETER
- ⊙ DENOTES DECIDUOUS TREE

- UNDERGROUND WATER
- UNDERGROUND ELECTRICAL
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- UNDERGROUND STORM

**NOTE**

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

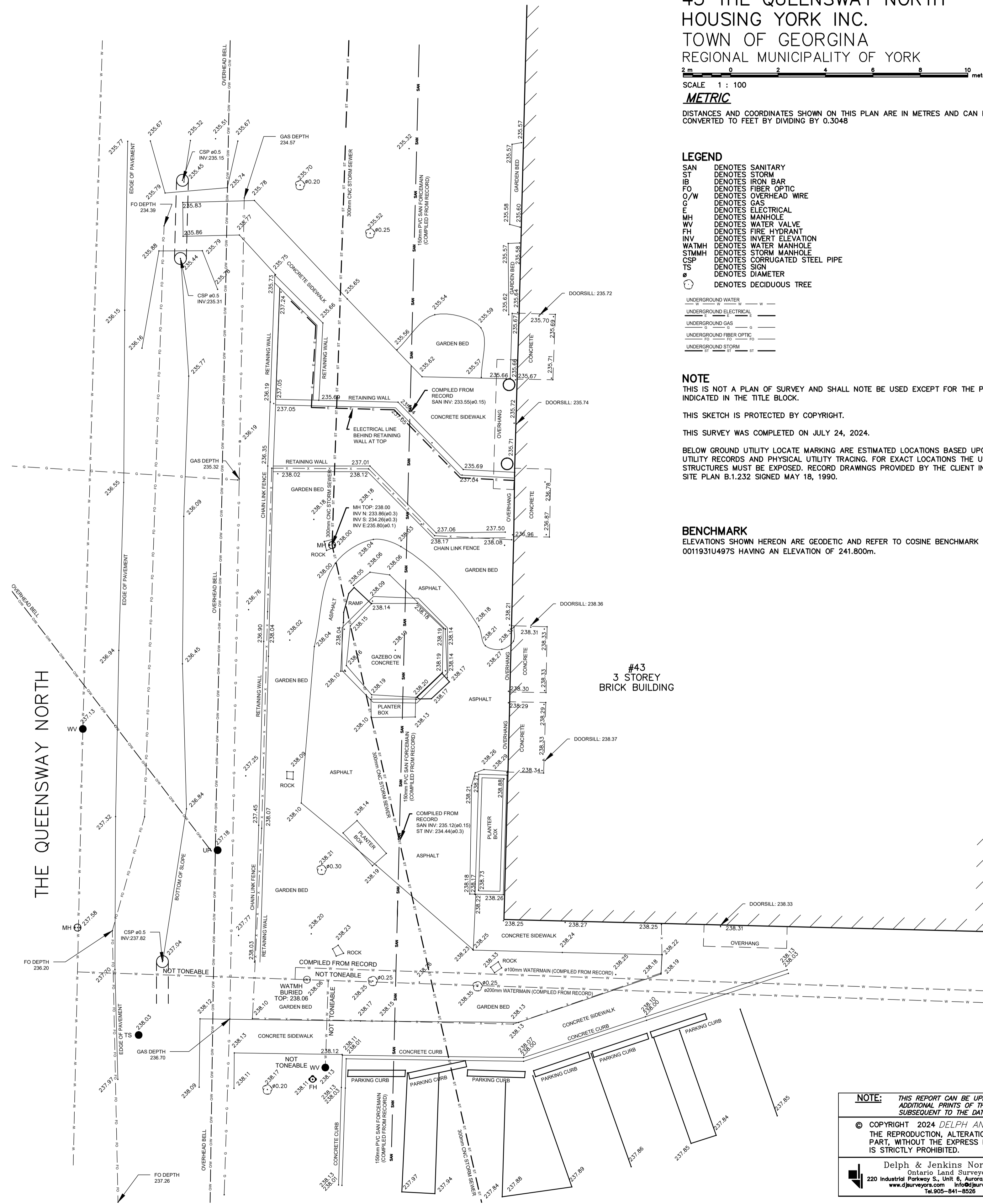
THIS SKETCH IS PROTECTED BY COPYRIGHT.

THIS SURVEY WAS COMPLETED ON JULY 24, 2024.

BELOW GROUND UTILITY LOCATE MARKING ARE ESTIMATED LOCATIONS BASED UPON UTILITY RECORDS AND PHYSICAL UTILITY TRACING. FOR EXACT LOCATIONS THE UTILITY STRUCTURES MUST BE EXPOSED. RECORD DRAWINGS PROVIDED BY THE CLIENT INCLUDE SITE PLAN B.1.232 SIGNED MAY 18, 1990.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND REFER TO COSINE BENCHMARK 0011931U4975 HAVING AN ELEVATION OF 241.800m.



**NOTE:** THIS REPORT CAN BE UPDATED BY THIS OFFICE, HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED, SUBSEQUENT TO THE DATE OF CERTIFICATION.

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Delph & Jenkins North  
 Ontario Land Surveyors  
 220 Industrial Parkway S., Unit 6, Aurora, ON  
 www.delphandjenkins.com info@delphandjenkins.com  
 Tel: 905-841-8528

**Attachment 2**  
**A29-24 (43 The Queensway North)**  
 Page 3 of 6

NO.	DATE	ISSUE/REVISION
2	24-10-10	ISSUED FOR MINOR VARIANCE APP.
1	24-08-26	ISSUED FOR CLASS D COSTING

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 SUITE 500 · 317 ADELAIDE STREET W  
 TORONTO ONTARIO CANADA M5V 1P9  
 TELEPHONE 1-416-979-2012  
 WWW.BRANCHPLANT.COM



PROJECT NAME:  
**ADP LANDSCAPING RENEWAL**  
**KESWICK GARDENS**

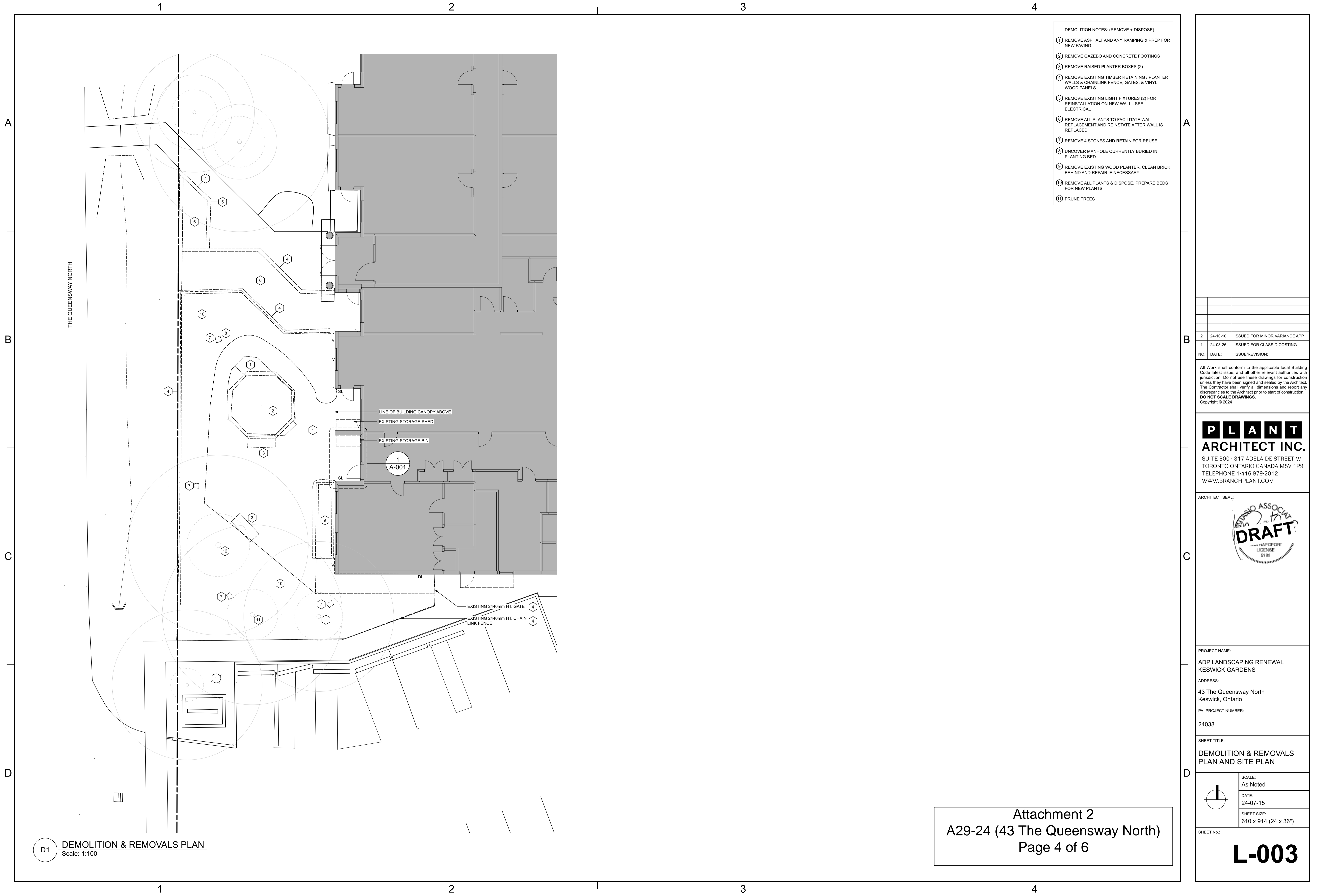
ADDRESS:  
**43 The Queensway North**  
**Keswick, Ontario**

PAI PROJECT NUMBER:  
**24038**

SHEET TITLE:  
**PROJECT AREA SURVEY**

SCALE: As Noted
DATE: 24-07-15
SHEET SIZE: 610 x 914 (24 x 36")

SHEET No.:  
**000**



- DEMOLITION NOTES: (REMOVE + DISPOSE)
- ① REMOVE ASPHALT AND ANY RAMPING & PREP FOR NEW PAVING.
  - ② REMOVE GAZEBO AND CONCRETE FOOTINGS
  - ③ REMOVE RAISED PLANTER BOXES (2)
  - ④ REMOVE EXISTING TIMBER RETAINING / PLANTER WALLS & CHAINLINK FENCE, GATES, & VINYL WOOD PANELS
  - ⑤ REMOVE EXISTING LIGHT FIXTURES (2) FOR REINSTALLATION ON NEW WALL - SEE ELECTRICAL
  - ⑥ REMOVE ALL PLANTS TO FACILITATE WALL REPLACEMENT AND REINSTATE AFTER WALL IS REPLACED
  - ⑦ REMOVE 4 STONES AND RETAIN FOR REUSE
  - ⑧ UNCOVER MANHOLE CURRENTLY BURIED IN PLANTING BED
  - ⑨ REMOVE EXISTING WOOD PLANTER, CLEAN BRICK BEHIND AND REPAIR IF NECESSARY
  - ⑩ REMOVE ALL PLANTS & DISPOSE. PREPARE BEDS FOR NEW PLANTS
  - ⑪ PRUNE TREES

D1 DEMOLITION & REMOVALS PLAN  
Scale: 1:100

Attachment 2  
A29-24 (43 The Queensway North)  
Page 4 of 6

NO.	DATE:	ISSUE/REVISION:
2	24-10-10	ISSUED FOR MINOR VARIANCE APP.
1	24-08-26	ISSUED FOR CLASS D COSTING

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TORONTO ONTARIO CANADA M5V 1P9  
TELEPHONE 1-416-979-2012  
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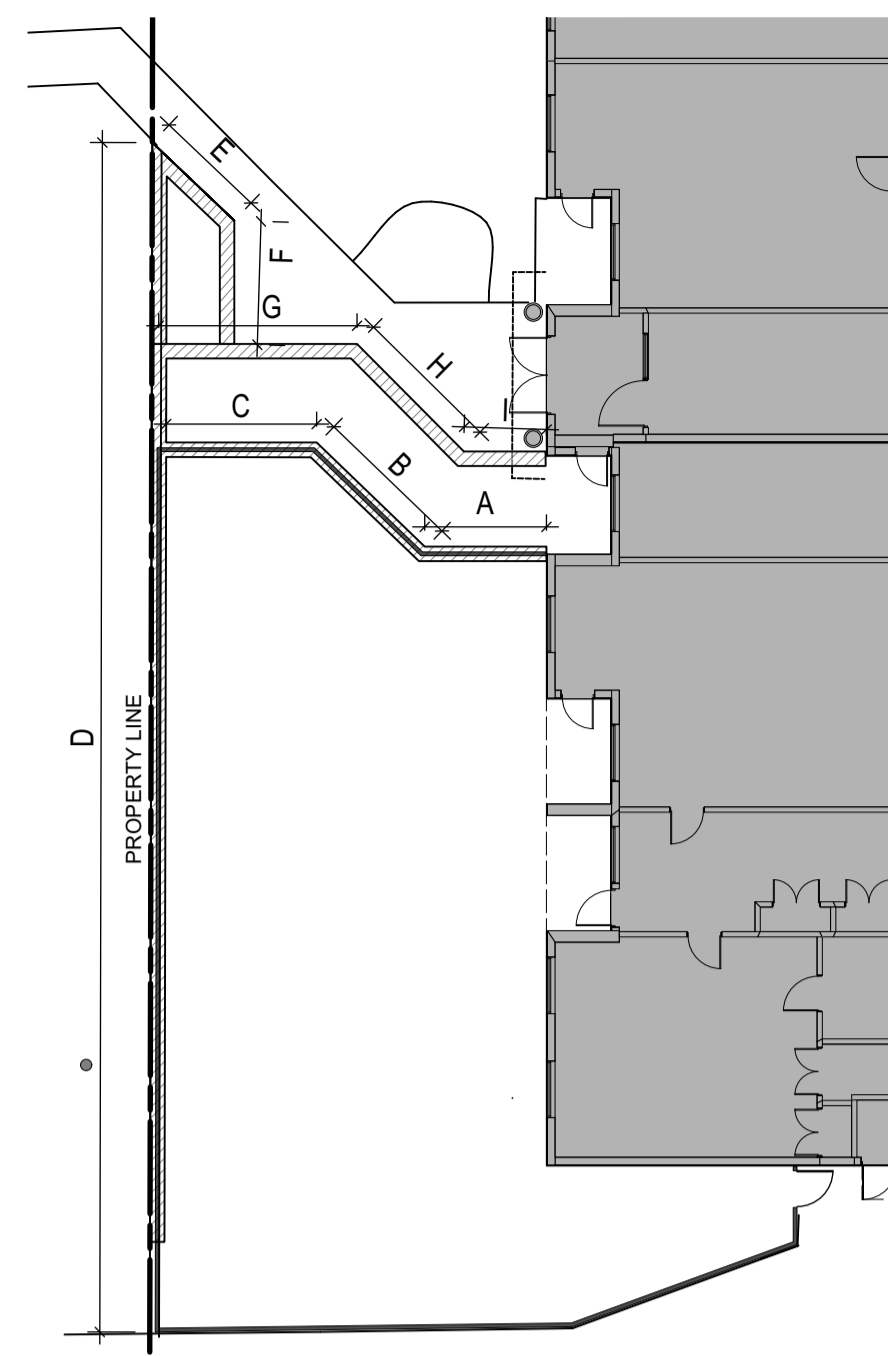
PROJECT NAME:  
ADP LANDSCAPING RENEWAL  
KESWICK GARDENS  
ADDRESS:  
43 The Queensway North  
Keswick, Ontario  
PAI PROJECT NUMBER:  
24038

SHEET TITLE:  
DEMOLITION & REMOVALS  
PLAN AND SITE PLAN

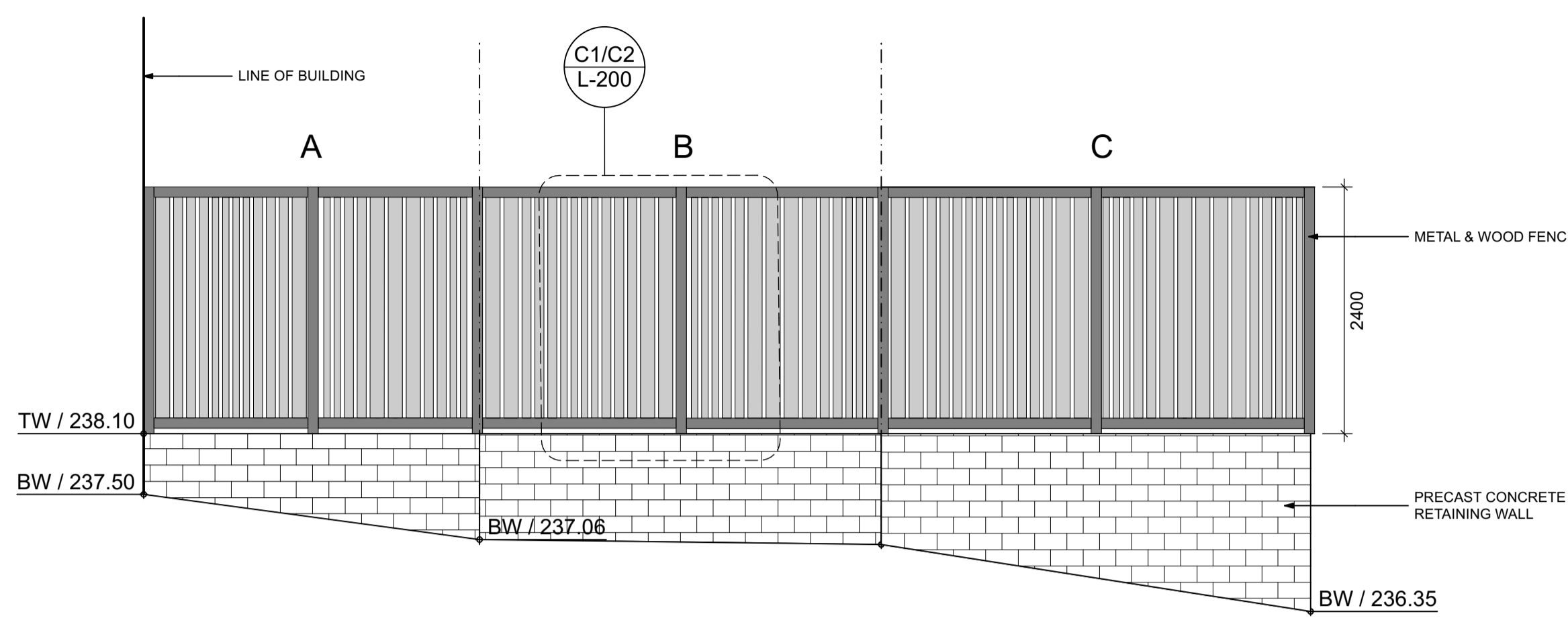
SCALE:  
As Noted  
DATE:  
24-07-15  
SHEET SIZE:  
610 x 914 (24 x 36")

SHEET No.:  
**L-003**

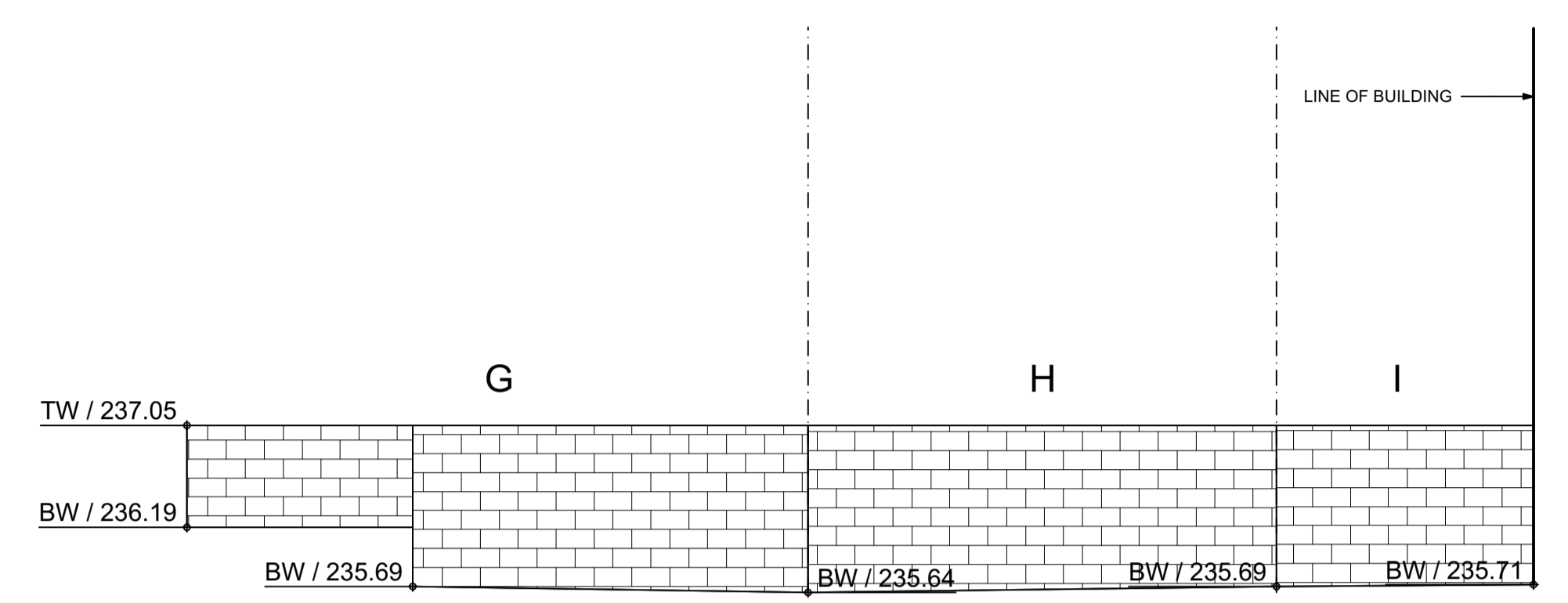




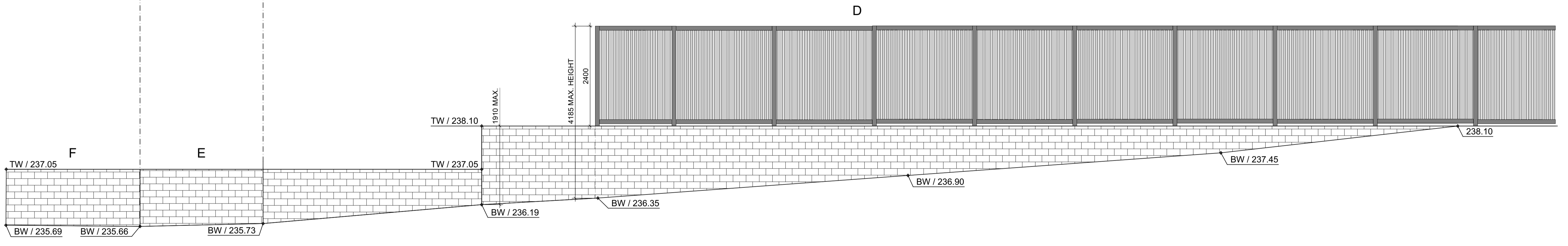
**B1** FENCE & RETAINING WALL KEY PLAN  
Scale: 1:200



**B2** FENCE & RETAINING WALL UNFOLDED ELEVATION  
Scale: 1:50



**B3** RETAINING WALL UNFOLDED ELEVATION  
Scale: 1:50



**C1** FENCE & RETAINING WALL UNFOLDED ELEVATION  
Scale: 1:50

NO.	DATE	ISSUE/REVISION
2	24-10-10	ISSUED FOR MINOR VARIANCE APP.
1	24-08-26	ISSUED FOR CLASS D COSTING

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TORONTO ONTARIO CANADA M5V 1P9  
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PROJECT NAME:  
ADP LANDSCAPING RENEWAL  
KESWICK GARDENS  
ADDRESS:  
43 The Queensway North  
Keswick, Ontario  
PAI PROJECT NUMBER:  
24038

SHEET TITLE:  
ELEVATIONS

SCALE:  
As Noted  
DATE:  
24-07-15  
SHEET SIZE:  
610 x 914 (24 x 36")

SHEET No.:

**L-201**

# Site Photos

43 The Queensway N  
Facing East



43 The Queensway N  
Facing North





43 The Queensway N  
Facing North



43 The Queensway N  
Facing East



43 The Queensway N  
Facing North West



43 The Queensway N  
Facing South East





Sent via e-mail: [braines@georgina.ca](mailto:braines@georgina.ca)

November 14, 2024

**Municipal File No.: A28-24**  
**LSRCA File No.: VA-156546-110824**

**Brianna Raines**  
**Secretary-Treasurer to the Committee of Adjustment**  
**Planning Division, Development Services Department**  
**26557 Civic Centre Road**  
**Keswick, ON L4P 3G1**

Dear Ms. Raines,

**Re: Application for Minor Variance**  
**43 The Queensway North**  
**Town of Georgina**  
**Owner: York Housing Inc.**  
**Applicant: PLANT Architect Inc.**

---

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to construct a shed, pergola and fenced in amenity area. The Applicant/Owner is seeking relief from the following sections of the Town of Georgina Zoning By-law No. 500, as amended:

- **Section 5.1 (b)** which does not permit an accessory building or structure in any yard other than an interior side yard or rear yard, whereas the proposal is requesting to construct an accessory building (pergola) in a front yard;
- **Section 5.1 (b)** which does not permit an accessory building or structure in any yard other than an interior side yard or rear yard, whereas the proposal is requesting to construct an accessory building (shed) in a front yard;
- **Section 5.1 (b)** which requires an accessory structure to be setback a minimum of 2 metres from the existing dwelling, whereas the proposal is requesting a setback of 1.58 metres;
- **Section 5.12** which requires adherence to the minimum yard requirements for a fence with a maximum height exceeding 2 metres, whereas the proposal is requesting a 2.4 metre high fence with nil front yard setbacks.

**Documents Received and Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- Notice of Hearing (dated November 7, 2024)

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

### **Recommendation**

Based on our review of the submitted information in support of the application, the proposal is consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

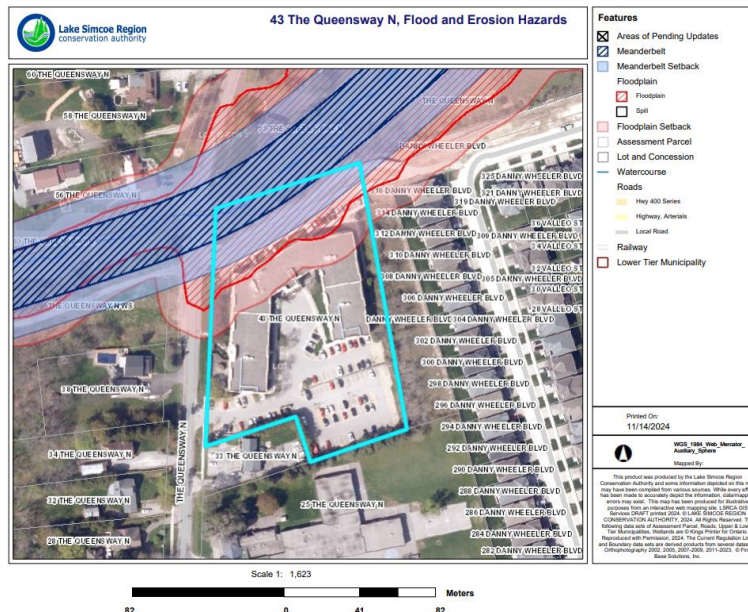
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

### **Site Characteristics**

The subject land is approximately 1.28 hectares (3.16 acres) in area and is located east of The Queensway North and south of Danny Wheeler Boulevard within the Town of Georgina. The subject land is currently zoned 'Medium Density Urban residential (R3) Zone' per the Town of Georgina Zoning By-law No. 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24. Please see a detailed regulatory map below. This is representative of:
  - The presence of a watercourse (Keswick Creek)
  - Regulatory floodplain and meanderbelt (erosion) hazards associated with Keswick Creek
- The subject property is within the Protected Countryside designations per the Greenbelt Plan.



**Delegated Responsibility and Statutory Comments**

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS). There are identified natural hazards on the subject land (floodplain, erosion hazard area). Based on the information submitted as part of this application, the proposal is located outside of the hazardous lands and is therefore consistent with 5.2 of the PPS.
2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. The proposed development is located outside of the regulated area therefore a permit from the LSRCA is not required at this time.

**Advisory Comments**

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

**Summary**

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 5.2 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject site. The proposal is located outside of the regulated area therefore a permit from the LSRCA is not required;
3. **That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.**

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned ([j.lim@lsrca.on.ca](mailto:j.lim@lsrca.on.ca)).

Sincerely,

A handwritten signature in blue ink that reads "J. Lim." with a period at the end.

Jessica Lim  
Planner I  
Lake Simcoe Region Conservation Authority (LSRCA)