

LOCATION MAP

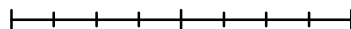


SUBJECT LAND



Approximate Lands that Minor Variance's affect

0 90 180 360 Meters



N

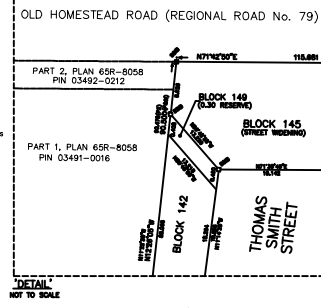


METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARINGS ARE LISTED DERIVED FROM OBSERVED REFERENCE POINTS 1 AND 2, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, WGS84 (ORIGINAL). DISTANCES ARE GIVEN AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 0.3048.

POINT NO.	EASTING	NORTHING
CRP 1	480013.287	633003.272
CRP 2	480004.340	633008.340

PLAN OF SUBDIVISION OF PART OF THE EAST PART OF LOT 15 AND PART OF LOT 14 CONCESSION 3 (GEOGRAPHIC TOWNSHIP OF NORTH GUILMBURY, COUNTY OF YORK) TOWN OF GEORGINA REGIONAL MUNICIPALITY OF YORK SCALE 1:1000 SCHAEFFER DZALDOV PURCELL LTD.



PLAN 65M-

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION NO. 85 AT ... O'CLOCK ON THE ... DAY OF ... AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER No. ... AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. ...

Representative For Land Registrar

THIS PLAN COMPRISES ALL OF PIN 03491-0516.

- NOTES
- 1. DENOTES SHORT STAINLESS IRON BAR PLANTED
 - 2. DENOTES IRON BAR MOUNTED
 - 3. DENOTES FENCE MONUMENT
 - 4. DENOTES STANDARD IRON BAR
 - 5. DENOTES SIGHT STANDARD IRON BAR
 - 6. DENOTES IRON BAR
 - 7. DENOTES IRON PIPE
 - 8. DENOTES EXPROPRIATION PLAN D963
 - 9. DENOTES PLAN 65R-27168
 - 10. DENOTES PLAN 65R-2723
 - 11. DENOTES PLAN 65R-10573
 - 12. DENOTES PLAN 65R-10465
 - 13. DENOTES MEASURED
 - 14. DENOTES WITNESS
 - 15. DENOTES LOCKS & PURCELL LTD.
 - 16. DENOTES WSP GEOMATICS ONTARIO LIMITED
 - 17. DENOTES CHINA SURVEYING
 - 18. DENOTES R.A. GARDEN LIMITED
 - 19. DENOTES SCHAEFFER DZALDOV PURCELL LTD.
 - 20. DENOTES A. FARKINS, O.L.S.
 - 21. DENOTES CONCORD HYDRO
 - 22. DENOTES REPLACED WITH SSB
 - 23. DENOTES ROSS AND WIRE FENCE
 - 24. DENOTES WOOD BALK FENCE
 - 25. DENOTES BOARD FENCE
 - 26. DENOTES RAIL FENCE
 - 27. DENOTES WOOD RETAINING WALL
 - 28. DENOTES OVERHEAD WIRE
 - 29. DENOTES CUT ANCHOR
 - 30. DENOTES UTILITY POLES BOARD FENCE
 - 31. DENOTES CON
 - 32. DENOTES DOUBLE SIZED BOARD FENCE
 - 33. DENOTES WSP

TOTAL AREA OF SUBDIVISION = 40,8198 ha.
 "CAUTION" - PLEASE NOTE ALL 0.30 RESERVES HAVE BEEN EXAGGERATED FOR CLARITY PURPOSES.
 ALL FOUND MONUMENTS ARE SSB'S UNLESS NOTED OTHERWISE.
 ALL FOUND MONUMENTS ARE NUMBERED 822 UNLESS NOTED OTHERWISE.



LEGEND

- VARIANCES 1, 2 & 3
- VARIANCES 4 & 5
- VARIANCE 6 All Lots & Blocks 127-133

CURVE DATA

STATION	CHORD BEARING	CHORD DISTANCE	ARC BEARING	ARC DISTANCE
1+00	S 89° 12' 00" W	100.00	179° 59' 59" 30"	100.00
1+00	S 89° 12' 00" W	100.00	179° 59' 59" 30"	100.00
1+00	S 89° 12' 00" W	100.00	179° 59' 59" 30"	100.00

OWNER'S CERTIFICATE
 THIS IS TO CERTIFY THAT:
 1. LOTS 1 TO 126, BOTH INCLUDING BLOCKS 127 TO 140, BOTH INCLUDING STREETS WHEELER BOULEVARD, WHEELER COURT, THOMAS SMITH STREET, DONALD BOULEVARD, CONNELL DRIVE, WHEELER COURT, THOMAS SMITH STREET AND DONALD BOULEVARD, CONCERNING STREETS BLOCKS 143, 144 AND 145 AND ALSO RESERVES BLOCKS 146 TO 150, BOTH INCLUDING, HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUMENTS.
 2. THE STREETS AND STREET WIDTHS ARE HEREBY DEDICATED TO THE CORPORATION OF THE TOWN OF GEORGINA AS PUBLIC HIGHWAYS.

DATED THE ... DAY OF ... 2024.
 STARLISH HOME (BT) CORP.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE ... DAY OF ... 2024.

i. Section 7.5.113 (b) (ii): To permit a maximum interior garage width of 8.9 metres, whereas the maximum interior garage width of 6 metres is permitted.

ii. Section 5.28(i): to permit a maximum a driveway or parking area width of 60% of the lot frontage for the 15 metre lots, whereas a maximum of 55% is permitted

7.5.113(b)(v): To permit a maximum driveway or parking area width of 9.9 metres for the 18-metre lots, whereas a maximum driveway width is the width of the interior garage, plus 0.5 metres is permitted

iii. Section 7.5.113 (a): To permit an interior side yard setback of 0.6 metres on one side, whereas an interior side yard setback on both sides of 1.2 metres is required

iv. Section 5.28(i): To permit a minimum distance between the driveway and the intersection of street lines of 6 metres, whereas a minimum distance of 9 metres is permitted.

v. Section 5.35 (a): To permit a minimum size of a sight triangle of 5 metres for local street lines intersect in a Residential Zone, whereas a minimum size of sight triangle for local street lines intersect in a Residential zone of 6 metres is permitted.

vi. Section 7.5.113 (a): To permit a rear yard setback of 6 metres, whereas a rear yard setback of 7 metres is required.

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990 THIS ... DAY OF ... 2024.
 DENIS REGALLER, M.C.P., P.E.
 DIRECTOR OF DEVELOPMENT SERVICES

SCHAEFFER DZALDOV PURCELL LTD.
 ONTARIO LAND SURVEYORS
 64 JARDIN DRIVE
 CONCORD, ONTARIO L4K 3P3 TEL: (416) 887-0101
 CALC. S.I. DRAWN ACAD/LW CHECKED SCALE: 1:1000 I.D.W. NO. 18-317-0350
 PLOT NO. 2024-0645 NOVEMBER 7, 2024

**THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK**

BY-LAW NUMBER 500-2022-0004 (PL-5)

**A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW
TO REGULATE THE USE OF LANDS AND THE CHARACTER,
LOCATION AND USE OF BUILDINGS AND STRUCTURES WITHIN
THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, the Corporation of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 3, Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'T' and 'RU', on lands described as Part of Lot 1, Registrar's Compiled Plan 12004, and Part of Lot 14, and Part of the East Part of Lot 15, Concession 3 (N.G.), shown in heavy outline and designated 'R1-161', 'R1-162', 'R1-162(B)', 'R1-163', 'RI-163(B)', 'T', R3-66, 'OS-119', 'OS-120' and 'OS-121' in Schedule 'A' attached hereto.

2. That Section 7.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 7.5.112, the following:

“7.5.113 LOTS 14 & 15 CONCESSION 3 (N.G.) ‘R1-161’, ‘R1-162’, ‘R1-162(B)’, ‘R1-163’ & ‘R1-163(B) (Map 3)’”

a) Notwithstanding Sections 6.1 (a), (b), (c), (d), (e), (f), (i) and (j), the following requirements shall apply on lands shown in heavy outline and designated ‘R1-161’, ‘R1-162’, and ‘R1-163’ in ‘Schedule ‘A’ attached hereto:

Zone	R1-161	R1-162 & R1-162 (B)	R1-163 & R1-163 (B)
Lot Frontage (Minimum)			
Interior Lot	11.0 metres	12.0 metres	15.0 metres
Corner Lot	14.0 metres	15.0 metres	18.0 metres
Lot Area (Minimum)			
Interior Lot	310 m ²	320 m ²	450 m ²
Corner Lot	420 m ²	450 m ²	540 m ²
Front Yard (Minimum)			
To Attached Garage	6 metres (i)	6 metres (i)	6 metres (i)
To Dwelling	5 metres (i)	5 metres (i)	5 metres (i)
Exterior Side Yard (Minimum)	4 metres (i) (ii)	4 metres (i) (ii)	4 metres (i) (ii)
Rear Yard (Minimum)	7.0 metres	7.0 metres	7.0 metres
Interior Side Yard (Minimum)	1.2 metres on one side and 0.6 metres on the other side, plus 0.5 metres for each additional or partial storey	1.2 metres on one side and 0.6 metres on the other side, plus 0.5 metres for each additional or partial storey	1.2 metres, plus 0.5 metres for each additional or partial storey above the second (iii)

	above the second (iii)	above the second (iii)	
Lot Coverage (Maximum)	Not Applicable	Not Applicable	Not Applicable
Height of Dwelling (Maximum)	12 metres	12 metres 'R1-162 (B)' & 13 metres 'R1-162'	12 metres 'R1-163' (B) & 13 metres 'R1-163'

- (i) The minimum setback for the main wall of a dwelling to a sight triangle which forms part of the street shall be 2.5 metres, and the minimum setback for any other building or structure to a sight triangle which forms part of the street shall be 0.6 metres.
- (ii) Pursuant to By-law Number 2004-0078 (PWO-2), as amended, no entrance shall be permitted to provide access to the exterior flankage of a corner lot.
- (iii) Where there is a detached garage in the rear yard of a lot, the minimum interior side yard on the side providing access to a detached garage shall be 3.5 metres.

b) Notwithstanding Sections 5.28 (h) and (i), and any other provisions to the contrary, the following additional requirements shall apply to garages, driveways, and parking areas:

- i) Every lot shall provide a garage.
- ii) The minimum interior dimensions of a garage shall be 5.48 metres in width by 5.7 metres in length of which 3.0 metres in width by 5.7 metres in length shall be unobstructed. Furthermore, the maximum interior garage width shall be 6 metres.
- iii) No encroachments shall be permitted into a required parking space located within a garage, save and except for one step (2 risers) into the minimum garage length.
- iv) No part of an attached garage shall project beyond the front wall of the first storey of the dwelling except where a porch is provided, in which case the attached garage shall not project beyond the front of the porch.

- v) In the case of a dwelling with an attached garage, no part of any driveway or parking area in the front yard shall be located closer than 0.6 metres from a sight triangle and 0.6 metres from a side lot line. Furthermore, the minimum width of a driveway or parking area in the front yard shall be 5.5 metres and the maximum width shall be the interior width of the attached garage on the lot, plus 0.5 metres.
 - vi) In the case of a lot with a detached garage in the rear yard, no part of any driveway or parking area shall be located closer than 0.9 metres from a side lot line. Furthermore, the minimum width of a driveway leading to a parking area and a detached garage in the rear yard shall be 2.5 metres, and the maximum width of a driveway or parking area in the front yard shall be 3 metres.
- c) Notwithstanding the provisions of Section 5.12, the erection of fences on residential lots shall be subject to the following:
- i) Fences not exceeding 2 metres in height are permitted in the rear yard, as well as within the back half of the interior side yard. Such fences are exempt from the minimum yard requirements. Any fence within the above noted yards that exceeds 2 metres in height must be erected in compliance with the minimum yard requirements for the appropriate zone.
 - ii) Fences are permitted in the front and exterior side yards, as well as the front half of the interior side yard, provided such fence does not exceed 0.9 metres in height. Such fences are exempt from the minimum yard requirements of the by-law.
 - iii) Notwithstanding ii) above, where the front yard abuts the rear yard or back half of the interior side yard of an abutting residential lot, fences not exceeding 2 metres in height are permitted along the common lot line.
 - iv) Notwithstanding i) and ii) above, where a lot or block abuts a commercial zone, a fence may be

erected along the common lot line or in the commercial zone to a maximum height of 3 metres.

- d) Notwithstanding Section 5.45 (a) as it applies to yard encroachments for Unenclosed Porches and Steps in the required front and exterior side yard areas, unenclosed porches are permitted to encroach 2 metres into any required front yard or exterior side yard with an additional 0.5 metre encroachment permitted for steps. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.
- e) Notwithstanding Section 5.45(a) as it applies to yard encroachments for Window Bays in the required front, rear, interior and exterior side yard areas, Bay, Box-out, and Bow Windows with or without foundations with a maximum width of 3.2 metres may project into any required front, rear or exterior side yard a maximum distance of 1 metre. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.”

3. That Section 9.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 9.5.55, the following:

“9.5.56 LOTS 14 & 15 CONCESSION 3 ‘R3-66’ (Map 3) (N.G.)”

- a) Notwithstanding Sections 6.6 (a) to (j), inclusive, the following requirements shall apply on lands shown in heavy outline and designated ‘R3-66’ in ‘Schedule ‘A’ attached hereto:

a) Lot Frontage (minimum) - Interior Lot - End Unit - Corner Lot	6.0 metres 7.16 metres 9.0 metres
b) Lot Area per Unit (minimum) - Interior Lot - Corner Lot	150 square metres 216 square metres

c) Front Yard (minimum)	6.0 metres(i)
d) Exterior Side Yard (minimum)	3.0 metres (ii)
e) Rear Yard (minimum)	7.0 metres
f) Interior Side Yard (minimum)	1.2 metres, 0.0 metres between attached dwelling units.
g) Floor Area per Dwelling Unit (minimum)	75 square metres
h) Lot Coverage (maximum)	Not applicable
i) Height of Dwellings (maximum)	13 metres
j) Number of Townhouse Dwelling Units per Lot (maximum)	1

- (i) The minimum setback for the main wall of a dwelling to a sight triangle which forms part of the street shall be 2.5 metres, and the minimum setback for any other building or structure to a sight triangle which forms part of the street shall be 0.6 metres.
 - (ii) Pursuant to By-law Number 2004-0078 (PWO-2), as amended, no entrance shall be permitted to provide access to the exterior flankage of a corner lot.
- b) Notwithstanding Sections 5.28 (h) and (i), and any other provisions to the contrary, the following additional requirements shall apply to garages, driveways, and parking areas:
- i) Every lot shall provide a garage.
 - ii) The minimum interior dimensions of a garage shall be 2.7 metres in width by 5.7 metres. Furthermore, the maximum interior garage width shall be 3.5 metres.
 - iii) No encroachments shall be permitted into a required parking space located within a garage, save and except for one step (2 risers) into the minimum garage length.
 - iv) No part of an attached garage shall project beyond the front wall of the first storey of the dwelling except where a porch is provided, in which case the attached garage shall not project beyond the front of the porch.

- c) Notwithstanding the provisions of Section 5.12, the erection of fences on residential lots shall be subject to the following:
- v) Fences not exceeding 2 metres in height are permitted in the rear yard, as well as within the back half of the interior side yard. Such fences are exempt from the minimum yard requirements. Any fence within the above noted yards that exceeds 2 metres in height must be erected in compliance with the minimum yard requirements for the appropriate zone.
 - vi) Fences are permitted in the front and exterior side yards, as well as the front half of the interior side yard, provided such fence does not exceed 0.9 metres in height. Such fences are exempt from the minimum yard requirements of the by-law.
 - vii) Notwithstanding ii) above, where the front yard abuts the rear yard or back half of the interior side yard of an abutting residential lot, fences not exceeding 2 metres in height are permitted along the common lot line.
- d) Notwithstanding Section 5.45 (a) as it applies to yard encroachments for Unenclosed Porches and Steps in the required front and exterior side yard areas, unenclosed porches are permitted to encroach 2 metres into any required front yard or exterior side yard with an additional 0.5 metre encroachment permitted for steps. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.
- e) Notwithstanding Section 5.45(a) as it applies to yard encroachments for Window Bays in the required front, rear, interior and exterior side yard areas, Bay, Box-out, and Bow Windows with or without foundations with a maximum width of 3.2 metres may project into any required front, rear or exterior side yard a maximum distance of 1 metre. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.”

4. That Section 27.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 27.5.117 the following:

**“27.5.118 PART LOTS 14 AND 15, OS-119,OS-120,OS-121
CONCESSION 3 (N.G.) (Map 3)”**

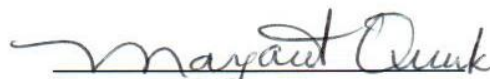
Notwithstanding Section 27.1 and 27.2, in that area designated `OS-119` in Schedule `A` hereto, the only permitted uses shall be forestry and conservation uses.


Notwithstanding Section 27.1 and 27.2, in that area designated `OS-120` the only permitted use shall be a municipal park

Notwithstanding Section 27.2 on those lands shown in heavy outline and designated `OS-121` in Schedule `A` attached hereto a stormwater management facility shall also be permitted.

This by-law shall be signed by the Mayor and Clerk, affixed with the seal of the Corporation and engrossed in the By-law book.

READ and ENACTED this 20th day of July, 2022


Margaret Quirk, Mayor


Rachel Dillabough, Town Clerk

BLOCKS 249, 250 AND 251, PLAN 65M-4659

PART OF THE EAST PART OF LOT 15 AND

PART OF LOT 14, CONCESSION 3

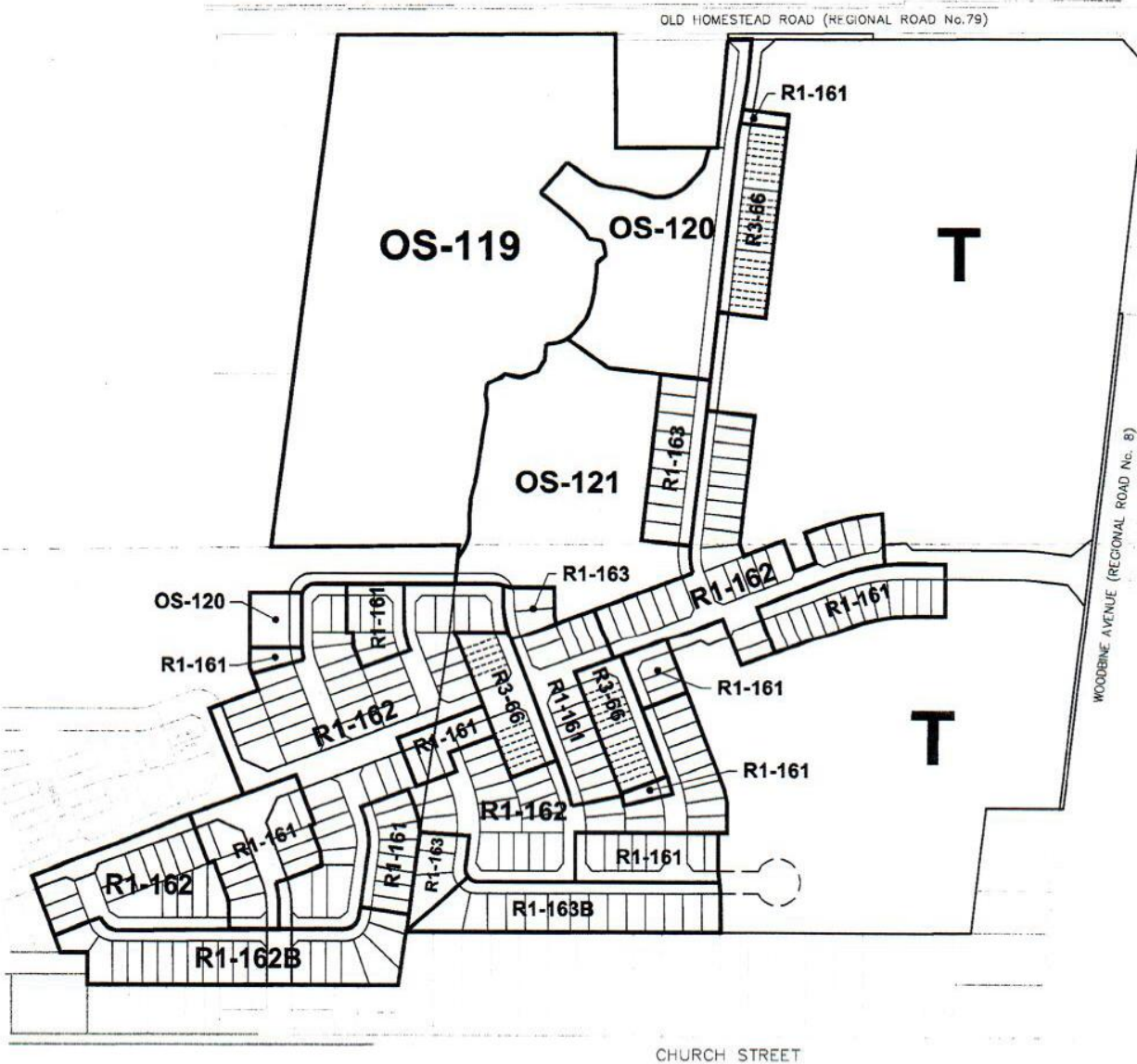
TOWN OF GEORGINA

REGIONAL MUNICIPALITY OF YORK

**FORMERLY IN THE TOWNSHIP OF NORTH GWILLIMBURY
COUNTY OF YORK**

THIS IS SCHEDULE 'A' TO
BY-LAW 500-2022-0004 (PL-5)
PASSED THIS 30th DAY OF
July 2022

CLERK
M. Deuk
MAYOR



SCHEDULE 'A' TO BY-LAW 500-2022-0004(PL-5)

TABLE 1: Orchidtrail Phase 1 (Treasure Hill) – Minor Variance Application

Draft M-Plan Lots and Blks. Subject to Requested Minor Variances					
Minor Variance #1 (Maximum Interior Garage Width from 6 metres to 8.9 metres)	Minor Variance #2 (Driveways Increased In width	Minor Variance #3 Reduced interior side yard on one side from 1.2 metres to 0.6 metres)	Minor Variance #4 (Reduction in Driveway Setback from Intersection from 9 metres to 6 metres	Minor Variance #5 (Reduction in Sight Triangle from 6 metres to 5 metres)	Minor Variance #6 (Reduction in Rear Yard from 7 metres to 6.0 metres)
Section 7.5.113 b)ii)	Section 5.28 (i) first paragraph Section 7.5.113 b)v)	Section 7.5.113 a) Zone Table of By-law 500-2022-0004 – R1-163 & R1-163 (B) Zones	Section 5.28 i) fourth paragraph	Section 5.35 a)	Section 7.5.113 a) Zone Table Rear Yard of By-law 500-2022-0004 – R1-161, R1-162, R1-162B, R1-163, R1-163 B AND Section 9.5.56 a)e) Rear Yard.
Lots 1-9,42,58-74, 77-81, 83	Lots 1-9,42,58-74,77-81,83	Lots 1-9,42,58-74,77-81,83	Lots 20,24,25,28,42, 44, 56,79,83,92,96, 100,110,115,119,126 Blk. 127, Blk.128, Blk.129	20,24,25,28,42,44, 56,79,83 92,96,100, 110,115,119,126 Blk. 127, Blk.128, Blk.129	Lots 1 -74 & 77-126 and Blocks 127-133

Site Photos

24996 Woodbine Ave
Facing North on
Church Street



24996 Woodbine Ave
Facing North on
Church Street



24996 Woodbine Ave
Facing East on TQN



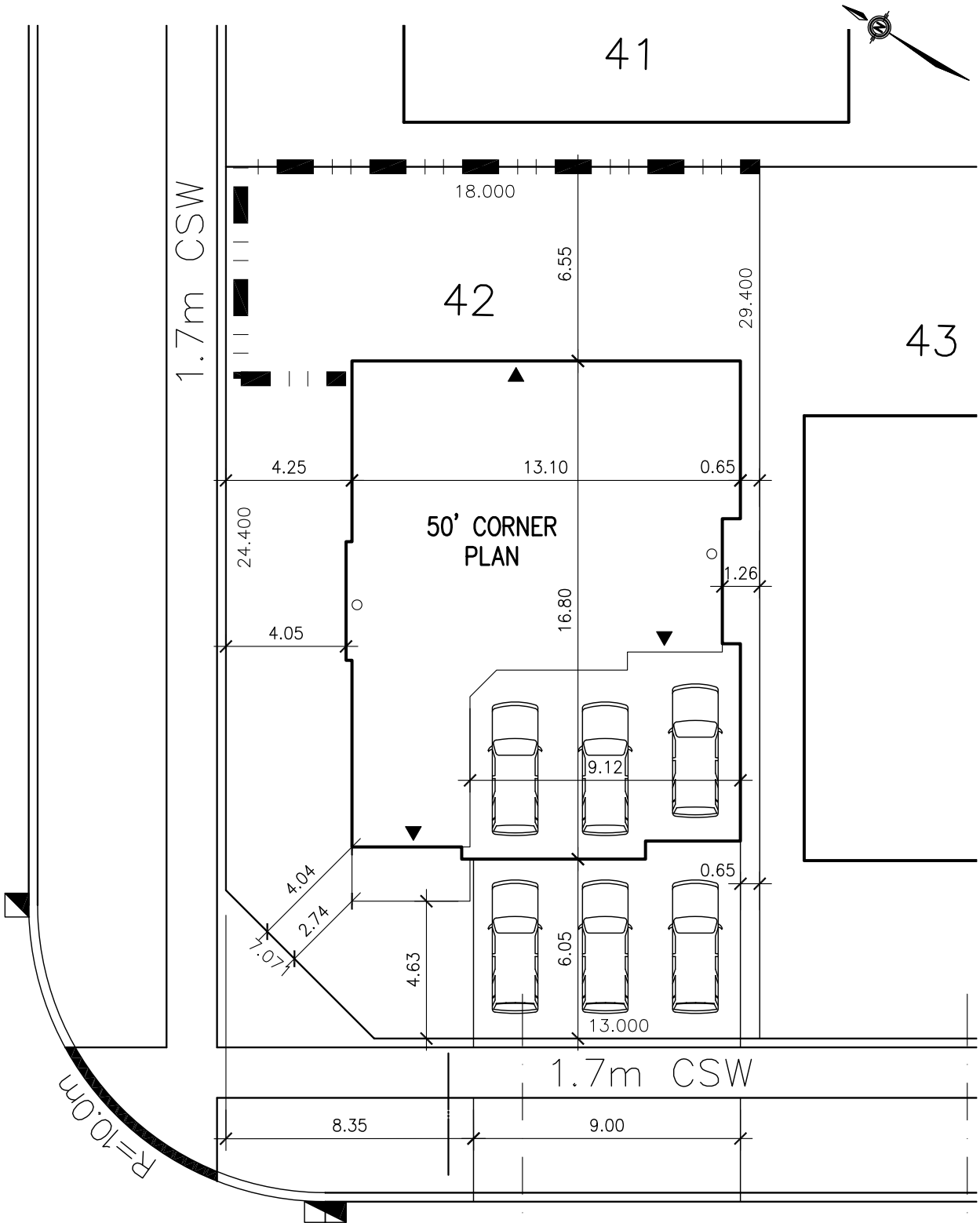
24996 Woodbine Ave
Facing South on Old
Homestead



24996 Woodbine Ave
Facing South on Old
Homestead



DANNY WHEELER BOULEVARD



Attachment 6
A25-24 24996 Woodbine Avenue
Page 1 of 7

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
Individual BCIN: 20193

Tony Palumbo
Signature

Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3
T: 416-987-5500 • F: 905-326-3600

Project Name:
**ORCHIDTRAIL BUILDING CORP. PHASE 1
TOWN OF GEORGINA**

Sheet Title:
SOTIS G & GRADING PLAN

LOT: 42

Date:
DEC. 10/24

Drawn by:
TP

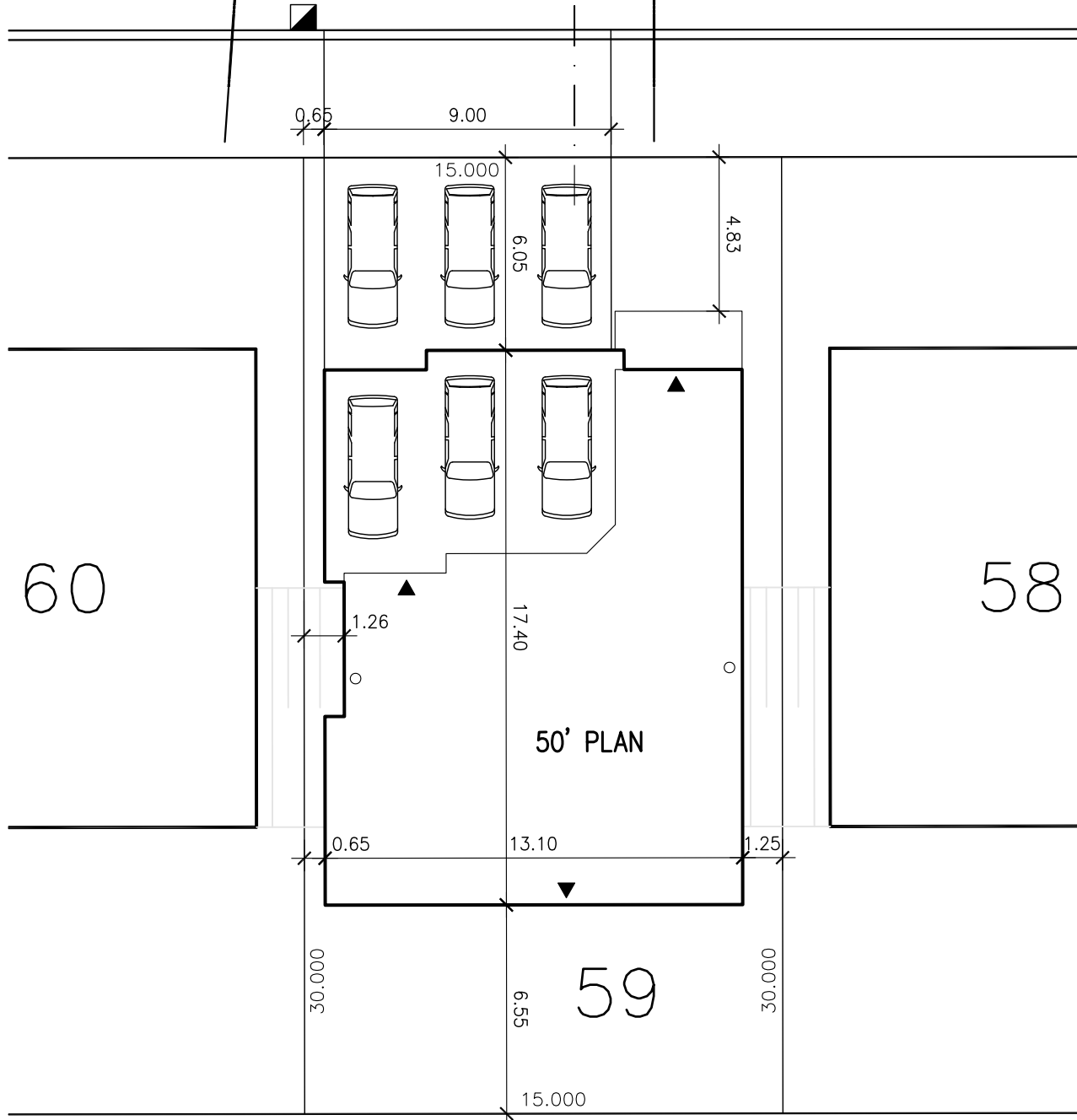
Scale:
1:200

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.
THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.
EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—+—	HYDRO SERVICE LATERAL	⊕	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	— —	WATER SERVICE	⊕	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	— —		MAIL	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	SAN	DOUBLE SAN. CONNECTION	—>	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	SAN	SINGLE SAN. CONNECTION	— —	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	STM	SINGLE STM. CONNECTION	⊗	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	CB	CATCH BASIN	⊗	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	⊕	HYDRANT	⊗	RETAINING WALL
WUB	WALK UP BASEMENT	⊕	PROPOSED VALVE	⊗	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	⊕	TRANSFORMER	⊗	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
△	EXTERIOR DOOR LOCATION	⊕	STREETLIGHT POLE	⊗	
○	SIDE WINDOW LOCATION	⊕	BELL PEDESTAL	⊗	
○FD	FLOOR DRAIN	⊕	GRADE LEVEL BELL BOX	⊗	
⊕	AIR CONDITIONER	⊕	ROGERS VAULT	⊗	
RYU	REAR YARD UPGRADE	⊕	ROGERS CABINET WITH VAULT	⊗	
SYU	SIDE YARD UPGRADE	⊕		⊗	



MAX BULMER COURT



Attachment 6
A25-24 24996 Woodbine Avenue
Page 2 of 7

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 20193

Tony Palumbo

 Signature

Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3
 T: 416-987-5500 • F: 905-326-3600

Project Name:
ORCHIDTRAIL BUILDING CORP. PHASE 1
TOWN OF GEORGINA

Sheet Title:
LOT SITING PLAN

LOT: 59

Date:
 DEC. 10/24

Drawn by:
 TP

Scale:
 1:200

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
 THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.
 EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	— —	HYDRO SERVICE LATERAL	⊕	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	— —	WATER SERVICE	MAIL	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	SAN	DOUBLE SAN. CONNECTION	■	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	SAN	SINGLE SAN. CONNECTION	→	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	SAN	SINGLE STM. CONNECTION	TTTTT	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	CB	CATCH BASIN	⊗	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	⊕ H	HYDRANT	⊗	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	⊕	PROPOSED VALVE	⊗	RETAINING WALL
WUB	WALK UP BASEMENT	⊕	TRANSFORMER	⊗	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	⊕	STREETLIGHT POLE	⊗	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
△	EXTERIOR DOOR LOCATION	⊕	BELL PEDESTAL		
○	SIDE WINDOW LOCATION	⊕	GRADE LEVEL BELL BOX		
○ FD	FLOOR DRAIN	⊕	ROGERS VAULT		
⊕	AIR CONDITIONER	⊕	ROGERS CABINET WITH VAULT		
RYU	REAR YARD UPGRADE				
SYU	SIDE YARD UPGRADE				









