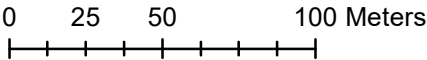




**LOCATION MAP**



**SUBJECT LAND**





## SITE PHOTOS

22847 Highway 48  
Facing East



22847 Highway 48  
Facing West





22847 Highway 48  
Facing North



22847 Highway 48  
Facing North





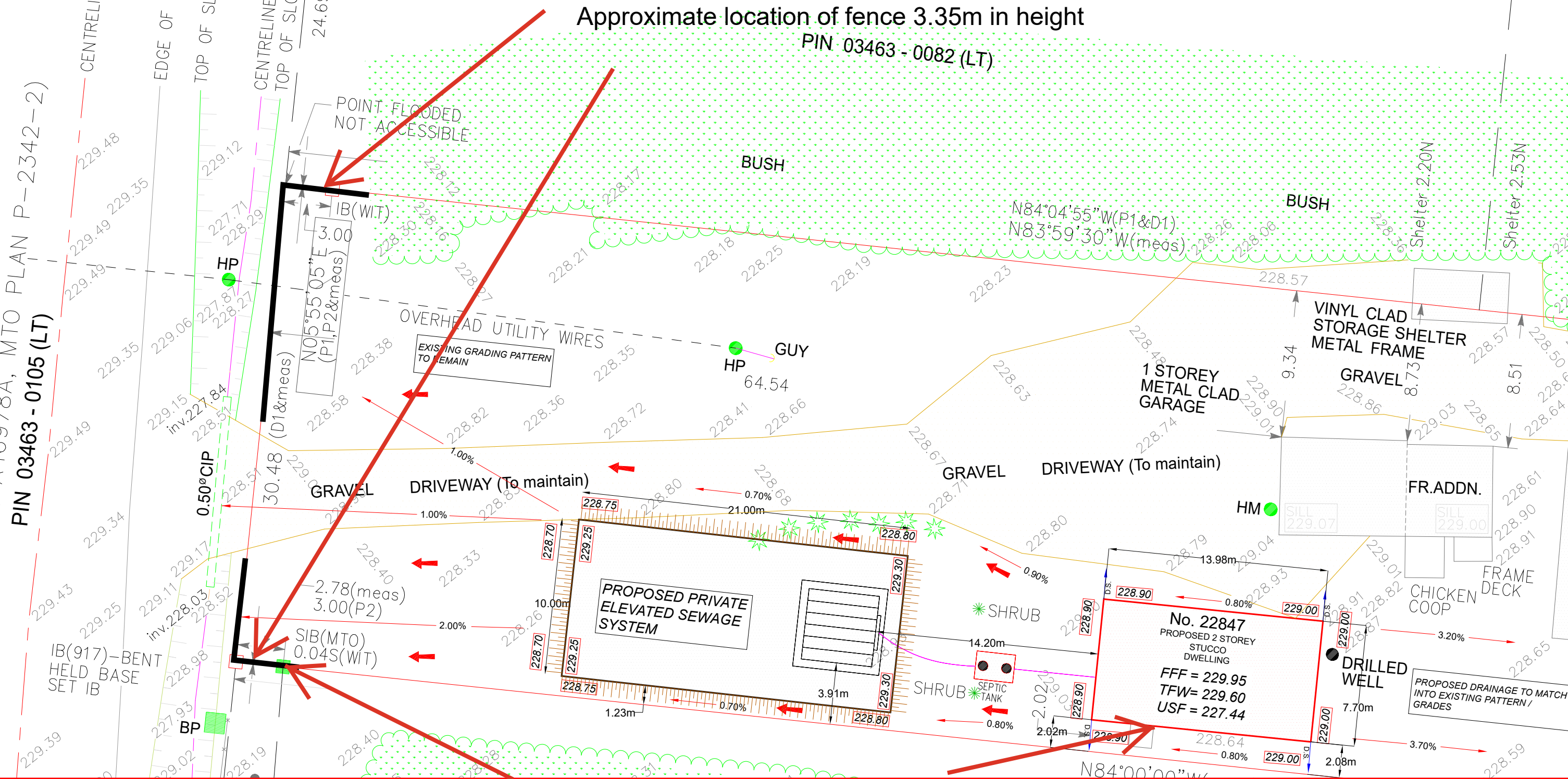
22847 Highway 48  
Facing West





# HIGHWAY No. 48

(INSTRUMENT No. A46978A, MTO PLAN P-2342-2)  
PIN 03463 - 0105 (LT)



Approximate location of fence 3.35m in height  
PIN 03463 - 0082 (LT)

(SURVEY PLAN DONE BY DELPH AND JENKINS NORTH LTD.)  
**BENCH MARK**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND DETERMINED BY REAL TIME CANNET NETWORK OBSERVATIONS (COVID 1928, 1978 ADJUSTMENT).  
**NOTE**  
TREE OUTLINES ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT SHOWN TO SCALE.  
PROPERTY LINES ARE UNFENCED UNLESS OTHERWISE NOTED.

OBSERVED REFERENCE POINTS UTM (NAD83, CSRS 2010)	PLAN COORDINATES	NORTHING	EASTING
1	4 898 139.632	623 888.946	
2	4 898 039.197	623 878.535	

WE SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.  
ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.  
ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATORY PROVISIONS OF THE TOWNSHIP WHERE THE BUILDING IS LOCATED.  
DO NOT SCALE DRAWINGS.

**METRIC**  
THIS PLAN SHOWS DISTANCES AND ELEVATIONS IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

FFF = FIRST FLOOR ELEVATION  
TFW = TOP OF FOUNDATION WALL  
USF = UNDERSIDE OF FOOTINGS

**LEGEND:**

- EXISTING GROUND ELEVATIONS
- EXISTING BUILDINGS / SHEDS
- PROPOSED BUILDING
- PROPOSED SEWAGE SYSTEM
- EXISTING DRIVEWAY TO MAINTAIN
- EXISTING FENCES
- PROPOSED SWALES OR DRAINAGE DIRECTION
- EXISTING WELL
- PROPOSED ELEVATIONS
- EXISTING SWALES / DITCHES
- EXISTING TREES
- EXISTING HYDRO POLES
- EXISTING CULVERTS

**NOTES:**  
TOPOGRAPHIC PLAN FOR SEPTIC GRADING PLAN ONLY.  
THIS IS JUST A TOPOGRAPHIC PLAN FOR ELEVATIONS REFERENCES ONLY, AND NOT CADASTRAL APPLICATIONS (SRPR, SITE PLAN, BOUNDARIES, ETC.). IF NEEDED CONTACT AN OLS. A LICENSED ONTARIO LAND SURVEYOR MUST BE ENGAGED TO PROVIDE THE TOPOGRAPHIC PLAN IF BOUNDARY INFO IS REQUIRED. WE DO NOT PARTICIPATE IN CADASTRAL SURVEYING.



22847 HWY48

DRAWN SG	DATE 22/01/24	GEORGINA, ON GRADING PLAN
APPROVED SG	Attachment 3 A05-24 (22847 Highway 48)	
SCALE AS SHOWN	Page 1 of 7	

SCALE 1:250

ADJACENT PROPERTIES (TO BE CONFIRMED BY CONTRACTOR)

Section 6.1(f): To permit a dwelling with an interior side yard of 2m whereas a minimum interior side yard of 9 metres, except that an interior side yard may be reduced to 3 metres when the exterior wall facing said yard contains no habitable room windows or where the lot is less than 4 000 sq metres, is permitted.  
Section 5.11.2 (d): To permit a replacement of a building or structure more than one year from the date that it is demolished or destroyed by fire, whereas replacement within one year is only permitted.  
Section 5.12: To permit a 3.35 metre high fence with nil front yard and interior side yard setbacks, whereas adherence to the minimum yard requirements is required for a fence with a maximum height exceeding 2 metres.  
Additionally, in consideration of Zoning by-law 600, which is currently under appeal before the Ontario Land Tribunal, a variance to Zoning by-law 600 is requested, to be implemented at the time zoning by-law 600 is to be in force and effect; the following relief is sought:  
Section 2.82: to define `existing' as meaning a dwelling that legally existed prior to May 2023 and which was demolished under building permit GP-2022-121-REV due to a fire, whereas the definition of `existing' is defined as a building, structure or use existing as of the date of passing of this By-law and which has continued to exist to present.  
Section 5.8: To permit a 3.35 metre high fence with nil front yard and interior side yard setbacks, whereas adherence to the minimum yard requirements is required for a fence with a maximum height exceeding 2 metres.



HIGHWAY No. 48

(INSTRUMENT No. A46978A, MTO PLAN P-2342-2)

CENTRELINE OF ROAD

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PART 1, PLAN 65R-16655

SIB(917)

IB(917)

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PART 1, PLAN 65R-17303  
MTO PLAN P-3120-154  
PIN 03463 - 0084 (LT)

NOTE

BEARINGS SHOWN HEREON ARE UTM GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS ① AND ② BY REAL TIME CANNET NETWORK OBSERVATIONS AND REFERRED TO THE 6° UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE (NAD 83, CSRS, 2010).  
DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES, AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING THE DISTANCE BY COMBINED SCALE FACTOR 0.9997867.  
THE COORDINATES SHOWN ON THIS PLAN, IN THEMSELVES, CANNOT BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
COORDINATES SHOWN ON THIS PLAN ARE IN COMPLIANCE WITH THE SURVEYORS ACT, URBAN ACCURACY PER O.REG. 216/10, SECTION 14(2).  
FOR BEARING COMPARISONS, THE FOLLOWING COUNTER-CLOCKWISE ROTATIONS WERE APPLIED TO: P1=1°15'55", P2=1°07'25" D1=4°06'50"  
ALL BUILDING TIES ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED.

LEGEND

- DENOTES SURVEY MONUMENT FOUND  
□ DENOTES SURVEY MONUMENT PLANTED  
SIB DENOTES STANDARD IRON BAR  
IB DENOTES IRON BAR  
RIB DENOTES ROUND IRON BAR  
meas DENOTES MEASURED  
WT DENOTES WITNESS  
p.wf. DENOTES POST & WIRE FENCE  
P1 DENOTES PLAN 65R-16655  
P2 DENOTES PLAN 65R-17303  
D1 DENOTES INSTRUMENT No. R395222  
917 DENOTES R.A.GARDEN, O.L.S.  
MTO DENOTES MINISTRY OF TRANSPORTATION, ONTARIO  
MTO DENOTES CONIFEROUS TREE  
○ DENOTES DECIDUOUS TREE  
~ DENOTES TREE LINE  
BP ■ DENOTES BELL PEDESTAL  
HP ■ DENOTES HYDRO POLE  
HM ■ DENOTES HYDRO METER  
ADDN. DENOTES ADDITION  
FR. DENOTES FRAME  
CIP DENOTES CORRUGATED IRON PIPE  
DL DENOTES DRIP LINE  
φ DENOTES DIAMETER

BENCH MARK

ELEVATIONS SHOWN HEREON ARE GEODETIC AND DETERMINED BY REAL TIME CANNET NETWORK OBSERVATIONS (CGVD 1928, 1978 ADJUSTMENT).  
**NOTE**  
TREE OUTLINES ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT SHOWN TO SCALE.  
PROPERTY LINES ARE UNFENCED UNLESS OTHERWISE NOTED.

OBSERVED REFERENCE POINTS UTM (NAD83, CSRS 2010)		
PLAN COORDINATES	NORTHING	EASTING
1	4 898 139.632	623 888.946
2	4 898 039.197	623 878.535

SURVEYOR'S REAL PROPERTY REPORT OF  
PART OF LOT 1, CONCESSION 8  
(GEOGRAPHIC TOWNSHIP OF NORTH GWLLIMBURY)  
TOWN OF GEORGINA  
REGIONAL MUNICIPALITY OF YORK

25m 20 15 10 5 0 25m  
SCALE 1 : 400

METRIC:

DISTANCES, COORDINATES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S REAL PROPERTY REPORT PART 2 - REPORT SUMMARY
SURVEY PREPARED FOR
SEPEHER SHOJAEI
DESCRIPTION OF LAND
PART OF LOT 1, CONCESSION 8 (KNOWN AS 22847 HIGHWAY 48)
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS
NONE REGISTERED ON TITLE
ENCROACHMENTS
NOTE LOCATION OF VINYL SHELTER ADJACENT TO NORTH PROPERTY LINE.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAW
NOT CERTIFIED BY THIS REPORT.
ADDITIONAL REMARKS
(FURTHER INFORMATION CONTAINED IN THE SURVEY REPORT TO BE READ IN CONJUNCTION WITH THIS PLAN.)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 27th. DAY OF JUNE, 2023

July 14, 2023  
DATE


G. K. Jenkins  
G. K. JENKINS -ONTARIO LAND SURVEYOR

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V 58221

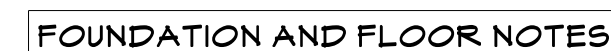
NOTE: THIS REPORT CAN BE UPDATED BY THIS OFFICE, HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED, SUBSEQUENT TO THE DATE OF CERTIFICATION.

NOTE: © COPYRIGHT 2023 DELPH AND JENKINS NORTH LTD.  
THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT, IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF DELPH AND JENKINS NORTH LTD. IS STRICTLY PROHIBITED.

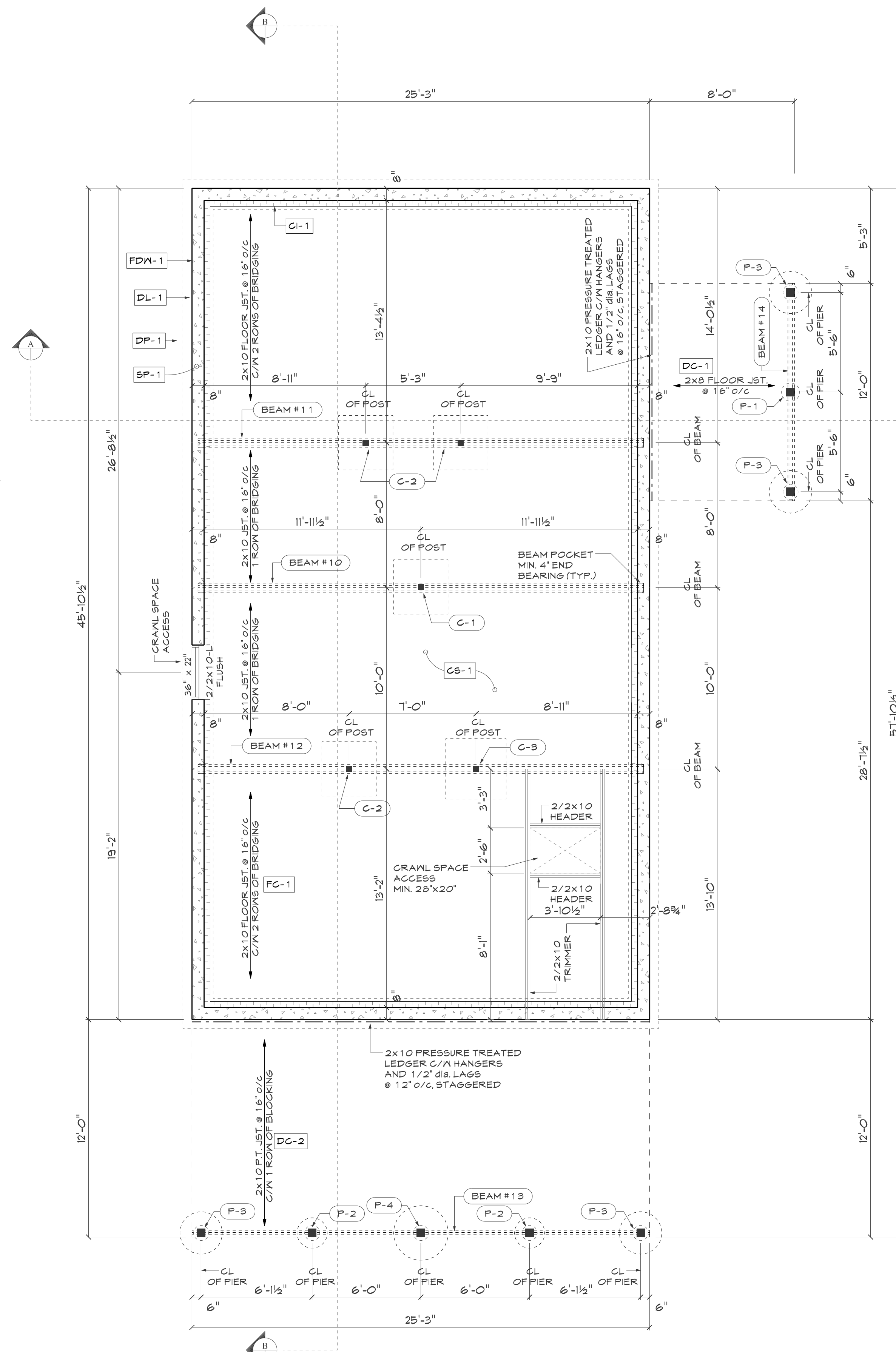
 <b>Delph &amp; Jenkins North Ltd.</b> Ontario Land Surveyors 220 Industrial Parkway S., Unit 6, Aurora, Ontario L4G 3V8 Tel.905-841-8528 Fax.905-841-2498	23276 - 1	
	DRAWN : ml	CHECKED : GKJ

ACAD FILE: 23276-1.DWG. DATE: JULY 10, 2023.





- |       |  |
|-------|--|
| DL-1  | <p><b>DRAINAGE LAYER #1</b><br/>DRAINAGE LAYER SHALL BE INSTALLED ADJACENT TO THE EXTERIOR SURFACE OF A INSULATED FOUNDATION WALL.</p>   |
| DP-1  | <p><b>DRAINAGE PIPE #1</b><br/>4" PERFORATED DRAINAGE PIPE<br/>C/W FILTER FABRIC AND 6" CLEAN GRANULAR COVERAGE</p>  |
| FDW-1 | <p><b>FOUNDATION WALL #1</b><br/>DAMP PROOFING BELOW FINISHED GRADE.<br/>3" 4" T&amp;S OSB OR PLYNOOD SUB-FOUR NAILLED &amp; GUEDED TO 20" MINIMUM FOUNDATION WALL ON A 20" MAX X 10" DEEP CONTINUOUS POURED CONCRETE STRIP FOOTING ON UNDISTURBED SOIL.<br/>REFER TO ENGINEERS DESIGN</p> |
| SP-1  | <p><b>9ILL PLATE #1</b><br/>PROVIDE 1/2" DIA. ANCHOR BOLTS W 12" DIA. #4@8" O/C/M 2" X 4" P.T. FLAT 4 SILL GASKET AT TOP OF FOUNDATION WALL.<br/>REFER TO ENGINEERS DESIGN</p>   |
| CS-1  | <p><b>CRAWL SPACE #1</b><br/>6 MIL POLY VAPOUR BARRIER SEALED AT SEAMS AND EDGES AND HEIGHTED DOWN</p>   |
| CI-1  | <p><b>CONTINUOUS INSULATION #1</b><br/>R20 CONTINUOUS INSULATION</p>   |
| FC-1  | <p><b>FLOOR CONSTRUCTION #1</b><br/>3/4" T&amp;S OSB OR PLYNOOD SUB-FOUR NAILLED &amp; GUEDED TO 2x10 FLOOR JOIST @ 16" O/C, BRIDGING AS PER PLAN</p>  |
| FC-2  | <p><b>FLOOR CONSTRUCTION #2</b><br/>3/4" T&amp;S OSB OR PLYNOOD SUB-FOUR NAILLED &amp; GUEDED TO 1/4" DEEP ENGINEERED SUB FLOOR JOIST.<br/>REFER TO SUPPLIERS LAYOUT</p>   |
| SR-1  | <p><b>STAIRS &amp; RAILINGS</b><br/>ALL STAIRS AND RAILINGS ARE MANUFACTURED AND SHALL CONFORM TO SECTION 9.8 OF O.B.C. STAIRS TO BE DETERMINED ON SITE. 1" T/8" MAXIMUM RISE, 10" RUN, 11" HEAD 1" NOSE AND PROVIDE MINIMUM 6'-7" HEADROOM.</p>   |
| DC-1  | <p><b>DECK CONSTRUCTION #1</b><br/>5/4x6 P.T. DECKING SCREWED TO 2x6 PRESSURE TREATED JOIST.<br/>REFER TO PLANS FOR SPACING &amp; BRIDGING</p>   |
| DC-2  | <p><b>DECK CONSTRUCTION #2</b><br/>5/4x6 P.T. DECKING SCREWED TO 2x10 PRESSURE TREATED JOIST.<br/>REFER TO PLANS FOR SPACING &amp; BRIDGING</p>  |
| DR-1  | <p><b>DECK RAILING #1</b><br/>PRE-FINISHED MANUFACTURED DECK RAILINGS AS SPECIFIED BY OTHERS</p>   |



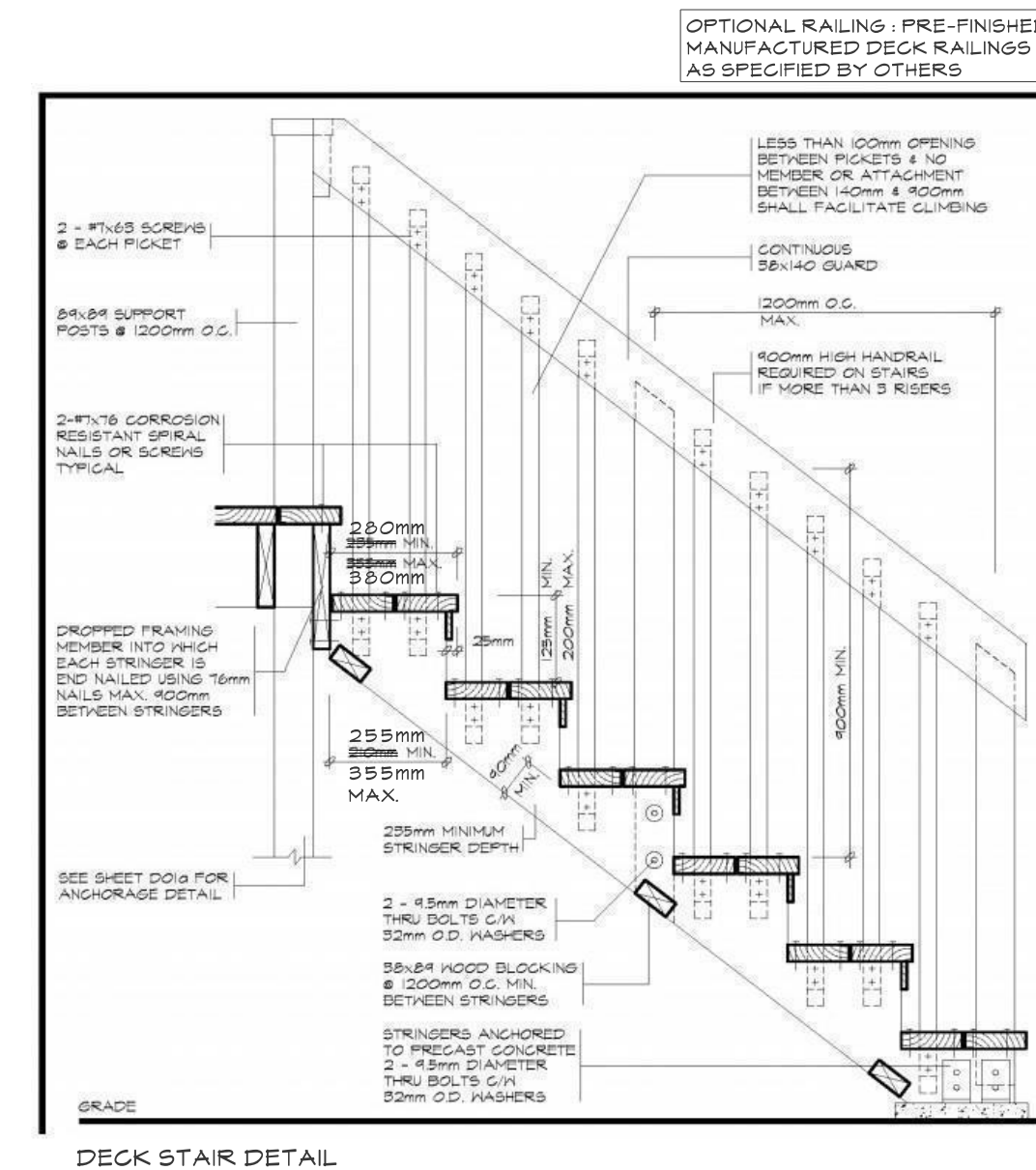
REFER TO ENGINEERS  
FOUNDATION WALL DESIGN

BEAM SCHEDULE	
CODE	DEFINITION
STE#1	M 250 x 93, GRADE 350, M STEEL
BEAM #1	2 PLY 1/4" x 11 7/8" 2.0E LVL
BEAM #2	2 PLY 1/4" x 11 7/8" 2.0E LVL
BEAM #3	4 PLY 1/4" x 11 7/8" 2.0E LVL
BEAM #4	2 PLY 1/4" x 9 1/2" 2.0E LVL
BEAM #5	3 PLY 2 x 12 SPF No.1/No.2
BEAM #6	2 PLY 2 x 12 SPF No.1/No.2
BEAM #7	3 PLY 2 x 12 SPF No.1/No.2
BEAM #8	3 PLY 2 x 12 SPF No.1/No.2
BEAM #9	2 PLY 1/4" x 9 1/2" 2.0E LVL
BEAM #10	4 PLY 2 x 12 SPF No.1/No.2
BEAM #11	4 PLY 2 x 10 SPF No.1/No.2
BEAM #12	4 PLY 2 x 10 SPF No.1/No.2
BEAM #13	3 PLY 2 x 8 P.T. SPF No.1/No.2
BEAM #14	3 PLY 2 x 8 P.T. SPF No.1/No.2

COLUMN & PAD SCHEDULE			
CODE	COLUMN LOAD UNFACTURED	COLUMN LOAD FACTURED	PAD SIZE (FOUNDATION)
C-1	8,000 lbs.	11,000 lbs.	36"x36"x16" DEEP
C-2	10,000 lbs.	13,500 lbs.	36"x36"x16" DEEP
C-3	13,000 lbs.	18,500 lbs.	40"x40"x18" DEEP

## Post Schedule

P-1	6x6 PRESSURE TREATED POST SIMPSON STRONG TIE AC6 TOP 4 ABAE6Z BASE CONNECTORS ON 12" DIA. CONC. PIER
P-2	6x6 PRESSURE TREATED POST SIMPSON STRONG TIE AC6 TOP 4 ABAE6Z BASE CONNECTORS ON 10" DIA. CONC. PIER C/N 20" DIA. BIGFOOT FOOTING PAD OR EQUAL
P-3	6x6 PRESSURE TREATED POST SIMPSON STRONG TIE AC6 TOP 4 ABAE6Z BASE CONNECTORS ON 10" DIA. CONC. PIER C/N 28" DIA. BIGFOOT FOOTING PAD OR EQUAL
P-4	6x6 PRESSURE TREATED POST SIMPSON STRONG TIE AC6 TOP 4 ABAE6Z BASE CONNECTORS ON 10" DIA. CONC. PIER C/N 36" DIA. BIGFOOT FOOTING PAD OR EQUAL



## Notes :

- \* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
- \* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY, LINTEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.

ENP	ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
5 & CO ALARM	SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 9.10.1.9. OF THE ONTARIO BUILDING CODE 2012
⊕ MV	MECHANICAL VENT VENTED TO EXTERIOR
■ DV	DRYER EXHAUST VENT VENTED TO EXTERIOR
⊕ FD	FLOOR DRAIN
X	POINT LOAD FROM ABOVE
SP-1	PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

The undersigned has reviewed and taken responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under

Scott Dryla 2114  
NAME BCID

  
SIGNATURE

REGISTRATION INFORMATION  
Required unless design is exempt under  
2.17.4.1 of the building code

Master-Plan	3057
FIRM NAME	BCI

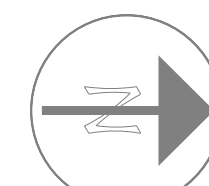
Builder:

Revisions:		
#	Date:	Description:

**Note:**  
Contractor is to verify all dimensions and conditions on the project and report any discrepancies to Master-Plan before proceeding with work.  
Drawings are not to be scaled.

Drawings and specifications remain the property of Master-Plan and may not be used or re-issued without permission. The contractor accepts responsibility for any changes to drawings without the expressed approval of Master-Plan.

Project North:



Legend:  
DIMENSIONING NOTES:  
ALL DIMENSIONS FOR NEW  
CONSTRUCTION ARE FROM FACE  
OF STUD TO FACE OF STUD  
OR TO FRAMING MEMBERS.

Project Title:

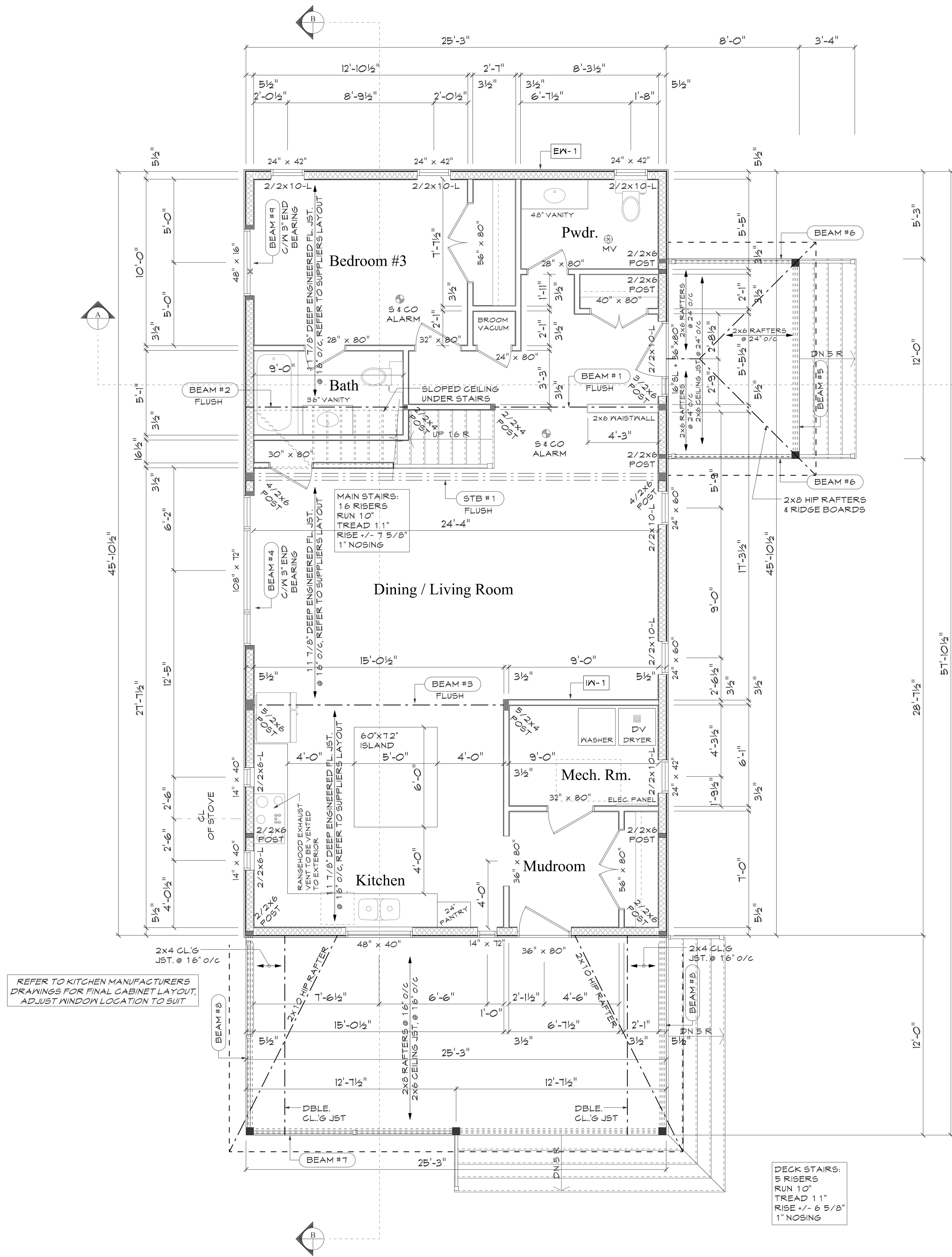
**Comparelli**  
**Residence**  
22847 Highway 48  
Sutton West, Ontario

Sheet Title:

## Foundation Plan

Drawn by: Scott Dryla  
 Date: Jan. 31, 2024  
 Scale: 1/4" = 1'-0"  
 Project #





First Floor Plan

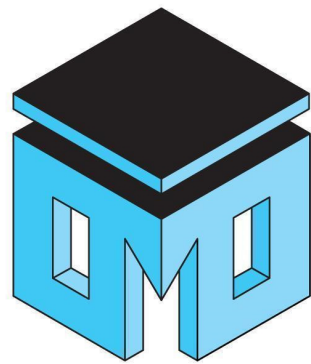
- EXTERIOR AND INTERIOR WALL NOTES**
- EW-1 EXTERIOR WALL #1**  
PREFINISHED SIDING  
HOUSEWRAP AIR BARRIER  
7/16" OSB WALL SHEATHING  
2x6 STUDS @ 16" O/C C/M DOUBLE TOP  
PLATE & SINGLE BOTTOM PLATE  
R22 INSULATION  
6 mil U/V PROTECTED POLY  
VAPOUR BARRIER  
1/2" GYPSUM BOARD
- IW-1 INTERIOR PARTITION #1**  
2x4 STUDS @ 16" O/C C/M DOUBLE TOP  
PLATE & SINGLE BOTTOM PLATE  
1/2" GYPSUM BOARD ON BOTH SIDES

BEAM SCHEDULE	
CODE	DEFINITION
STB#1	N 250 x 93, GRADE 350 M STEEL
BEAM #1	2 PLY 1 3/4" x 11 7/8" 2.0E LVL
BEAM #2	2 PLY 1 3/4" x 11 7/8" 2.0E LVL
BEAM #3	4 PLY 1 3/4" x 11 7/8" 2.0E LVL
BEAM #4	2 PLY 1 3/4" x 9 1/2" 2.0E LVL
BEAM #5	3 PLY 2 x 12 SPF No. 1/No.2
BEAM #6	2 PLY 2 x 12 SPF No. 1/No.2
BEAM #7	3 PLY 2 x 12 SPF No. 1/No.2
BEAM #8	3 PLY 2 x 12 SPF No. 1/No.2
BEAM #9	2 PLY 1 3/4" x 9 1/2" 2.0E LVL
BEAM #10	4 PLY 2 x 12 SPF No. 1/No.2
BEAM #11	4 PLY 2 x 10 SPF No. 1/No.2
BEAM #12	4 PLY 2 x 10 SPF No. 1/No.2
BEAM #13	3 PLY 2 x 8 P.T. SPF No. 1/No.2
BEAM #14	3 PLY 2 x 8 P.T. SPF No. 1/No.2

Area	
First Floor	1158 sq. ft.
Second Floor	1111 sq. ft.
Total Floor Area	2269 sq. ft.
Covered Porch	96 sq. ft.
Covered Porch	303 sq. ft.
Total Covered Porch	399 sq. ft.

Attachment 3  
A05-24 (22847 Highway 48)  
Page 4 of 7

- Notes :**
- \* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
  - \* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY. LINTEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.
- Legend:**
- EXP** ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
- S & CO ALARM** SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 4.10.1.9. OF THE ONTARIO BUILDING CODE 2012
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- DV** DRYER EXHAUST VENT VENTED TO EXTERIOR
- FD** FLOOR DRAIN
- X** POINT LOAD FROM ABOVE
- SP-1** PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER



**MASTER PLAN**

Scott Dryla  
8 Doon Crescent  
Kewick, Ontario, L4P 3P8  
Phone: 905.232.8417  
email: masterplan@rogers.com

The undersigned has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

**Scott Dryla** 21141  
NAME BCIN

**Signature**

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.4.1 of the building code

**Master-Plan** 30578  
FIRM NAME BCIN

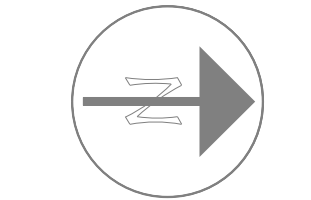
Builder:

Revisions:  
# Date: Description:

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Project North:



**Legend:**  
DIMENSIONING NOTES:  
ALL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD OR TO FRAMING MEMBERS.

Project Title:

**Comparelli Residence**  
22847 Highway 48  
Sutton West, Ontario

Sheet Title:

**First Floor Plan**

Drawn by: Scott Dryla

Checked by:

Date: Jan. 31, 2024

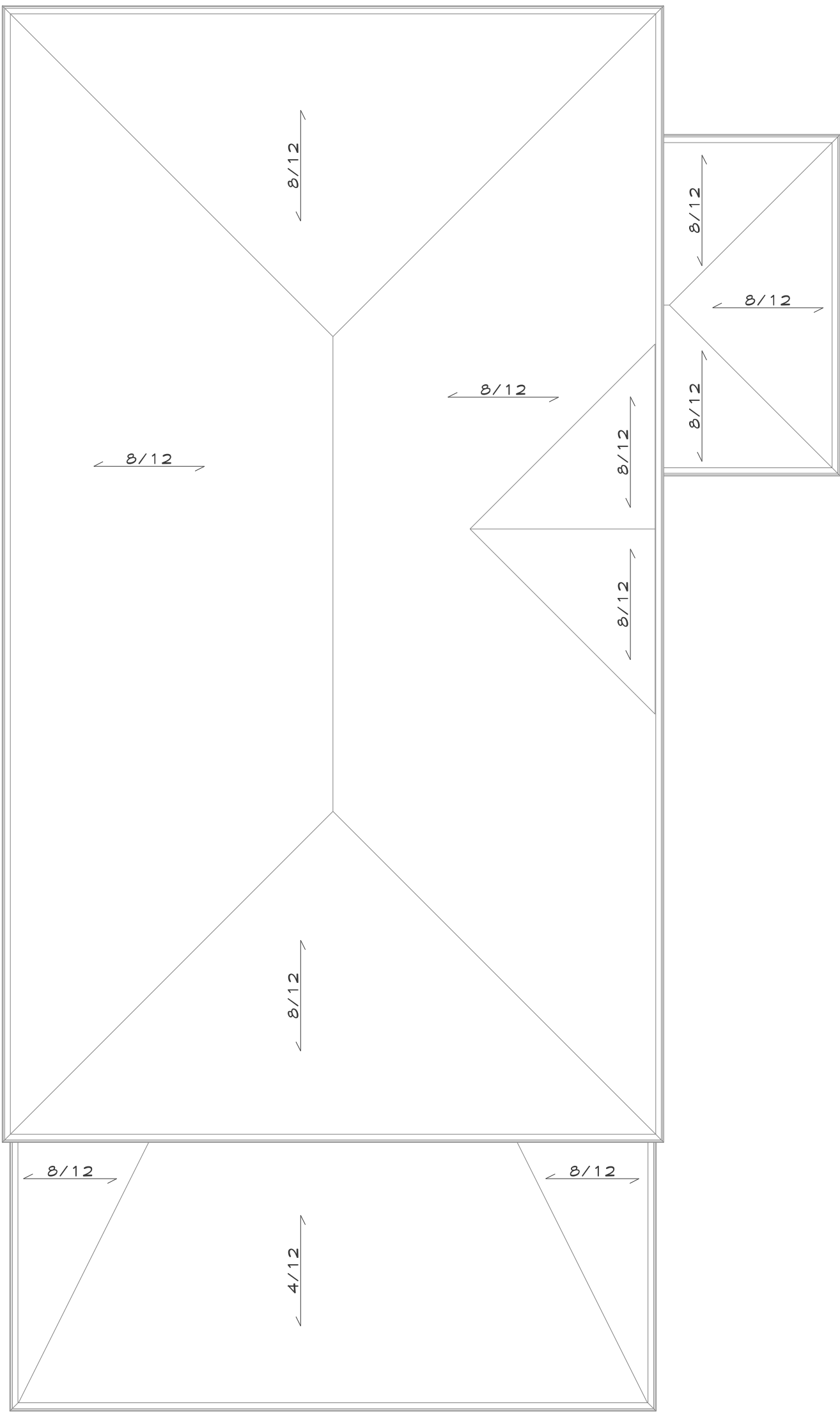
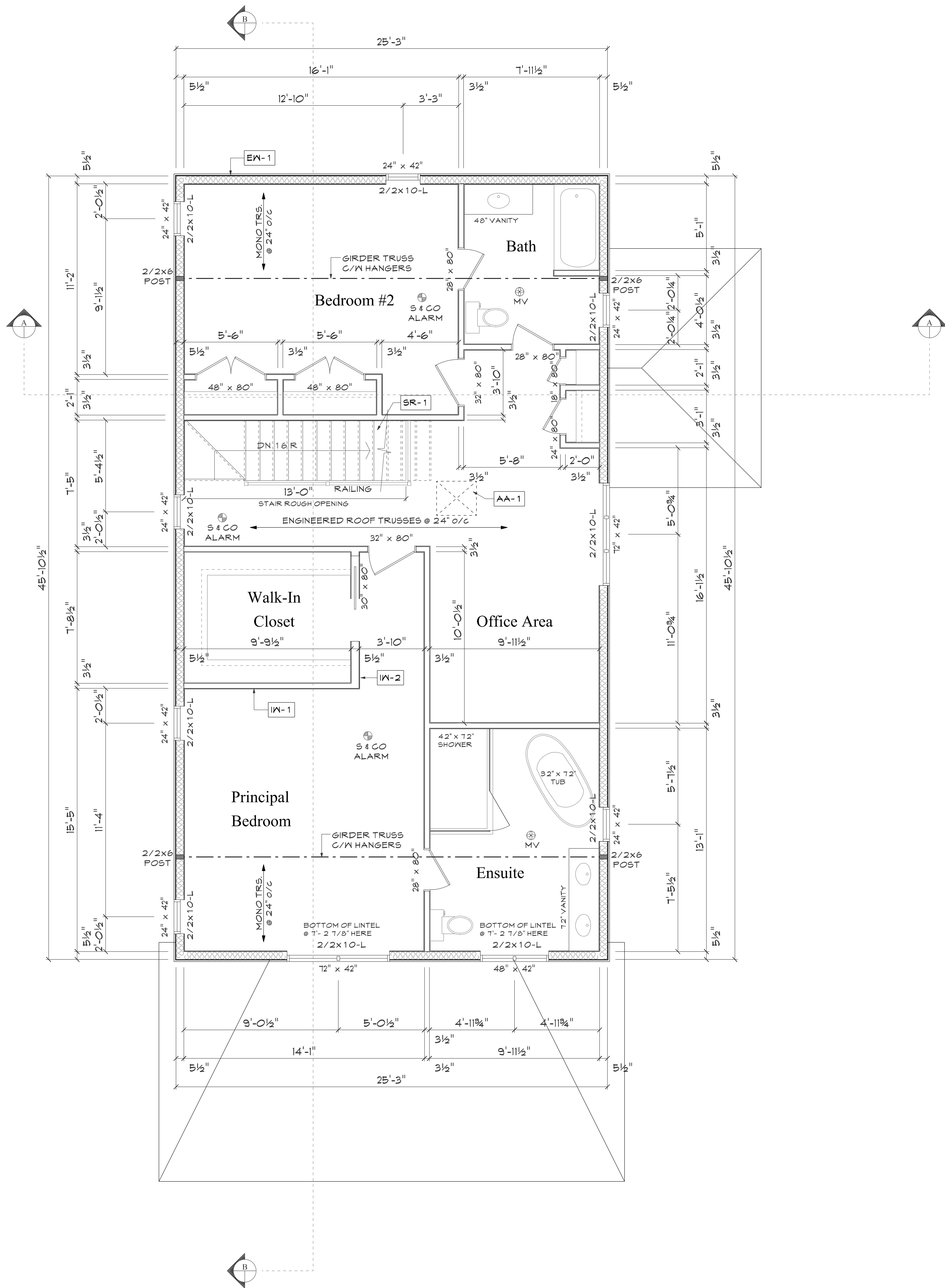
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Project #

**A2**

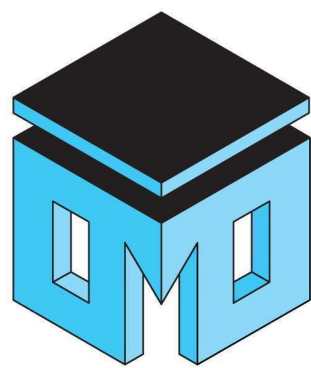


- EXTERIOR AND INTERIOR WALL NOTES**
- EX-1** EXTERIOR WALL #1  
PREFINISHED SIDING  
HOUSEWRAP AIR BARRIER  
7/16" OSB WALL SHEATHING  
2x6 STUDS @ 16" O/C C/W DOUBLE TOP  
PLATE & SINGLE BOTTOM PLATE  
R22 INSULATION  
6 MIL U/V PROTECTED POLY  
VAPOUR BARRIER  
1/2" GYPSUM BOARD
- IX-1** INTERIOR PARTITION #1  
2x4 STUDS @ 16" O/C C/W DOUBLE TOP  
PLATE & SINGLE BOTTOM PLATE  
1/2" GYPSUM BOARD ON BOTH SIDES
- IX-2** INTERIOR PARTITION #2  
2x6 STUDS @ 16" O/C C/W DOUBLE TOP  
PLATE & SINGLE BOTTOM PLATE  
1/2" GYPSUM BOARD ON BOTH SIDES
- AA-1** ATTIC ACCESS #1  
MINIMUM 22" x 28" INSULATED (MIN. R20)  
ATTIC ACCESS C/W WEATHER STRIPPING  
AND LATCH CLOSURE
- SR-1** STAIRS & RAILINGS  
ALL STAIRS AND RAILINGS ARE  
MANUFACTURED AND SHALL  
CONFORM TO SECTION 4.8 OF O.B.C.  
STAIRS TO BE DETERMINED ON SITE.  
7 1/8" MAXIMUM RISE, 10" RUN,  
11" TREAD, 1" NOSING AND  
PROVIDE MINIMUM 6'-0" HEADROOM.



- Notes :**
- \* PROVIDE STUD POSTS & SOLID BLOCKING UNDER ALL GIRDER TRUSS POINT LOADS TO FOUNDATION OF ADEQUATE SUPPORTS.
  - \* WINDOW & DOOR SIZES INDICATED ARE SUGGESTED ONLY. LINTEL SIZES SHOWN REFLECT OPENING SIZES INDICATED ONLY.
- Legend:**
- ENP ENGINEERED WOOD PRODUCT AS SPECIFIED BY SUPPLIER
  - S & CO ALARM SMOKE ALARMS AND CO DETECTORS ARE TO BE LOCATED ON EACH FLOOR INCLUDING BASEMENT AND WITHIN EACH SLEEPING UNIT AND INTERCONNECTED IN ACCORDANCE WITH 9.10.1.9. OF THE ONTARIO BUILDING CODE 2012
  - MV MECHANICAL VENT VENTED TO EXTERIOR
  - DV DRYER EXHAUST VENT VENTED TO EXTERIOR
  - FD FLOOR DRAIN
  - SP-1 POINT LOAD FROM ABOVE
  - SP-1 PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

Attachment 3  
A05-24 (22847 Highway 48)  
Page 5 of 7



Scott Dryla  
8 Doon Crescent  
Kewick, Ontario, L4P 3P8  
Phone: 905.232.8417  
email: masterplan@rogers.com

The undersigned has reviewed and takes responsibility for this Design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Scott Dryla 21141  
NAME BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1 of the building code

Master-Plan 30578  
FIRM NAME BCIN

Builder:

Revisions:  
# Date: Description:

Project North:

Legend:

DIMENSIONING NOTES:  
ALL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD OR TO FRAMING MEMBERS.

Project Title:

**Comparelli**

**Residence**

22847 Highway 48

Sutton West, Ontario

Sheet Title:

**Second Floor**

**& Roof Plan**

Drawn by: Scott Dryla

Date: Jan. 31, 2024

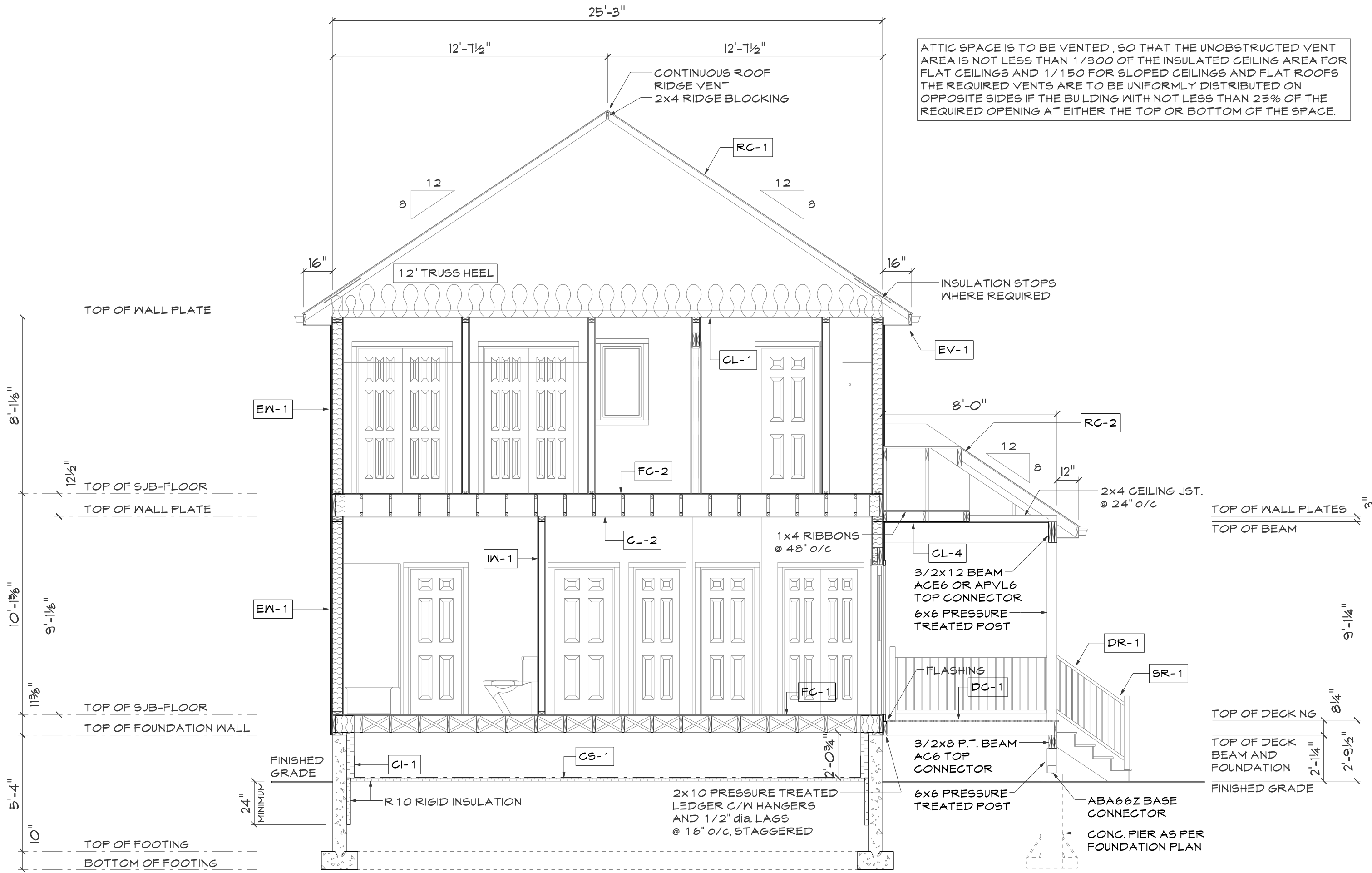
Scale: as noted

Project #

Sheet #

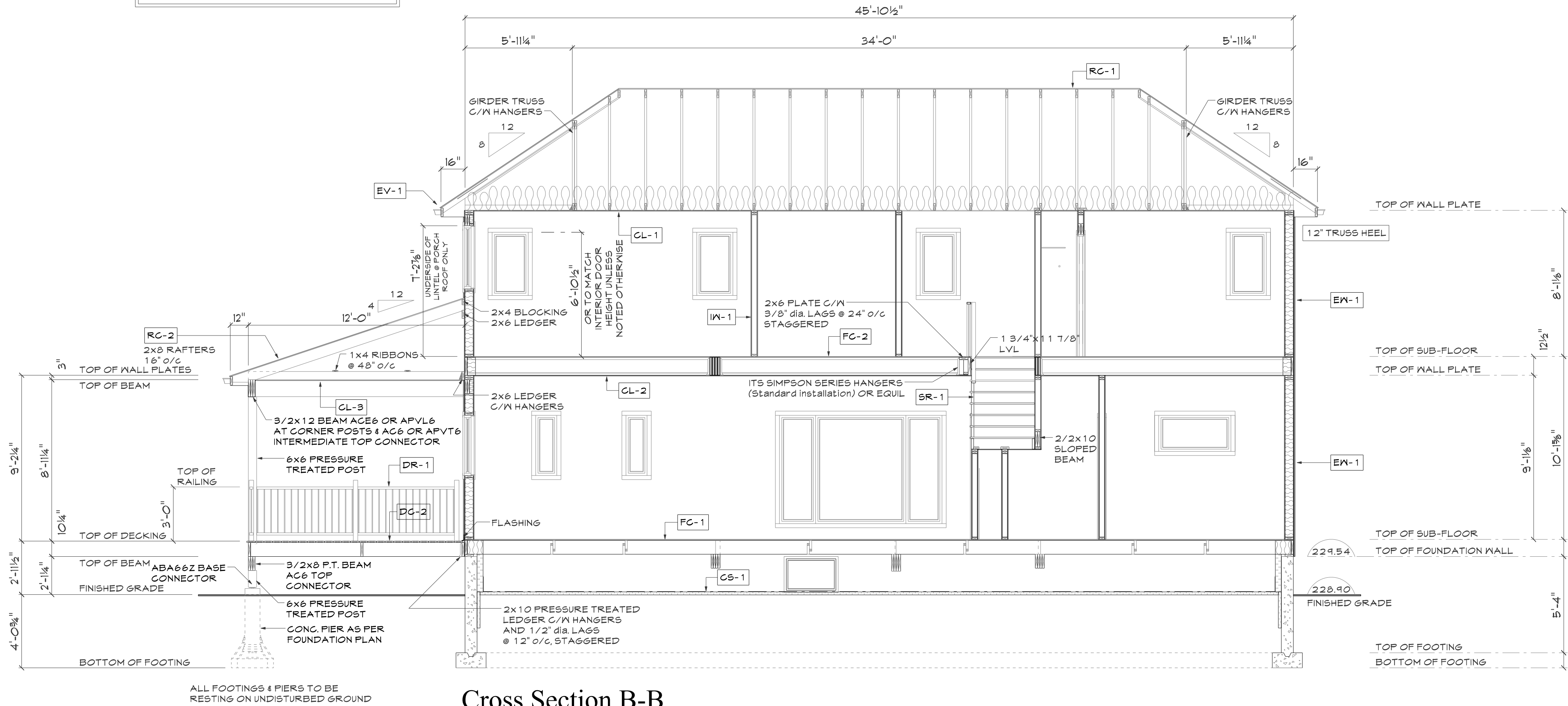
**A3**





Cross Section A-A

REFER TO ENGINEERS  
FOUNDATION WALL DESIGN



Cross Section B-B

FOUNDATION AND FLOOR NOTES

- DL-1 DRAINAGE LAYER #1**  
DRAINAGE LAYER SHALL BE INSTALLED ADJACENT TO THE EXTERIOR SURFACE OF AN INSULATED FOUNDATION WALL
- DP-1 DRAINAGE PIPE #1**  
4" PERFORATED DRAINAGE PIPE C/W FILTER FABRIC AND 6" CLEAN GRANULAR COVERAGE
- FDW-1 FOUNDATION WALL #1**  
DAMP-PROOFING BELOW FINISHED GRADE, 8" FPOURED CONCRETE (20 MPa) FOUNDATION WALL ON A 20" WIDE X 10" DEEP CONTINUOUS FPOURED CONCRETE STRIP FOOTING ON UNDISTURBED SOIL. REFER TO ENGINEERS DESIGN
- SP-1 SILL PLATE #1**  
PROVIDE 1/2" DIA. ANCHOR BOLTS X 12" LONG, @ 48" O/C C/W 2" X 6" P.T. PLATE & SILL GASKET AT TOP OF FOUNDATION WALL. REFER TO ENGINEERS DESIGN
- CS-1 CRAWL SPACE #1**  
6 mil. POLY VAPOUR BARRIER SEALED AT SEAMS AND EDGES AND HEIGHTED DOWN
- CI-1 CONTINUOUS INSULATION #1**  
R20 CONTINUOUS INSULATION
- FG-1 FLOOR CONSTRUCTION #1**  
3/4" T&G OSB OR PLYWOOD SUB-FLOOR NAILED & GLUED TO 2X10 FLOOR JOIST @ 16" O/C, BRIDGING AS PER PLAN
- FG-2 FLOOR CONSTRUCTION #2**  
3/4" T&G OSB OR PLYWOOD SUB-FLOOR NAILED & GLUED TO 4.5" DEEP ENGINEERED WOOD FLOOR JOIST, REFER TO SUPPLIERS LAYOUT
- SR-1 STAIRS & RAILINGS**  
ALL STAIRS AND RAILINGS ARE MANUFACTURED AND SHALL CONFORM TO SECTION 9.8 OF O.B.C. STAIRS TO BE DETERMINED ON SITE. 1" TREAD, 1" NOSING AND PROVIDE MINIMUM 6'-7" HEADROOM.
- DG-1 DECK CONSTRUCTION #1**  
5/4x6 P.T. DECKING SCREWED TO 2X8 PRESSURE TREATED JOIST, REFER TO PLANS FOR SPACING & BRIDGING
- DG-2 DECK CONSTRUCTION #2**  
5/4x6 P.T. DECKING SCREWED TO 2X10 PRESSURE TREATED JOIST, REFER TO PLANS FOR SPACING & BRIDGING
- DR-1 DECK RAILING #1**  
PRE-FINISHED MANUFACTURED DECK RAILINGS AS SPECIFIED BY OTHERS

EXTERIOR AND INTERIOR WALL NOTES

- EW-1 EXTERIOR WALL #1**  
PRE-FINISHED SIDING HOUSEWRAP AIR BARRIER 7/16" OSB WALL SHEATHING 2X6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE R22 INSULATION 6 mil. U/V PROTECTED POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
- IW-1 INTERIOR PARTITION #1**  
2X4 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE 1/2" GYPSUM BOARD ON BOTH SIDES
- IW-2 INTERIOR PARTITION #2**  
2X6 STUDS @ 16" O/C C/W DOUBLE TOP PLATE & SINGLE BOTTOM PLATE 1/2" GYPSUM BOARD ON BOTH SIDES

ROOF AND CEILING NOTES

- RC-1 ROOF CONSTRUCTION #1**  
25 YEAR SELF-SEALING ASPHALT SHINGLES ICE & WATER SHIELD EAVE PROTECTION 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS APPROVED ROOF TRUSSES @ 24" O/C
- RC-2 ROOF CONSTRUCTION #2**  
25 YEAR SELF-SEALING ASPHALT SHINGLES ICE & WATER SHIELD EAVE PROTECTION 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS RAFTER SPANS FOR SNOW LOAD OF 2.0 KPa 2X6 RAFTERS @ 16" O/C, MAX. SPAN 11'-6" 2X6 RAFTERS @ 24" O/C, MAX. SPAN 10'-1" 2X8 RAFTERS @ 16" O/C, MAX. SPAN 15'-2" 2X8 RAFTERS @ 24" O/C, MAX. SPAN 12'-8" 2X10 RAFTERS @ 16" O/C, MAX. SPAN 19'-1" 2X10 RAFTERS @ 24" O/C, MAX. SPAN 15'-6" RIDGE BOARD TO BE 2" DEEPER THAN RAFTER DEPTH USED
- EV-1 EAVE CONSTRUCTION #1**  
2X6 SUB-FASCIA PRE-FINISHED ALUMINUM EAVES TROUGH C/W DOWN SPOUTS AS REQUIRED, EAVE STARTER FASCIA & VENTED SOFFIT.
- CL-1 CEILING #1**  
1/2" GYPSUM CEILING BOARD (4.25 S.2(1)(J)) 6 mil. U/V PROTECTED POLY V/B. R60 BATT INSULATION
- CL-2 CEILING #2**  
1/2" GYPSUM CEILING BOARD
- CL-3 CEILING #3**  
PRE-FINISHED ALUMINUM NON-VENTED SOFFIT PANELS 2X6 CEILING JOIST @ 16" O/C
- CL-4 CEILING #4**  
PRE-FINISHED ALUMINUM NON-VENTED SOFFIT PANELS 2X6 CEILING JOIST @ 24" O/C
- AA-1 ATTIC ACCESS #1**  
MINIMUM 22" X 28" INSULATED (MIN. R20) ATTIC ACCESS C/W WEATHER STRIPPING AND LATCH CLOSURE

ENERGY EFFICIENCY DESIGN SUMMARY

COMPLIANCE OPTION	SB-12 PRESCRIPTIVE	TABLE:	PACKAGE:
	[SB-12-3.1.1.2.]	3.1.1.2.A	A1
PROJECT DESIGN CONDITIONS	CLIMATE ZONE	HEATING EQUIPMENT EFFICIENCY:	SPACE HEATING FUEL SOURCE:
	ZONE 1 (< 5000 DEGREE DAYS)	MINIMUM 96%	GAS

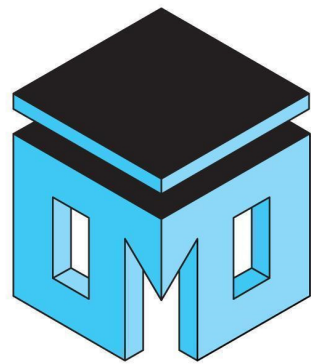
BUILDING COMPONENT	RSI / R VALUES REQUIRED	BUILDING COMPONENT	EFFICIENCY RATINGS REQ'D
THERMAL INSULATION		WINDOWS & DOORS (1.)	
CEILING WITH ATTIC SPACE	R60	WINDOWS/SLIDING GLASS DOORS	U-Value 0.28
CEILING WITHOUT ATTIC SPACE	R31	SKYLIGHTS	U-Value 0.49
EXPOSED FLOOR	R31		
WALLS ABOVE GRADE	R22	MECHANICALS	
BASEMENT WALLS	R20 CONTINUOUS	SPACE HEATING EQUIPMENT (2.)	96%
SLAB		HRV EFFICIENCY (%)	75%
- greater than 600mm below grade		DHW HEATER (EF)	0.80
SLAB	R10		
- edge only less than 600mm below grade		NOTES	
SLAB	R10	(1.) PROVIDE U-VALUE IN W/M2.K OR ER RATING	
- all less than 600mm below grade, or heated		(2.) PROVIDE AFUE OR INDICATE IF CONDENSING TYPE COMBINED SYSTEM USED	

Notes :

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- FD** FLOOR DRAIN
- X** POINT LOAD FROM ABOVE
- SP-1** PLYS OF STUD POST TO EQUAL WIDTH OF SUPPORTED MEMBER

Attachment 3  
A05-24 (22847 Highway 48)  
Page 6 of 7



Scott Dryla  
8 Doon Crescent  
Kewick, Ontario, L4P 3P8  
Phone: 905.232.8417  
email: masterplan@rogers.com

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Scott Dryla 21141  
NAME BCIN

SIGNATURE

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Master-Plan 30578  
FIRM NAME BCIN

Builder:

Revisions:  
# Date: Description:

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Project North:

Legend:  
DIMENSIONING NOTES:  
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Project Title:

Comparelli  
Residence  
22847 Highway 48  
Sutton West, Ontario

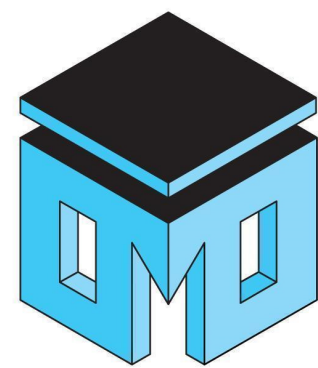
Sheet Title:

Cross Sections  
A-A & B-B

Drawn by: Scott Dryla  
Checked by:  
Date: Jan 31, 2024  
Scale: 1/4" = 1'-0"  
Project #

A4





Scott Dryla  
8 Doon Crescent  
Kewick, Ontario, L4P 3P8  
Phone: 905.252.8417  
email: masterplan@rogers.com

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Scott Dryla 21141  
NAME BCIN

Signature

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FIRM NAME BCIN

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DIMENSIONING NOTES:  
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Project Title:

Comparelli

Residence

22847 Highway 48

Sutton West, Ontario

Sheet Title:

Elevations

Drawn by: Scott Dryla

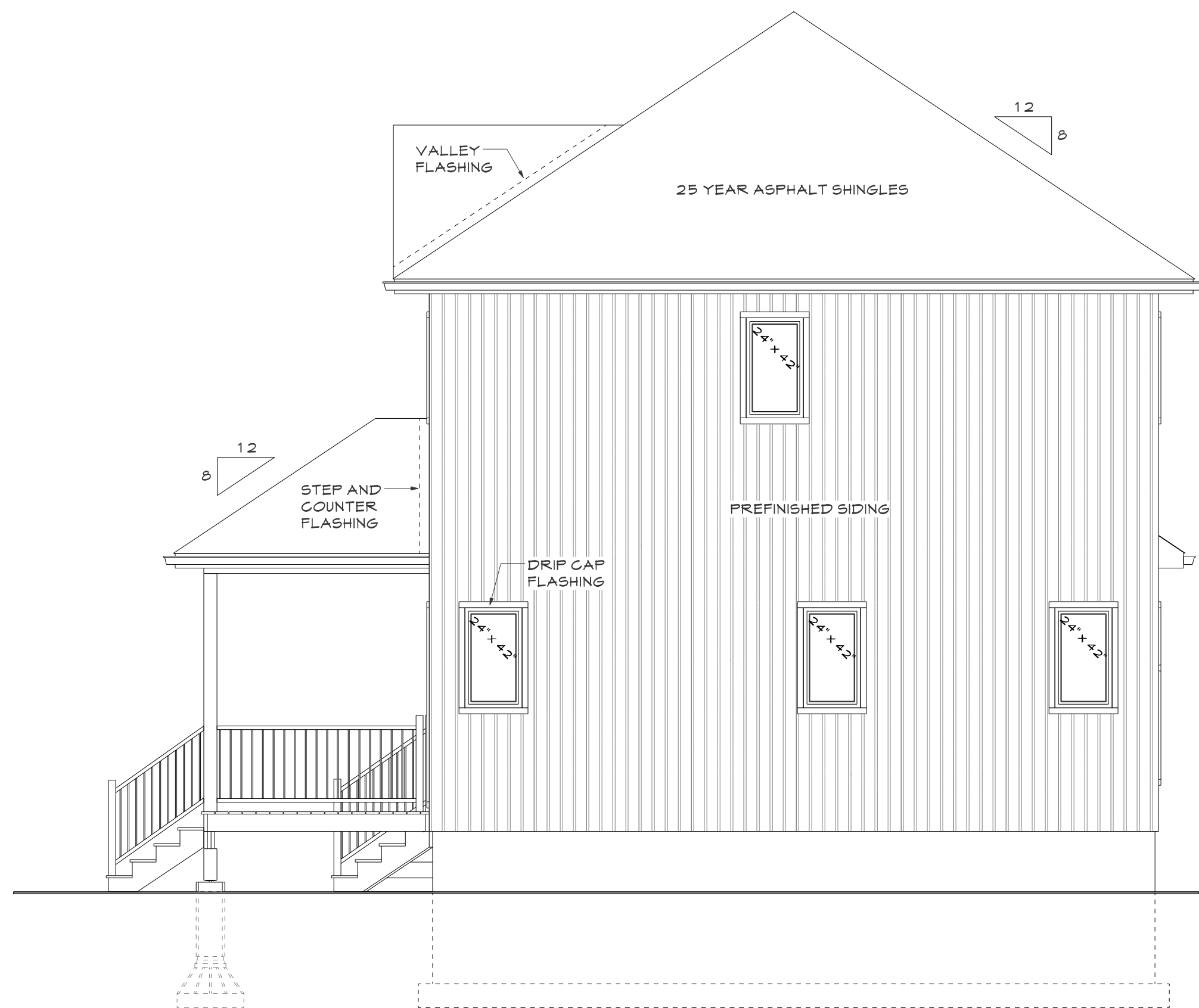
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Date: Jan 31, 2024

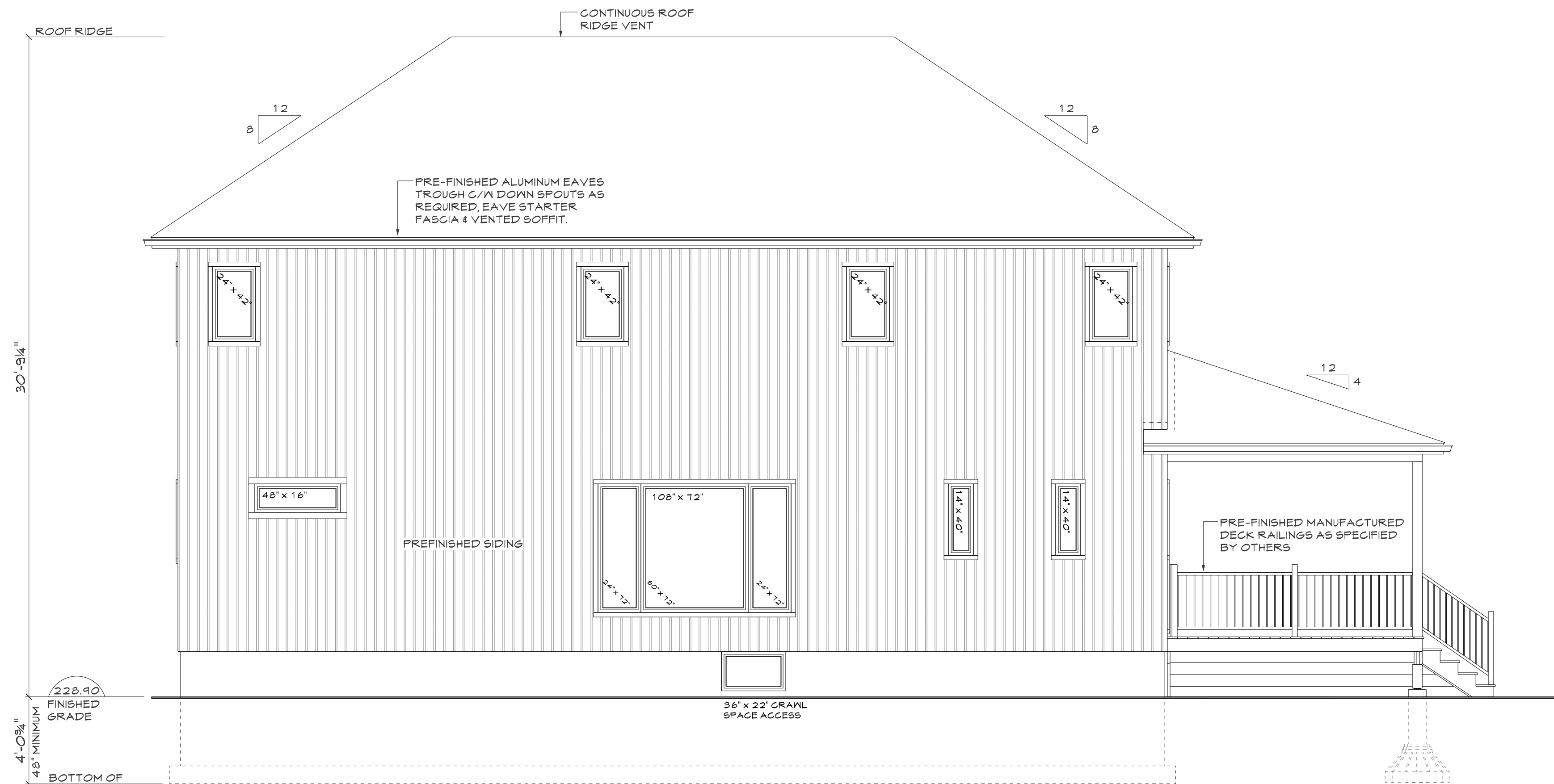
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Project #

A5



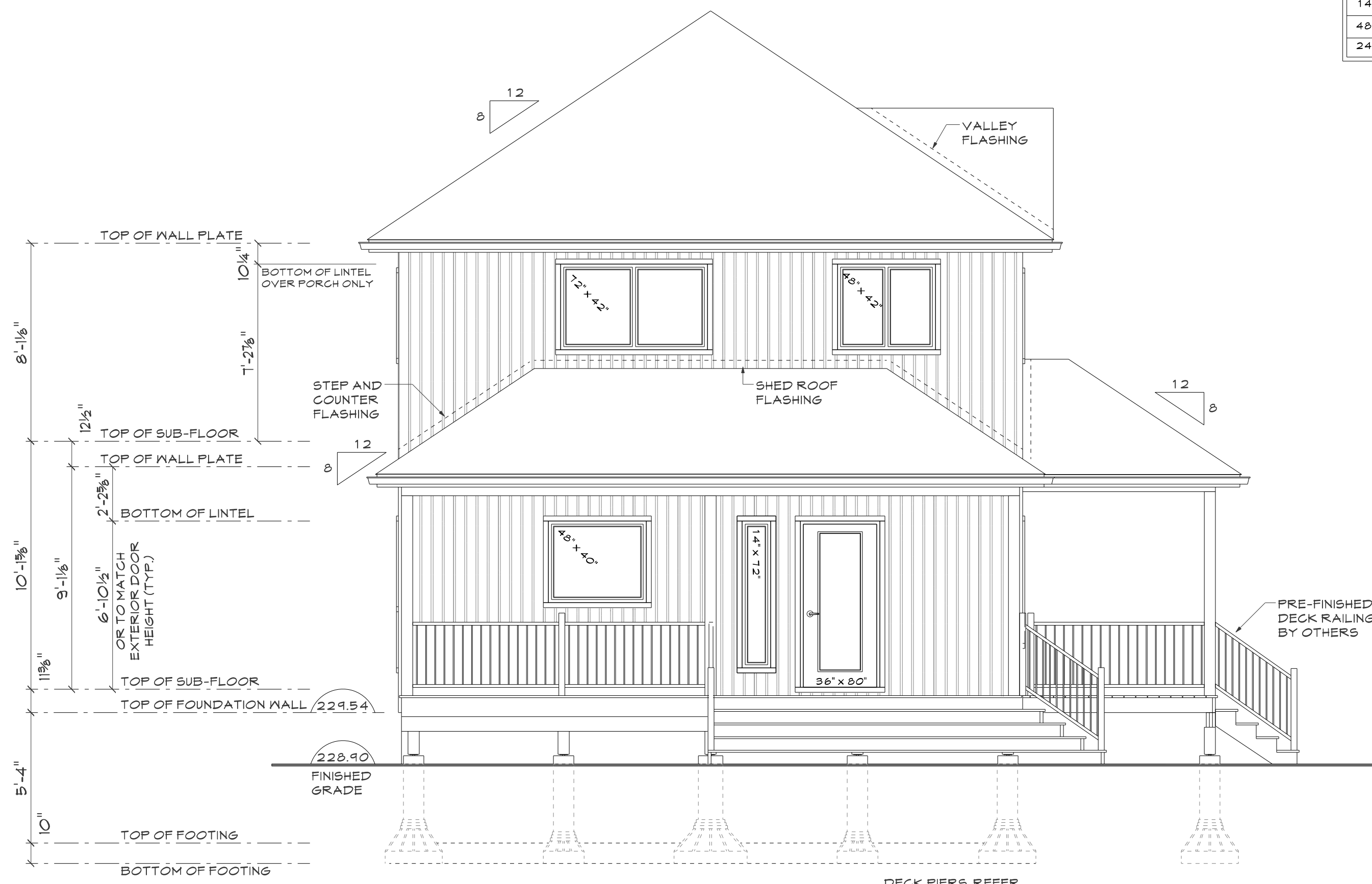
West Elevation



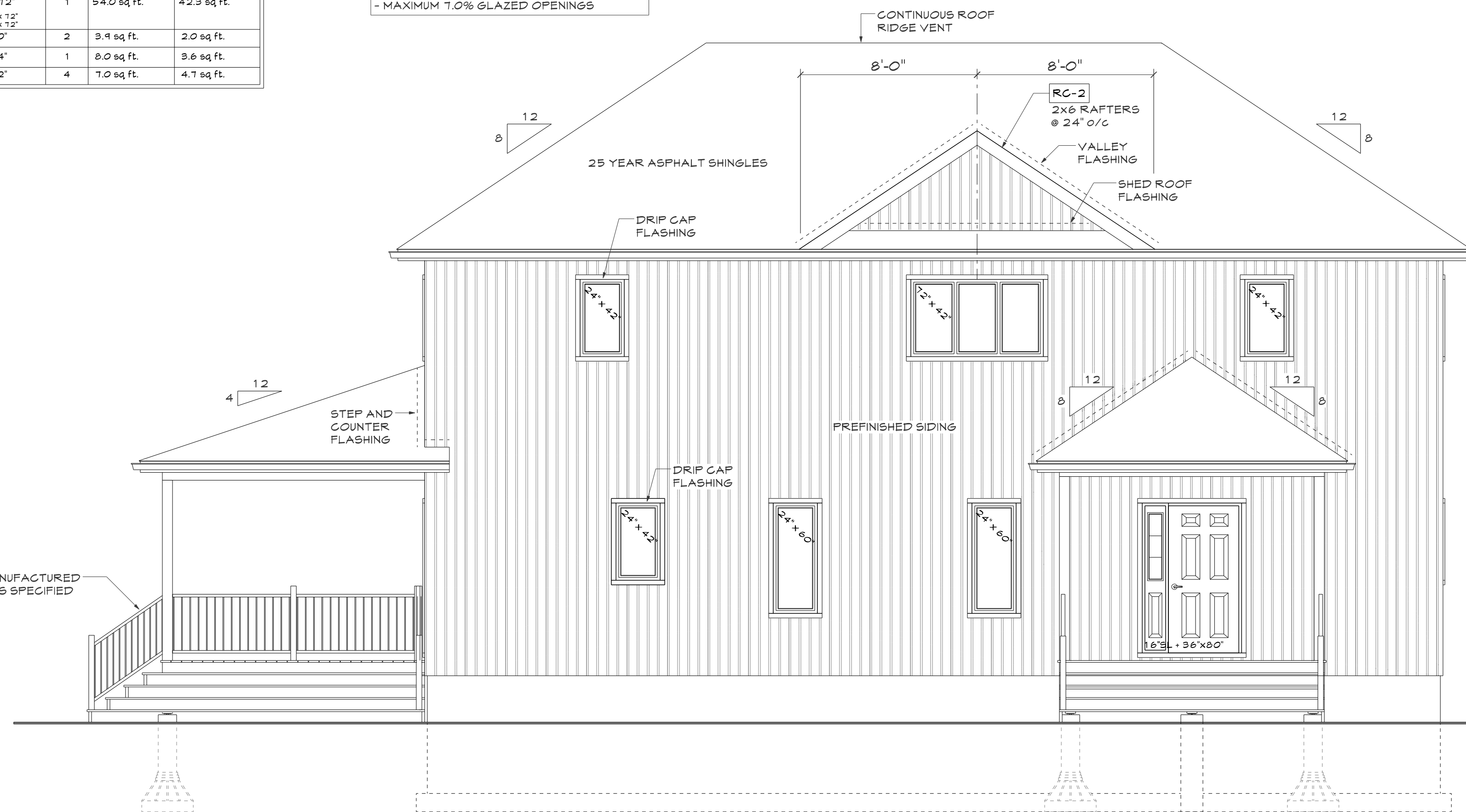
South Elevation

SOUTH ELEVATION OPENINGS				
SIZE	COUNT	OPENING AREA	GLAZING AREA	
108" x 72"	1	54.0 sq. ft.	42.9 sq. ft.	
2 pc. 24" x 12"	1	6.0" x 12"		
1 pc. 60" x 12"				
14" x 40"	2	9.4 sq. ft.	2.0 sq. ft.	
48" x 24"	1	8.0 sq. ft.	3.6 sq. ft.	
24" x 42"	4	7.0 sq. ft.	4.7 sq. ft.	

AREA OF EXPOSED BUILDING FACE 979 S/F  
GLAZED OPENINGS 68.7 S/F  
% GLAZED OPENINGS 7.0%  
- LIMITING DISTANCE 1.2m  
- MAXIMUM 7.0% GLAZED OPENINGS



East Elevation



North Elevation

Attachment 3  
A05-24 (22847 Highway 48)  
Page 7 of 7

### Notes :

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**To:** Matthew Ka, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

**cc:** Mike Iampietro, Manager, Development Engineering  
Cory Repath, Sr. Development Inspector  
Vikum Wegiriya, Jr. Development Technologist  
Matthew DeLuca, Jr. Development Inspector  
Laura Taylor, Operations Administrative Assistant

**Date:** July 4<sup>th</sup>, 2024

**Re:** MINOR VARIANCE A05-24  
22847 Highway 48  
Con 8 Pt Lot 1  
ROLL NO.: 115-257

---

The Development Engineering Division has the following **conditions** for Consent Application No. A05-24:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
  - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.





Sent via e-mail: [mka@georgina.ca](mailto:mka@georgina.ca)

July 12, 2024

**Municipal File No.: A05-24**  
**LSRCA File No.: VA-198624-041924**

**Matthew Ka**  
**Secretary-Treasurer to the Committee of Adjustment**  
**26557 Civic Centre Road**  
**Keswick, ON L4P 3G1**

Dear Mr. Ka,

**Re: Application for Minor Variance**  
**22847 Highway 48**  
**Town of Georgina**  
**Owner: Dave Comparelli**  
**Applicant: Michael Smith Planning Consultants; Development Coordinators Ltd.**

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to rebuild and expand a demolished single detached dwelling on the subject property. The Applicant/Owner is seeking relief from the following sections of the Town of Georgina Zoning By-law No. 500, as amended:

- **Section 5.11.2 (d)** to permit a replacement of a building or structure more than one year from the date that it is demolished or destroyed by fire, whereas the By-law states that a replacement within one year is only permitted;
- **Expand Legal Non-Conforming Use** to permit the replacement Legal Non-Conforming dwelling to expand past the extent of the previous dwelling.

**Documents Received and Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- Notice of Hearing (dated June 21, 2024)

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory



comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

### **Recommendation**

Based on our review of the submitted information in support of the application, the proposal is generally consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

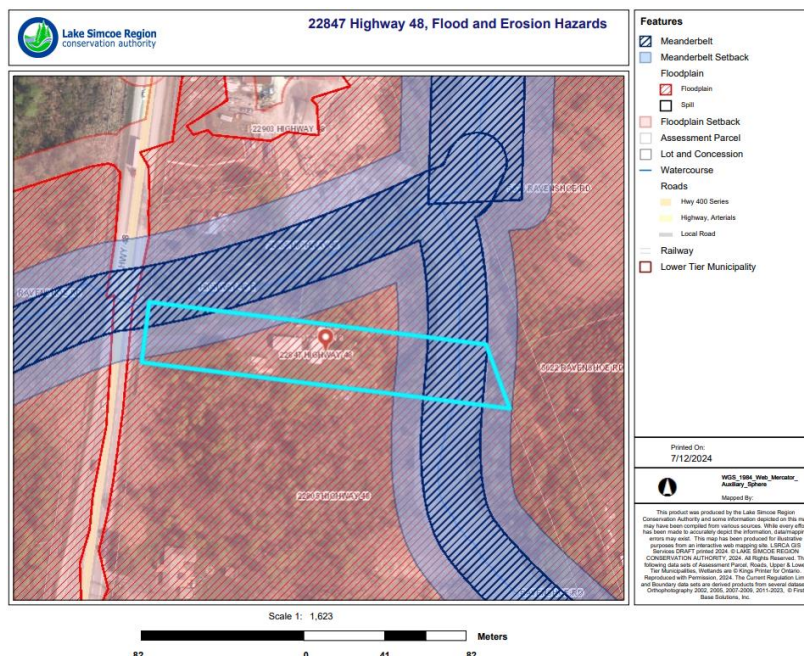
- That the Applicant/Owner successfully obtain a permit from the LSRCA.

### **Site Characteristics**

The subject land is approximately 0.54 hectares (1.33 acres) in area and is located east of Highway 48 within the Town of Georgina. The subject land is currently zoned 'Rural (RU)' per Schedule 'A' of the Town of Georgina Zoning By-law No. 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is entirely regulated by the LSRCA under Ontario Regulation 41/24. Please see a detailed regulatory map below. This is representative of:
  - The presence of a watercourse (Black River)
  - Flooding and erosion (meanderbelt) hazards associated with the Black River
  - Non-PSW wetland and the associated 30 metre adjacent lands
- The subject property contains identified woodland areas.
- The subject property is within the Greenbelt Natural Heritage System per the Greenbelt Plan.







- Ontario Regulation 41/24 applies to the subject property. A permit from the LSRCA will be required prior to any development or site alteration taking place. All development will need to be in accordance with the LSRCA's Ontario Regulation 41/24 Implementation Guidelines (<https://lsrca.on.ca/wp-content/uploads/2024/06/AODA-Ontario-Regulation-4124-Implementation-Guidelines-June-2024.pdf>). Please contact LSRCA Regulations staff to scope the permit requirements.

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.



**Summary**

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 3.1 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to the subject site. A permit from the LSRCA will be required prior to any development or site alteration taking place;
3. We note that the Applicant/Owner has paid the required LSRCA review fee of \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned ([j.lim@lsrca.on.ca](mailto:j.lim@lsrca.on.ca)).

Sincerely,

A handwritten signature in blue ink that reads "J. Lim." with a period at the end.

Jessica Lim  
Planner I  
Lake Simcoe Region Conservation Authority (LSRCA)