



**Subject
Property**





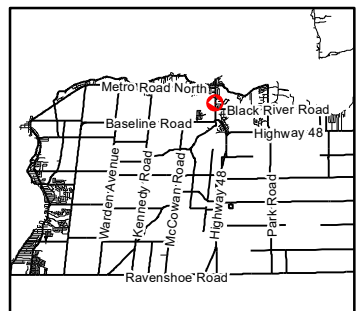
Dalton Road

Wood River Bend

20962 Dalton Road

Legend

-  Subject Property
-  Parcel Fabric



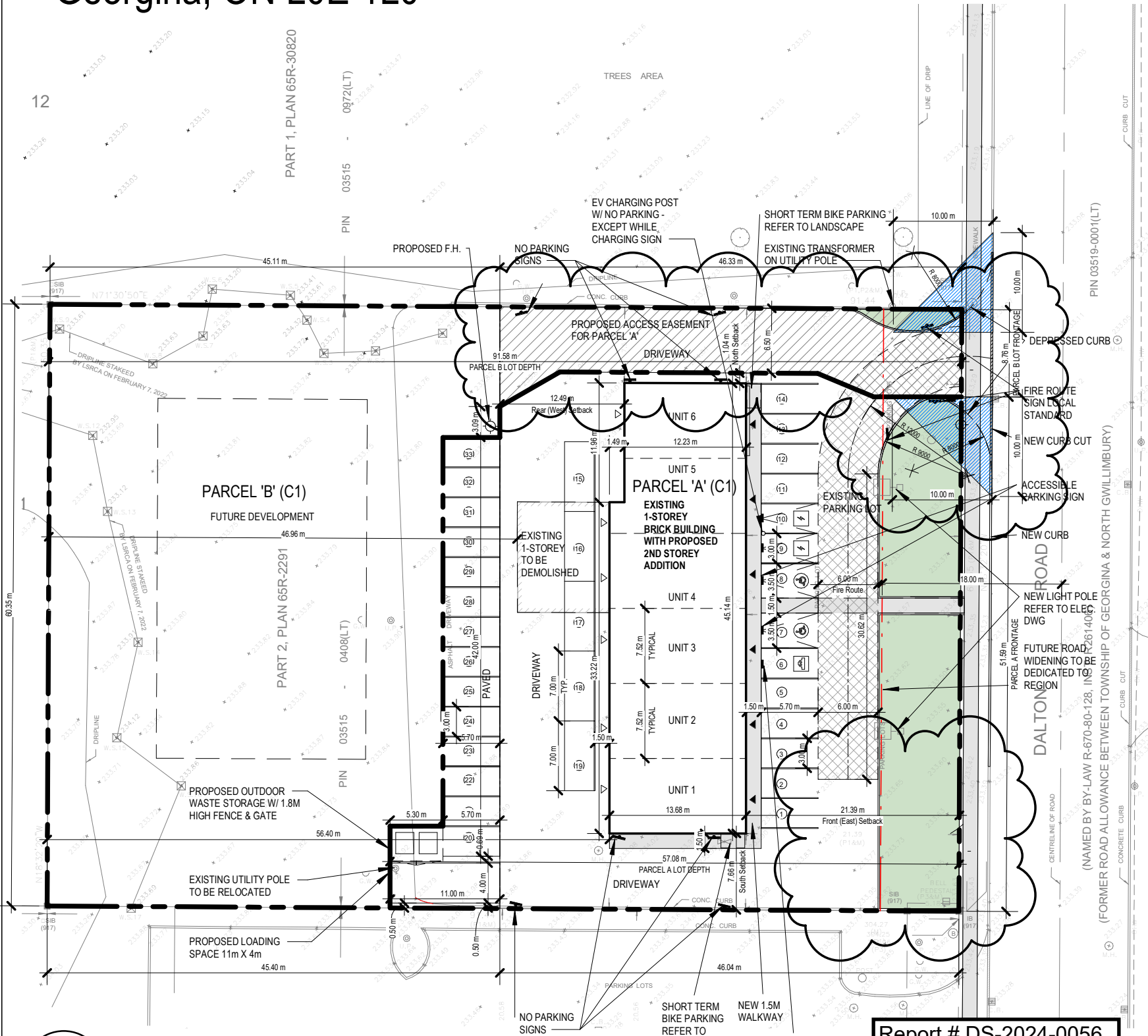
Town of Georgia
ITS- GIS Services
Created: June, 27, 2024

Report # DS-2024-0056
Attachment 1
Page 1 of 1



COMMERCIAL BUILDING

20962 Dalton Road
Georgina, ON L0E 1L0



SITE STATISTICS

ZONING	C1 Zone (BY-LAW 500)		
LEGAL DESCRIPTION	PIN 03515-0408(LT) LOT 11 PART 2 PLAN 65R - 2291)		
TOTAL LOT AREA	LOT FRONTAGE - PARCEL 'A'		51.59 M
	LOT FRONTAGE - PARCEL 'B'		8.76 M
	LOT DEPTH - PARCEL 'A'		57.08 M
	LOT DEPTH - PARCEL 'B'		91.58 M
LOT AREA - PARCEL 'A' (C1)	2761.76 SM		
LOT AREA - PARCEL 'A' (C1) - EXCL. ROAD WIDENING	(2356.67 SM)		
LOT AREA - PARCEL 'B' (C1) (FUTURE DEVELOPMENT)	2756.63 SM		
LOT AREA - PARCEL 'B' (C1) - EXCL. ROAD WIDENING	(2687.83 SM)		

PARCEL 'A' (C1)

DESCRIPTION	EXISTING	PROPOSED	REQUIRED	SECTION
MIN. LOT FRONTAGE	60.35 M	51.59 M	Not Required	14.4 (a)
MIN. LOT WIDTH	60.35 M	51.59 M	N/A	
MIN. LOT AREA	5518.39 SM	2761.76 SM	Not Required	14.4 (b)
MAX. BUILDING HEIGHT	4.5 M	9.5 M	11 M	14.4 (h)
NO. OF STORIES	1	2		
BUILDING AREA	704.07 SM	601.58 SM		14.4 (g)
LOT COVERAGE	13%	22%	50%	
DRIVEWAY WIDTH	N/A	6.0 M		

GROSS FLOOR AREA

EXISTING BLDG	GROUND FLR	704.07 SM (COMMERCIAL)	TOTAL: 704.07 SM
PROPOSED ADDITION	GROUND FLR	601.58 SM (COMMERCIAL)	TOTAL: 1,207.75 SM
	SECOND FLR	606.17 SM (COMMERCIAL)	

FLOOR SPACE INDEX (FSI)

(GFA)	1,207.75 SM	= 0.43 (Commercial only)
LOT AREA	2788.64 SM	

SETBACK	EXISTING	PROPOSED	REQUIRED	SECTION
FRONT (EAST)	21.39 M	NO CHANGE	12 M	14.4 (c)
SIDE (NORTH)	7.54 M	1.04 M	1.5 M	14.4 (f)
SIDE (SOUTH)	7.66 M	NO CHANGE	1.5 M	14.4 (f)
REAR (WEST)	46.96 M	12.49 M	8 M	14.4 (e)

LANDSCAPED AREA	EXISTING	PROPOSED	REQUIRED	SECTION
TOTAL BUILDING AREA	704.07 SM	21.8 % 601.58 SM		
DRIVEWAY & PARKING SPACES		51.9 % 1434.72 SM		
HARDSCAPE AREA		12.1 % 332.96 SM		
SOFTSCAPE AREA		14.2 % 392.50 SM		
TOTAL AREA		100 % 2761.76 SM		

PARKING	EXISTING	PROPOSED	REQUIRED	SECTION
TOTAL PARKING	30 SPACES	33	70	
INCLUDING ACCESSIBLE PARKING	0 SPACES	2		

LOADING	EXISTING	PROPOSED	REQUIRED	SECTION
TOTAL NUMBER OF LOADING SPACES	0 SPACE	1 SPACE	2 SPACES	

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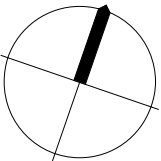
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No.	Issued	Date	By
2	For ZBA and SPA Submission #1	2023.10.23	SW
3	For ZBA and SPA Resubmission	2023.12.11	SW
4	For ZBA and SPA Resubmission	2024-04-25	SW

EASEMENT
DAYLIGHT TRIANGLE
FIRE ROUTE



TAES Architects Inc.
98 SCRASDALE ROAD,
TORONTO, ON
M3B 2R7
T: 416 800 3284
F: 416 800 3485

20962 Dalton Road,
Georgina
Commercial Building

Project Number T2022047

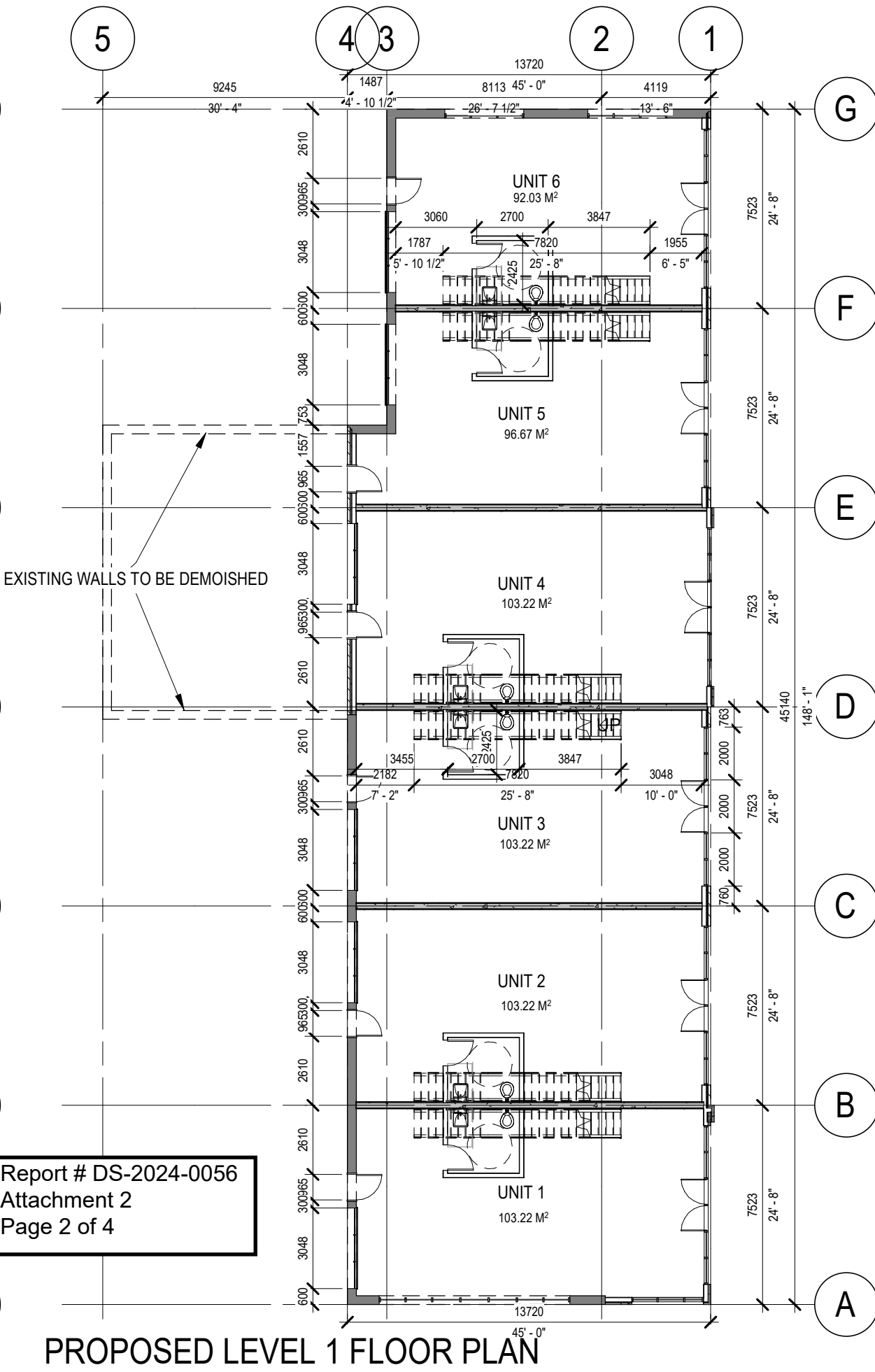
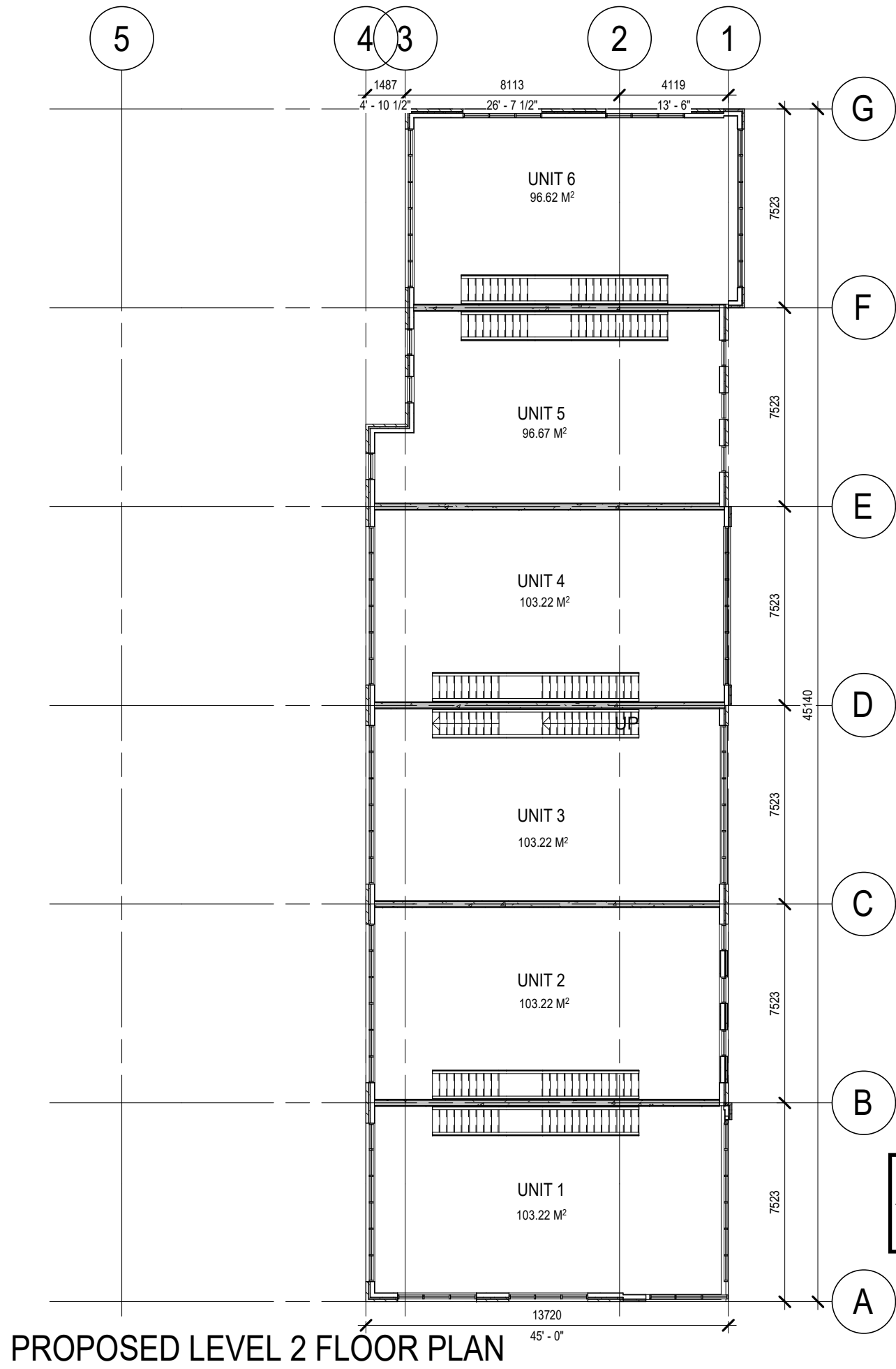
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Cover Page - Site
Plan & Site Statistics

Drawing No. A000

Report # DS-2024-0056
Attachment 2
Page 1 of 4



Report # DS-2024-0056
Attachment 2
Page 2 of 4

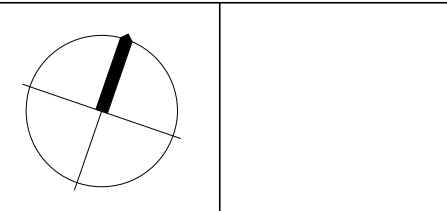
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1	Pre-consultation meeting	2022.10.13	SW
3	For ZBA and SPA Submission #1	2023.10.23	SW



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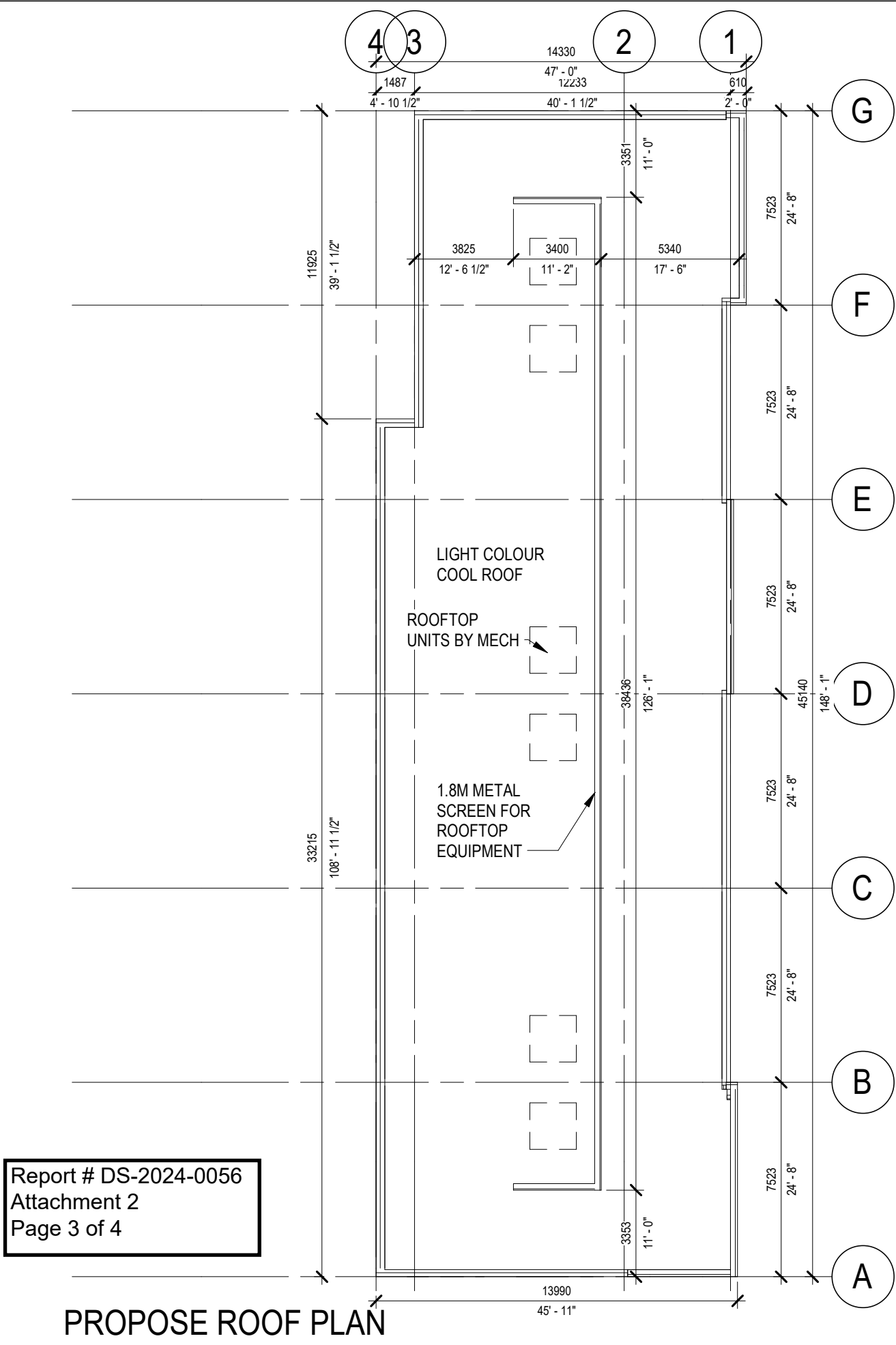
Project Number T2022047

Drawn Scale 1 : 200

Checked 10/30/2023
10:12:31 AM

Ground & Second
Floor Plan

Drawing No. A101



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Attachment 2
Page 3 of 4

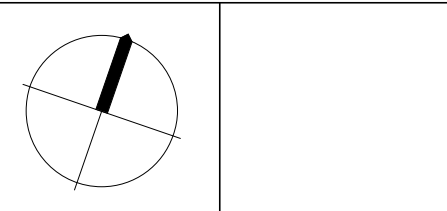
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TORONTO, ON
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T: 416 800 3284
F: 416 800 3485

20962 Dalton Road,
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Commercial Building

Project Number T2022047

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Roof Plan

Drawing No. A102

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20962 Dalton Road,
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Project Number T2022047

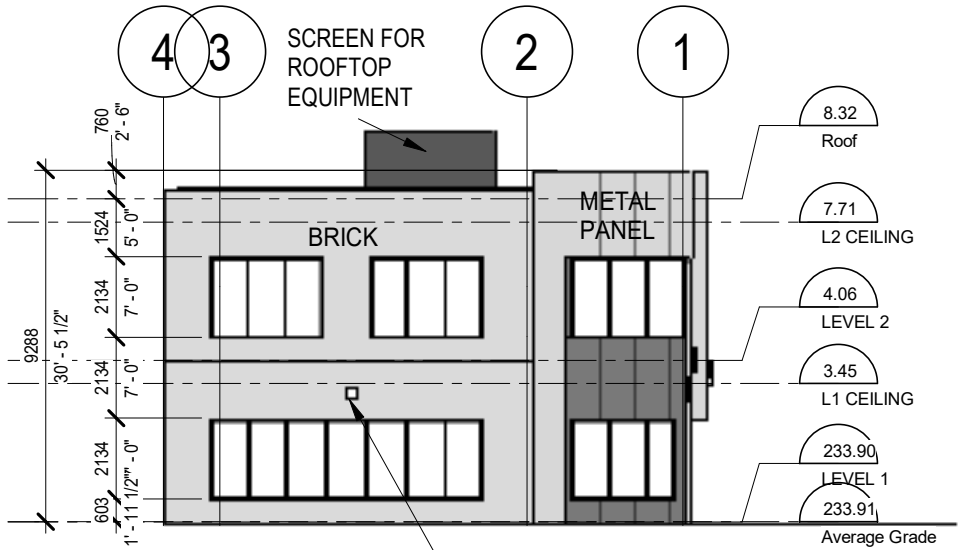
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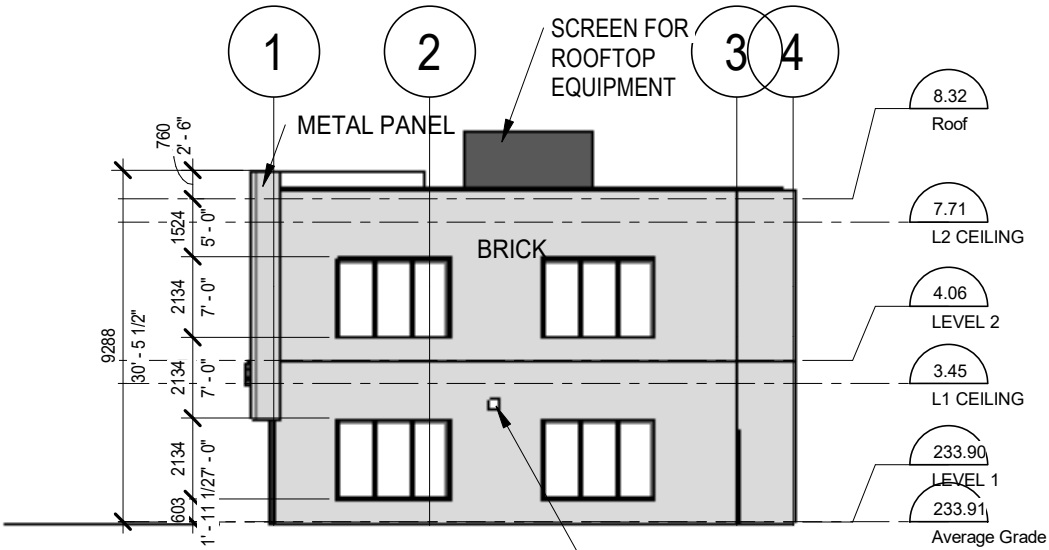
Elevations

Drawing No. A201

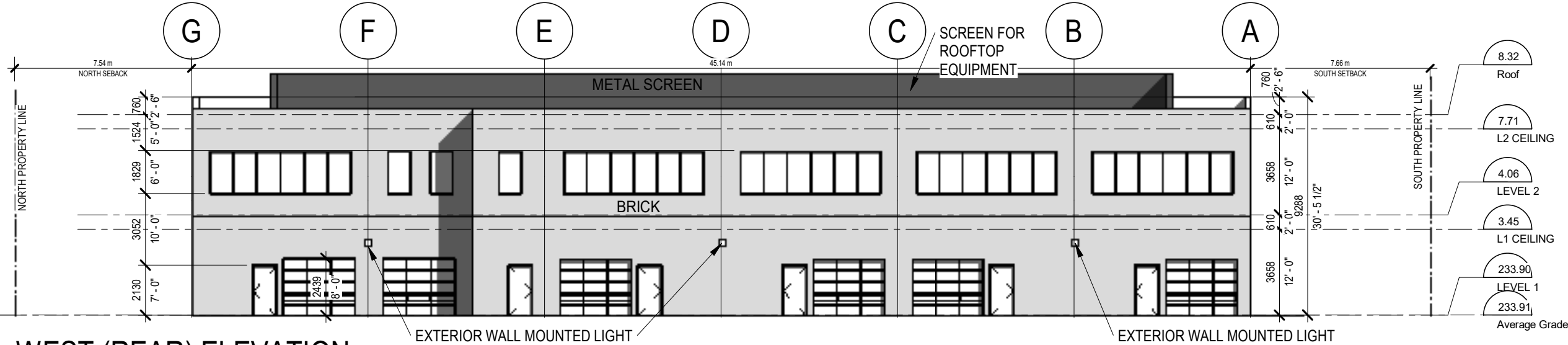
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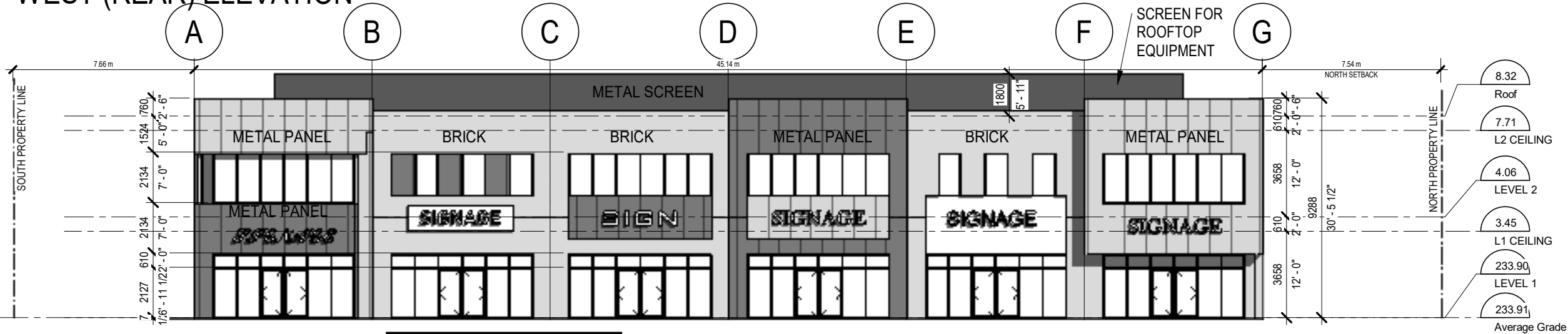
SOUTH ELEVATION



NORTH ELEVATION



WEST (REAR) ELEVATION



EAST (FRONT) ELEVATION

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Attachment 2
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All development within the Dalton Road South Corridor designation shall be subject to Site Plan Control. The Town may utilize the provisions of Site Plan Control to the maximum extent permitted by the Planning Act, including, without limitation, the control of building materials, colour and architectural detail.

SUMMARY OF SUBMISSION DOCUMENTS

- Cover Letter
- Amending Zoning By-law and Schedule
- Site Plan
- Civil Engineering Details
- Electrical Details
- Lighting Plan
- Phase One ESA
- Erosion and Sediment Control Plan
- Functional Servicing and Stormwater Management Report
- Grading Plan
- Landscaping Plan
- Noise Study
- Planning Justification Report
- Pre-Consultation Checklist
- Servicing Plan
- Site Plan, including Floor Plans and Building Elevations
- Survey (Topographic and Legal)
- Traffic Impact Study Phase One
- Traffic Impact Study Phase Two
- Traffic Impact Study with Parking Analysis
- Tree Inventory and Protection Plan
- Urban Design Brief

Site Photos

20962 Dalton Road
Facing West



20962 Dalton Road
Facing North



20962 Dalton Road
Facing South



20962 Dalton Road
Facing East



**THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK**

BY-LAW NUMBER 500-202#-#### (PL-5)

**BEING A BYLAW TO AMEND BY-LAW NUMBER 500, BEING A
BY-LAW TO REGULATE RESTRICTING ERECTING, LOCATING OR
USING OF BUILDINGS, LOADING OR PARKING FACILITIES WITHIN
THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That MAP N0. 6 of Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'C1' to 'C1-##' on the lands described as Block 60, Part of Lot 11, Part 2 Plan 65R - 2291, shown in heavy outline and designated 'C1-##' in "Parcel 'A' on Schedule "A" attached hereto and forming part of this by-law;
2. That Section 14.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500, as amended, is hereby amended by the adding after Section 14.5.##, the following:

"14.5.## BLOCK 60, PART OF LOT 11, PART 2 PLAN 65R - 2291 **'C1-##'**
(Map 6)

- a) Notwithstanding Section 14.4 f), **INTERIOR SIDE YARD (MINIMUM)**, a minimum interior side yard of 1.0 metres shall be required from the portion of the northern lot line boarding Parcel 'A'.
- b) Required Minimum Loading Space 1 Space
- c) Required Minimum Parking Spaces 33 Spaces

READ AND ENACTED this ##th day of XXXXXXXX, 202#

Margaret Quirk (Mayor)

Mamata Baykar, Deputy Clerk

Schedule 'A' to By-law No. 202#-####

This Map Forms Part of the By-Law

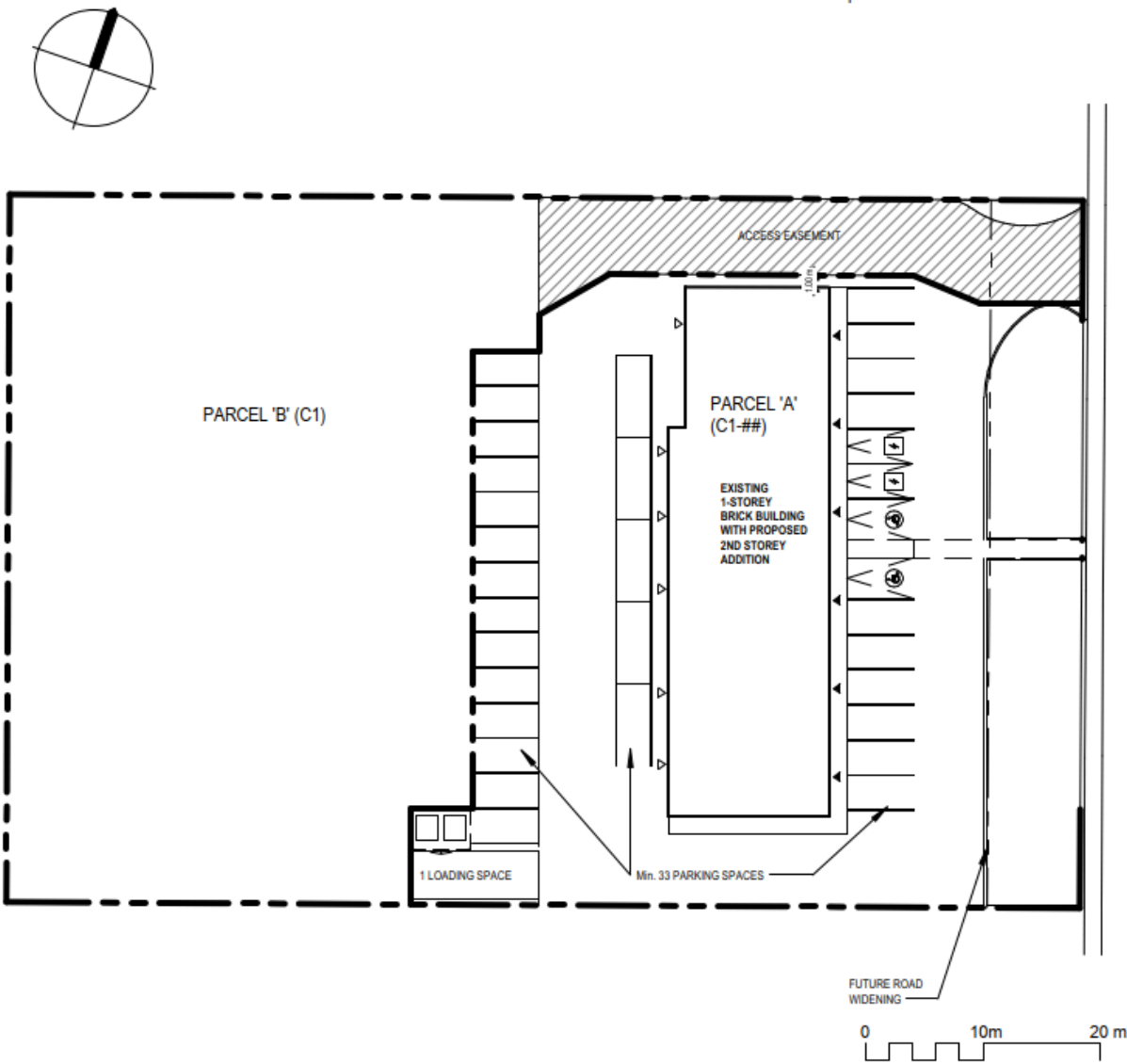
Schedule 'A'

TO BYLAW NO. 202#-##

This is Schedule 'A' to Bylaw No. 202#-##
passed by Council of the Town of Georgina
on the ____ day of ____ 202#

Speaker

Town Clerk



Department/Agency	Date Received	Response
Building Division		
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	September 13, 2024	The future development area will need to be removed from the drawing or the grading and servicing must be shown on the drawings. The applicant is to be advised they need to have water and sanitary modeling completed by GEI.
Economic Development		
Georgina Fire Department	July 31, 2024	The Georgina Fire Department has no objections to the proposal and provides the following comments: 1.All new construction shall be in conformance with the Ontario Building Code. 2.Fire access routes shall be designed in conformance with the OBC and constructed to support the largest responding apparatus to the property during an emergency. Georgina Fire Largest Apparatus – PL147 Length 13.77m Width 3.2m Height 3.6m Weight 100,000lbs Wheel base 6.45m
Municipal Law		
Operations & Infrastructure		
Policy Planning	July 23, 2024	Tree Inventory: No comments as they are retaining all trees in the inventory table Landscape Plan and Cost Estimate: No comments as they are using diverse planting and cost estimate seems accurate and true to the proposed works. Urban Design Brief: In the design brief the 2nd story is meant to be condominiums with retail opportunities on the ground floor comprising of materials that are balances to the existing character of the community that are durable and sustainable. When looking at the elevation in reference to the design brief the buildings are very industrial/commercial and urban looking and lack the balance to the surrounding context of the community. They are represented in a grey/black stock standard elevation and do not accurately depict materials described within the Urban Design Brief. Can we please have proposed colour, texture and materiality palette included, what makes this uniquely Georgina? There is also reference made to a cool roof in order to reduce urban heat island effect, when looking at the Roof Plan there is label stating 'light coloured roof cool roof'. What does this mean? What is the materiality of the roof? How does it cool the area? Can we please have more details in this regard? There is also reference to rooftop equipment and metal screening, what roof top equipment? Town of Georgina is part of the BEE City Program it would be great to see a low impact green roof option with wildflower mix.
Tax & Revenue	July 9, 2024	There are no tax concerns with this property.
Bell Canada		

Consolidated Comments for 03.1181 - 20962 Dalton Road - 2nd Submission

Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas	July 11, 2024	Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.
Hydro One	August 7, 2024	No comments at this time.
Lake Simcoe Region Conservation Authority (LSRCA)	July 29, 2024	See attached
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board	July 18, 2024	No comments or objections.
York Region - Community Planning & Development Services	August 1, 2024	See attached
York Region District School Board		
York Regional Police		



Sent via e-mail: bdobrindt@georgina.ca

July 29, 2024

Municipal File No.: 03.1181
LSRCA File No.: ZO-305520-071024

Brittany Dobrindt
Planner I
Development Services Department
26557 Civic Centre Road
Keswick, ON L4P 3G1

Dear Ms. Dobrindt,

Re: Application for Zoning By-law Amendment
20962 Dalton Road
Town of Georgina
Owner: 20962 Dalton Road Limited Partnership
Applicant: TAES Architects Inc. (c/o Shenshu Zhang)

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to demolish the western section of the existing building and construct a second-storey addition to create six two-storey retail/office units. Each unit will have a front and rear entrance on the ground floor and an interior staircase to the second floor. The purpose and effect of this application for Zoning By-law Amendment is to reduce the amount of parking spaces and loading spaces required and reduce the minimum interior side yard setback.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Cover Letter prepared by TAES Architects Inc. (dated May 27, 2024)
- Lot Survey prepared by Mandarin Surveyors Limited (dated August 18, 2023)
- Site Grading Plan prepared by WPE Engineering Ltd. (dated March 27, 2024)
- Floor Plan and Elevation Drawings prepared by TAES Architects Inc. (dated April 25, 2024)
- Planning Justification Report prepared by Urban Congruence Ltd. (dated April 24, 2024)
- Draft Zoning By-law Amendment

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation*

Authorities Act. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Recommendation

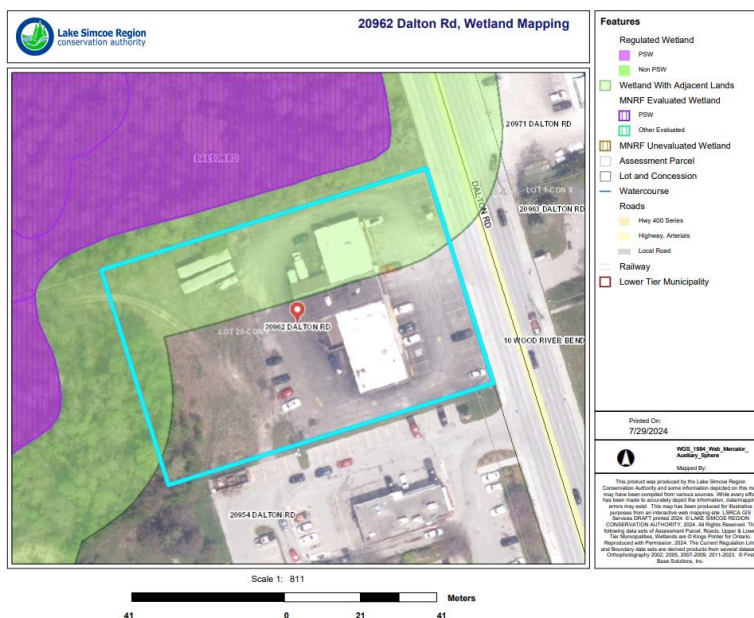
Based on our review of the submitted information in support of the application, we have no objection to the approval of this application for Zoning By-law Amendment.

Site Characteristics

The subject land is approximately 0.55 hectares (1.37 acres) in area and is located west of Dalton Road within the Town of Georgina. The Town of Georgina Official Plan identifies the subject property as being within the Sutton/Jackson's Point Secondary Plan. The subject land is within the 'Dalton Road South Corridor' designation per the Sutton/Jackson's Point Secondary Plan and is currently zoned 'General Commercial (C1)' per the Town of Georgina Zoning By-law #500, as amended.

Existing environmental mapping indicates the following:

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24 for being within 30 metres of a Provincially Significant Wetland (PSW). Please see a detailed regulatory map below.
- The subject property is within an Ecologically Significant Groundwater Recharge Area (ESGRA).
- The subject property is within the Protected Countryside designation per the Greenbelt Plan.



Statement (PPS). Based on the information submitted as part of this application, the proposal is generally consistent with 3.1 of the PPS.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. Please contact LSRCA Regulations staff to determine if a permit from the LSRCA will be required.

Advisory Comments

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

Summary

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Zoning By-law Amendment.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 3.1 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject site. A permit or written clearance from the LSRCA will be required;
3. **The Applicant/Owner has not paid the LSRCA application fees associated with a Minor Zoning By-law Amendment (planning review only) in accordance with the approved Fees Policy under the *Conservation Authorities Act*. Staff note that the amount is \$2,195.00.**

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,



Jessica Lim
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)

Report # DS-2024-0056
Attachment 6
Page 5 of 8

From: [Ahmed, Maryam](#)
To: [Brittany Dobrindt](#)
Subject: York Region Comments - ZBA.24.G.0067 (03.1181) - 20962 Dalton Road
Date: August 1, 2024 3:52:08 PM
Attachments: [image001.png](#)
[image002.jpg](#)
[image003.png](#)

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Hi Brittany,

York Region has reviewed the above noted Zoning By-law Amendment (ZBA) to amend Zoning By-law 500 revision 2019, to renovate the existing single-storey commercial building into a two-storey retail office building, for a retail office and future commercial development. We have no objections to the ZBA application subject to the following comments:

Servicing Comments:

- Water and Wastewater Servicing:
 - The FSSR indicates that water and wastewater servicing to the proposed development will be provided through connections to the existing 250 mm sanitary sewer and 300 mm watermain located on Dalton Road. The existing site service connections are a 125mm sanitary service connection and 150mm water service connection.
- Proximity to Regional Infrastructure:
 - The FSSR indicates a new 200 mm PVC storm service connection will be installed to discharge storm flow into the existing Regional 750 mm storm sewer on Dalton Rd.
 - This service connection will need to cross the Regional 400 mm Watermain. Integrity of the aforementioned Regional infrastructure shall be protected and maintained at all times during construction and grading of the proposed development.
 - The Owner is required to submit to the Region the detailed engineering drawings showing plan and profile views of the proposed storm relative to the Region's watermain during the detailed design stage. A minimum vertical clearance of one meter of the Region's watermain relative to the proposed storm, shall be maintained. Daylighting the Region's watermain will be required at the proposed crossing. The Region's construction staff must be present on site during the work.
 - The Region's construction inspection staff (ENVassetapprovals@york.ca) shall be notified and invited, two weeks in advance of a pre-construction meeting for works to be carried out in close proximity of Region's infrastructure. The Region reserves the right to inspect the site during the works. The Owner is further advised that York Region requires two (2) weeks advanced notice prior to the

commencement of works related to the crossing of Regional infrastructure. Please note that if notice is not provided on both requests above, Corporate Services Inspection Fees - Item 32 under Schedule "A" to By-law No. 2020-04, may be applied.

- Prior to final approval, the Owner shall provide an electronic set of final engineering drawings showing the watermains, sanitary and storm sewers for the proposed development to Community Planning and Development Services and Infrastructure Asset Management for record.
- Through review of later submissions with more detailed construction information, IAM will provide further comments and or conditions, as necessary.
- Hydrant Test:
 - A hydrant test was completed on June 6, 2023 by Madonna Engineering Inc, and the results indicate that there is sufficient pressure and flows (including fire flows) to service the development.
 - The FSSR Indicates a private hydrant and new 200mm PVC is to be installed and connect to the existing 300mm PVC watermain on Dalton Rd.
 - It is IAM's understanding that prior to final approval of the development, the FSSR shall be updated with further information demonstrating the adequacy of the existing water system to support the development, including fire flows.
- Should any changes occur to the proposed servicing strategy, a copy of the updated FSSR shall be forwarded to the Region for review and record.

Development Engineering Comments:

- Development Engineering has no objections to the proposed Zoning Bylaw Amendment Application to the existing commercial building into a two-storey retail office and Commercial building. However, the Owner shall address the following requirements through the subsequent applications in future:
- As per OP 2022, York Region is protecting 36.0 metres right-of-way for this section of Dalton Road. All property lines shall be referenced from a minimum point of 18.0 metres from the centerline of construction on Dalton Road, and any lands required for additional turn lanes at the intersections, therefore applicant has to convey lands due to the setbacks from the centreline of construction of Hwy 27 to York Region free of cost and encumbrances
- In addition, the Owner has to convey 10x10 metres daylighting areas at the northwest and south west corners from the widened limits of the property line along Dalton Road and the entrance.
- The Detailed technical comments and conditions will be provided in the future site plan stage.

Transportation Planning Comments:

- Transportation Planning has reviewed the Zoning Bylaw Amendment application along the supporting Transportation Impact Study (Paradigm, dated March 2024). Transportation Planning has no objections to the proposed Zoning Bylaw Amendment related to land use, subject to the following comments being addressed prior to approval of the ZBA. Detailed

technical comments and conditions will be provided in the future development application stages for the development proposal, as appropriate.

- The applicant shall provide a Response matrix with future submissions, which includes a brief response explanation along with identifying where in the report/figure/drawings each comment provided below is addressed.
 - The applicant shall provide an addendum with further assessment to support the proposed full-moves access. If support is not practicable, then the transportation study shall revise the access to right-in/right-out operations.
 - Provide details of the left-turn warrant analysis, including the methodology and any referenced graph used; And update the justification as needed. It appears that the warrant (graph) used may have been incorrectly based on two lane highways, which is inconsistent with the existing lane cross-section for Dalton Road. As such, the percentage of left turning traffic being less than 5% of the approaching traffic might not be appropriate justification for use of considering a left turn warrant.
 - Provide a review of the access/intersection spacing and operations with the motel/lodge access on the east side of Dalton Rd. Review the potential for conflicts or adjacent access blocking due to southbound left turn queues at the motel AND northbound left turn queues at the proposed development, including possible impacts on either development.
 - Provide details and figures, which may include photos, for the sightline analysis. This should include methodology and analysis parameters used that shall demonstrate proper sightlines with the trees/foliage north of the site, at a minimum.
 - Confirm any potential impacts between the proposed site access and the Tim Horton's driveway to the south. The Study cites the spacing between accesses as 70.0 metres apart, which appears to be notably larger than what is shown on the proposed site plan drawing. It should be noted that spacing between accesses/intersections should be measured from the end to start of the curb returns, as per the Region's Access Guidelines.

Thank you,

Maryam Ahmed, B.U.R.PL. | Planner, Development Planning | Economic and Development Services
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