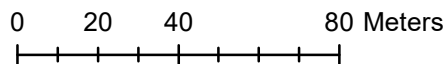




# LOCATION MAP



**SUBJECT LAND**



Name of Practice:  
JULIUS HORVATH ARCHITECT INC.  
25 Bonny Meadows Dr., Aurora, Ontario, L4G 6M9

Name of Project:  
Commercial Retail Shell Building

Location:  
253 Queensway South, Keswick, Ontario

Date: September 12, 2022

Ontario Building Code Data Matrix Part 3				Building Code Reference <sup>1</sup>		
3.00	Building Code Version:	O_Reg_332/12	Last Amendment	O_Reg_762/20		
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: Stand alone shell building			[A] 1.1.2	
3.02	Major Occupancy Classification:	Occupancy Use _____ <input checked="" type="checkbox"/> Group F - Mercantile (Shell Building)			3.1.2.1.(1)	
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____			3.2.2.7	
3.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2
		1,000	0	1,000	1,000	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	1,000	1,000	
3.07	Building Height	1 Storeys above grade	5.4 (m) Above grade			[A] 1.4.1.2 & 3.2.1.1
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.6	
3.09	Number of Streets/Firefighter access	1 street(s)				3.2.2.10. & 3.2.5

3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.6.1	Group/Div	Group E, up to 2 Storeys	3.2.2.20 - 83.																				
3.11	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> basement <input type="checkbox"/> selected floor areas <input type="checkbox"/> selected compartments <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none			3.2.1.5. & 3.2.2.17.																				
3.12	Standpipe System	<input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required			3.2.9.																				
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None			3.2.4.																				
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes																							
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.20 - 83. & 3.2.1.4.																				
3.16	Importance Category:	<input checked="" type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster			4.1.2.1.(3) & 14.1.2.1.B																				
3.17	Seismic Hazard Index:	(IE Fa Sa (0.2)) = 0 Seismic design required for Table 4.1.8.18. Items 6 to 21: ((IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			4.1.2.1.(3) & 4.1.8.18.(2)																				
3.18	Occupant Load	<table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occupant Load (Persons)</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> </tbody> </table>	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)				0				0				0				0			3.1.17.
Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)																						
			0																						
			0																						
			0																						
			0																						
3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.8.																				
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19.																				
3.21	Required Fire Resistance Ratings	Horizontal Assembly Rating (H) S Δ																							

	Floors over basement	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A																																			
	Floors	3/4	3/4	<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A																																			
	Mezzanine	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A																																			
	Roof	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A																																			
3.22	Spatial Separation	<table border="1"> <thead> <tr> <th>Wall</th> <th>EBF Area (m<sup>2</sup>)</th> <th>L.D. (m)</th> <th>LH or HL</th> <th>Required EBR (H)</th> <th>Construction Type Required</th> <th>Cladding Type Required</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>275</td> <td>18</td> <td>1-10</td> <td>1</td> <td><input type="checkbox"/> Noncombustible</td> <td><input type="checkbox"/> Noncombustible</td> </tr> <tr> <td>South</td> <td>275</td> <td>3</td> <td>1-10</td> <td>2</td> <td><input checked="" type="checkbox"/> Noncombustible</td> <td><input type="checkbox"/> Noncombustible</td> </tr> <tr> <td>East</td> <td>111</td> <td>83.5</td> <td>1-5</td> <td>1</td> <td><input type="checkbox"/> Noncombustible</td> <td><input type="checkbox"/> Noncombustible</td> </tr> <tr> <td>West</td> <td>111</td> <td>21.8</td> <td>1-5</td> <td>1</td> <td><input type="checkbox"/> Noncombustible</td> <td><input type="checkbox"/> Noncombustible</td> </tr> </tbody> </table>	Wall	EBF Area (m <sup>2</sup> )	L.D. (m)	LH or HL	Required EBR (H)	Construction Type Required	Cladding Type Required	North	275	18	1-10	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible	South	275	3	1-10	2	<input checked="" type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible	East	111	83.5	1-5	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible	West	111	21.8	1-5	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible		3.2.3.
Wall	EBF Area (m <sup>2</sup> )	L.D. (m)	LH or HL	Required EBR (H)	Construction Type Required	Cladding Type Required																																	
North	275	18	1-10	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible																																	
South	275	3	1-10	2	<input checked="" type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible																																	
East	111	83.5	1-5	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible																																	
West	111	21.8	1-5	1	<input type="checkbox"/> Noncombustible	<input type="checkbox"/> Noncombustible																																	
3.23	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 Except as noted otherwise <table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupant Load</th> <th>OBC Reference</th> <th>Fixtures Required</th> <th>Fixtures Provided</th> </tr> </thead> <tbody> <tr> <td></td> <td>0</td> <td></td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td></td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td></td> <td>0</td> <td>0</td> </tr> </tbody> </table>	Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided		0		0	0		0		0	0		0		0	0		3.7.4.															
Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided																																			
	0		0	0																																			
	0		0	0																																			
	0		0	0																																			
3.24	Energy Efficiency:	Compliance Path: Division 3 table SB 5.5-6-2017 Climatic Zone: 6		SB-10																																			
3.25	Notes:	Allowable and actual unprotected openings North wall: Allowed is 43% actual is 40% South wall: Allowed is 4% actual is 0% (rated doors) East wall Allowed is 100% actual is 0.2% West wall Allowed is 100% actual is 3%																																					

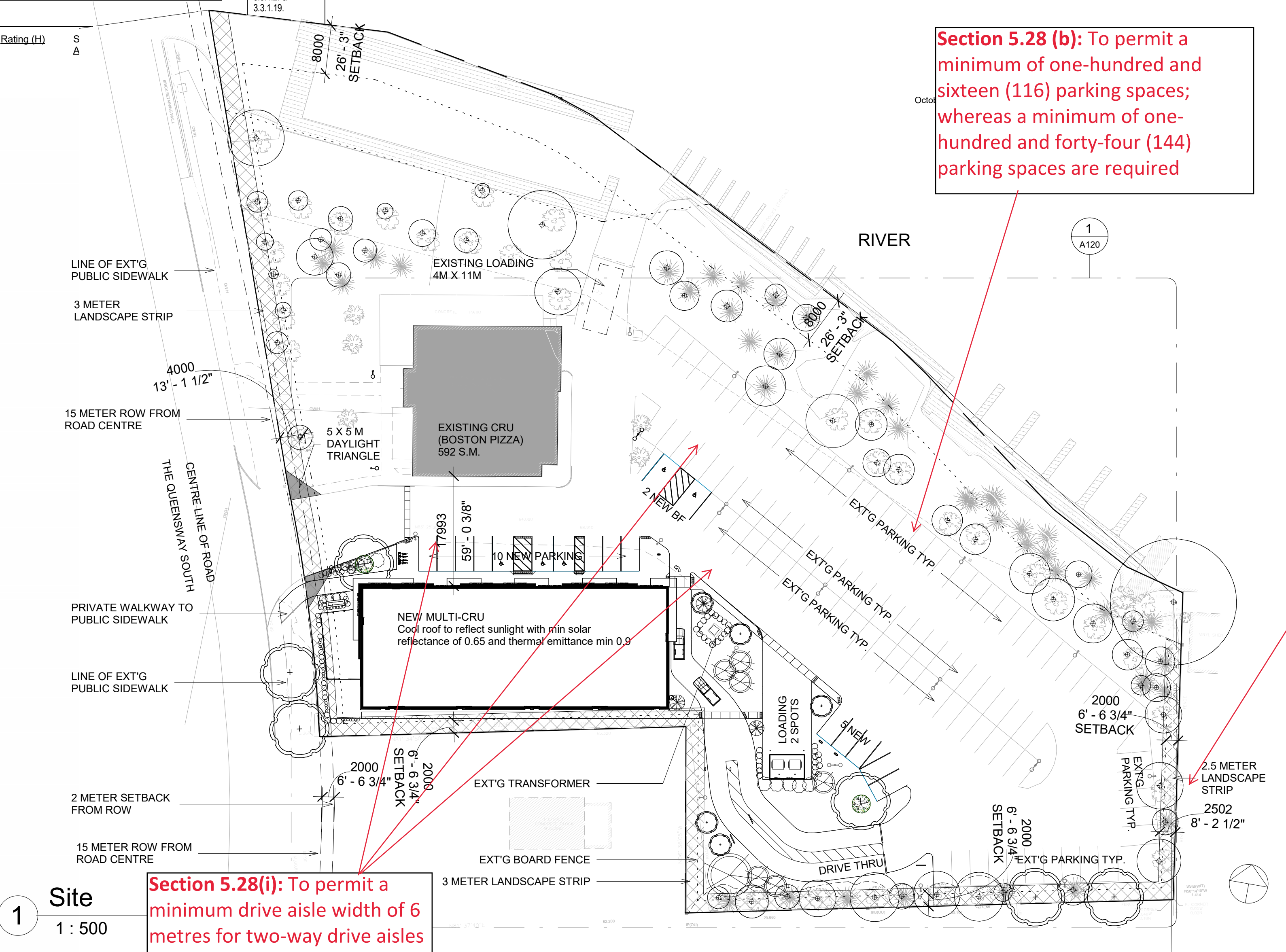
MAIN ENTRANCE  
 LANDSCAPE STRIP  
 TACTILE ATTENTION INDICATOR  
 B.F. CURB CUT  
 B.F. PARKING STALL SYMBOL  
 WASTE BIN  
 PEDESTRIAN CROSSING  
 EXT'G FIRE HYDRANT  
 TRAFFIC ARROW  
 EXISTING LIGHT POLE STANDARD (UNLESS NOTED OTHERWISE)

**SYMBOLS**  
1 : 200

SITE STATISTICS 253 Queensway South, Keswick, Ontario

Zoned C5-19 TOURIST COMMERCIAL

PROVISION / ITEM	GFA	REQUIRED UNITS	PROPOSED UNITS	COMMENTS
LOT AREA	1,400.00	S.M.	MIN. 14,122.00	S.M. EXISTING
LOT FRONTAGE	none	M	MIN. 122.1	M EXISTING
FSI (FLOOR SPACE INDEX) FOR LOT COVERAGE	n/a	MAX.	0.07	
LOT COVERAGE BASED OFF LOT AREA		MAX.	31%	
BUILDING GFA NEW BUILDING		S.M. MAX.	984.00	S.M. NEW
BUILDING GFA EXISTING BUILDING (BOSTON PIZZA) as per building permit drawings		S.M. MAX.	592.00	S.M.
TOTAL BUILDING GFA BOTH BUILDINGS	4,942.70	S.M. MAX.	1,576.00	S.M. TOTAL
EXISTING BACK OF HOUSE PORTION (BOSTON PIZZA) as per building permit drawings		S.M.	90.00	WALK IN COOLERS / FREEZERS, WASHROOMS, MECH/ELEC
EXISTING RESTAURANT PATIO AREA as per building permit drawings		S.M.	162.76	
<b>GROSS FLOOR AREA NEW BUILDING (TO OUTSIDE WALL FACES &amp; CENTRE OF DEMISING WALLS)</b>		S.M. MAX.	S.M.	
Unit 1 (Restaurant)		n/a S.M. MAX.	214 S.M.	
Unit 2 (Non-Restaurant)		n/a S.M. MAX.	216 S.M.	
Unit 3 (Non-Restaurant)		n/a S.M. MAX.	110 S.M.	
Unit 4 (Non-Restaurant)		n/a S.M. MAX.	110 S.M.	
Unit 5 (Non-Restaurant)		n/a S.M. MAX.	124 S.M.	
Unit 6 (Restaurant)		n/a S.M. MAX.	210 S.M.	
MECH ROOM		n/a S.M. MAX.	75 S.M.	Excluded from GFA per zoning by-law definitions
<b>TOTAL GFA</b>		n/a S.M. MAX.	984 S.M.	
Unit 1 (Restaurant) Patio		S.M. MAX.	67 S.M.	
Percentage of GFA for Restaurant Use			49.9%	
Unit 1 (Restaurant and Patio) and Unit 6 (Restaurant)			491 S.M.	Less than 50% of GFA of building
<b>PARKING</b>				
EXISTING BOSTON PIZZA				
NUMBER OF STALLS BASED ON 10 / 95 SM RESTAURANT USE	502.00	S.M.	53 #	MIN. 43 #
OUTDOOR DINING / PATIO 6 PER 95 SM OF PATIO FLOOR AREA	162.76	S.M.	10 #	MIN. 10 #
<b>TOTAL</b>			63 #	MIN. 56 #
<b>NEW BUILDING</b>				
Unit 1 (Restaurant) BASED ON 5.5 STALLS / 95 SM	214 S.M.		12 #	MIN. 12 #
Unit 1 (Restaurant) OUTDOOR DINING / PATIO BASED ON 6 PER 95 SM OF PATIO FLOOR AREA	67 S.M.		4 #	MIN. 4 #
Unit 2 (Non-Restaurant) BASED ON 5.5 STALLS / 95 SM	216 S.M.		13 #	MIN. 13 #
Unit 3 (Non-Restaurant) BASED ON 5.5 STALLS / 95 SM	110 S.M.		6 #	MIN. 6 #
Unit 4 (Non-Restaurant) BASED ON 5.5 STALLS / 95 SM	110 S.M.		6 #	MIN. 6 #
Unit 5 (Non-Restaurant) BASED ON 5.5 STALLS / 95 SM	124 S.M.		7 #	MIN. 7 #
Unit 6 (Restaurant) BASED ON 5.5 STALLS / 95 SM	210 S.M.		12 #	MIN. 12 #
<b>TOTAL</b>			60 #	MIN. 60 #
<b>EXISTING AND NEW PARKING GRAND TOTALS</b>			123 #	MIN. 116 #
<b>BARRIER FREE PARKING STALLS REQUIRED FOR ENTIRE SITE (INCLUDED IN ABOVE GRAND TOTAL)</b>			5 #	MIN. 5 #
PER SCHEDULE A OF BY-LAW 3% OF TOTAL				
NUMBER OF STALLS LOADING GFA BETWEEN 550 AND 2,300 SM			3 #	MIN. 3 #
PER 5.25 QTY AND SIZE 4 X 11 METERS				
DRIVE AISLE WIDTHS			7 M	MIN. 6 M
PER 5.28 (i) - MATCHES EXISTING WIDTHS PER SURVEY				
<b>SETBACKS</b>				
FRONT YARD	4 M	MIN.	6.8 M	Section 18 note 12, however CR-19 notes 4M however York Region has a 30M ROW with 15M centreline of road
REAR YARD	8 M	MIN.	54.4 M	
SIDE YARD - EXTERIOR	12 M	MIN.	na	
SIDE YARD - INTERIOR	2 M	MIN.	3 M	Section 18 note 8, however CR-19 notes 2
LANDSCAPE STRIP	3 M	MIN.	2.5 M	PER SECTION 5.31
BUILDING HEIGHT	11 M	MAX.	5.4 M	TO UNDERSIDE ROOF (7.6 TO TOP OF HIGH PARAPET)



**JULIUS HORVATH ARCHITECT**  
 25 Bonny Meadows Dr., Aurora, Ontario, ON, L4G 6M9  
 C: 289-380-0407  
 E: julius@jhorvatharchitect.com  
 www.jhorvatharchitect.com

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No.	Description	Date
1	CLIENT REVIEW	2022-07-14
4	SPA SUBMISSION	2022-09-16
6	SPA RE-SUBMISSION	2023-11-14
7	SPA RE-SUBMISSION	2024-03-12
8	SPA RE-SUBMISSION	2024-05-05
9	SPA / VARIANCE RE-SUBMISSION	2024-07-08

No.	Description	Date
1	CLIENT REVIEW	2022-07-14
4	SPA SUBMISSION	2022-09-16
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7	SPA RE-SUBMISSION	2024-03-12
8	SPA RE-SUBMISSION	2024-05-05
9	SPA / VARIANCE RE-SUBMISSION	2024-07-08

Section 5.31 (a): To permit a minimum planting strip width of 2.5 metres along the rear lot line abutting properties zoned Residential; whereas a minimum planting strip width of 3.0 metres is required

Beswick Group of Companies  
 253 Queensway South, Keswick, Ontario  
 Commercial Shell Building

**SITE PLAN**

Project number: 202205  
 Date: APRIL 24, 2022  
 Drawn by: JHA INC  
 Checked by: JHA INC

**A110**  
 Scale: As indicated







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No.	Description	Date
1	CLIENT REVIEW	2022-07-14
4	SPA SUBMISSION	2022-09-16
5	Square Area Added	2023-03-09
6	SPA RE-SUBMISSION	2023-11-14
7	SPA RE-SUBMISSION	2024-03-12
8	SPA RE-SUBMISSION	2024-05-05
9	SPA / VARIANCE RE-SUBMISSION	2024-07-08

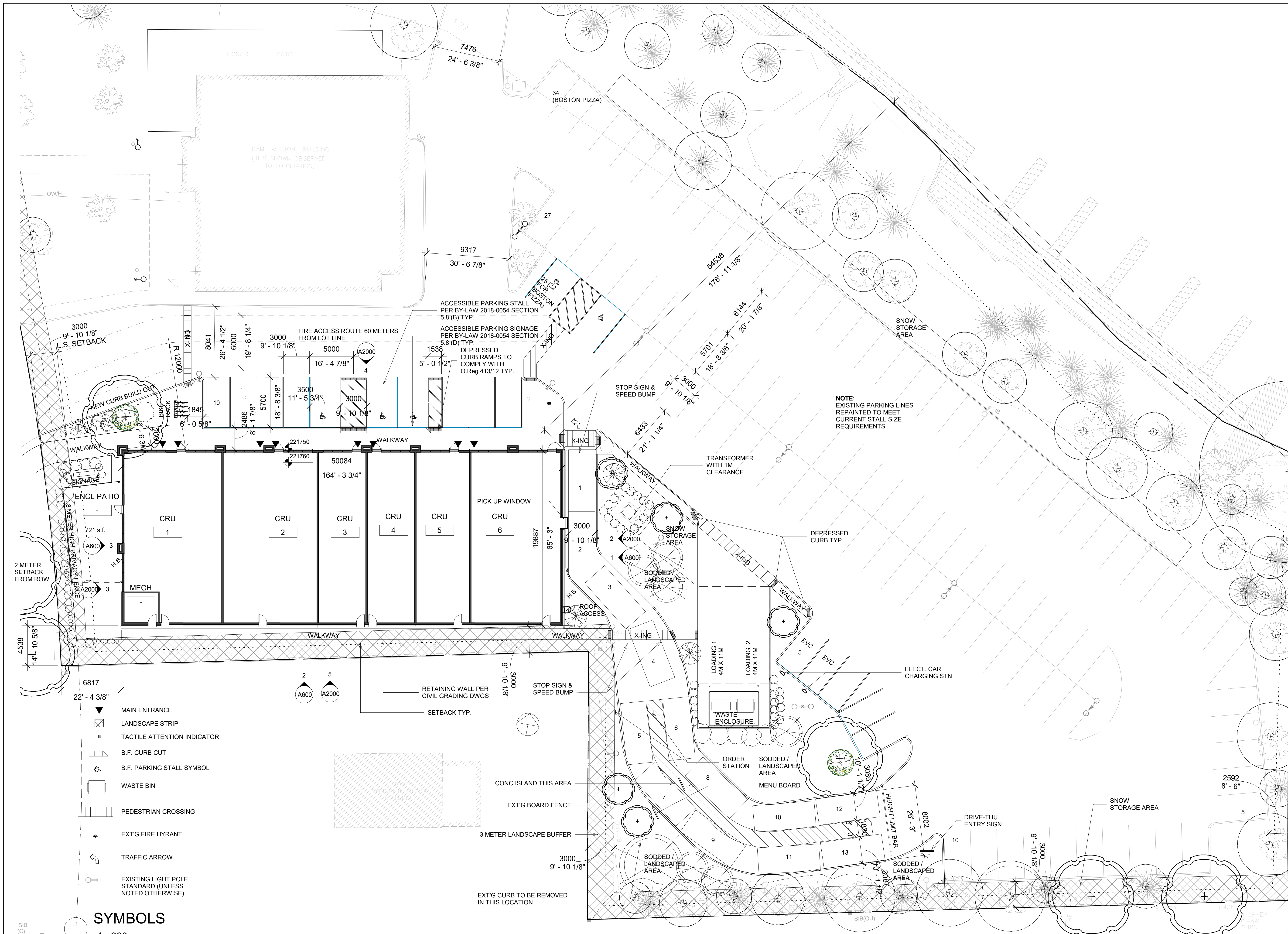
Beswick Group of Companies  
 253 Queensway South,  
 Keswick, Ontario  
 Commercial Shell Building

**SITE PLAN  
 ENLARGED**

Project number 202205  
 Date APRIL 24, 2022  
 Drawn by JHA INC  
 Checked by JHA INC

**A120**  
 Scale 1 : 200

Attachment 2  
 A18-24 (253 & 253B TQS)  
 Page 4 of 7



**SYMBOLS**  
 1 : 200

2024-07-17 12:57:03 PM



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4	SPA SUBMISSION	2022-09-16
7	SPA RE-SUBMISSION	2024-03-12
8	SPA RE-SUBMISSION	2024-05-05
9	SPA / VARIANCE RE-SUBMISSION	2024-07-08

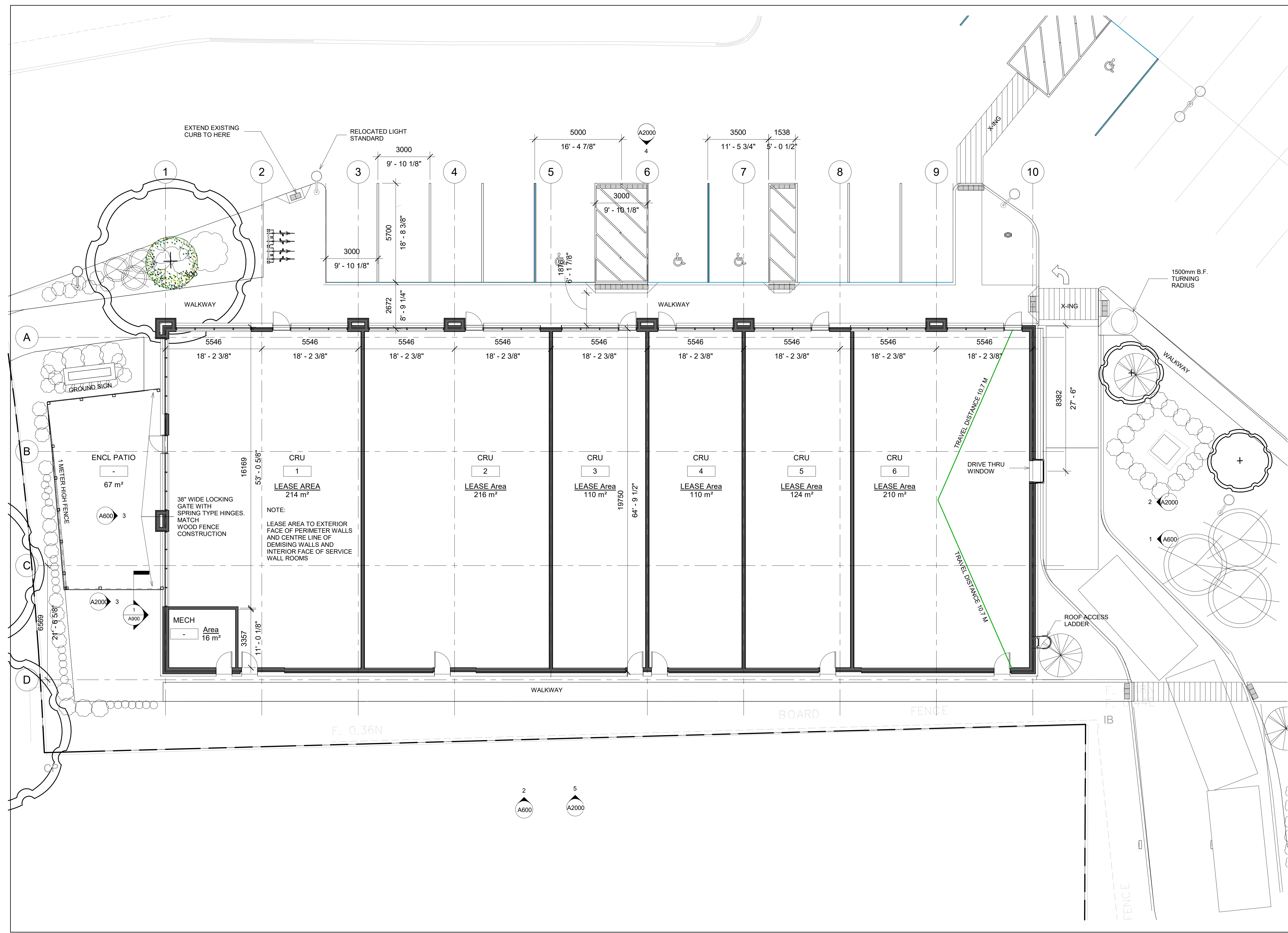
Beswick Group of Companies  
 253 Queensway South,  
 Keswick, Ontario  
 Commercial Shell Building

**FLOOR PLAN  
 GROUND**

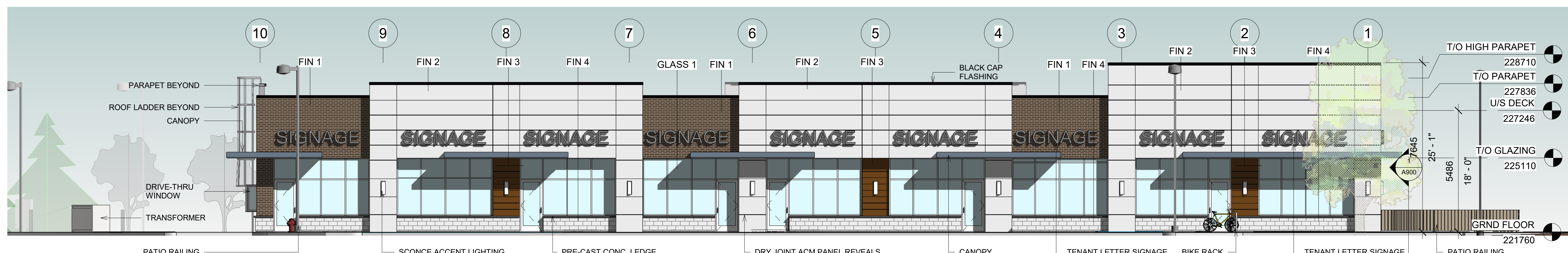
Project number	202205
Date	APRIL 24, 2022
Drawn by	JHA INC
Checked by	JHA INC

**A210**

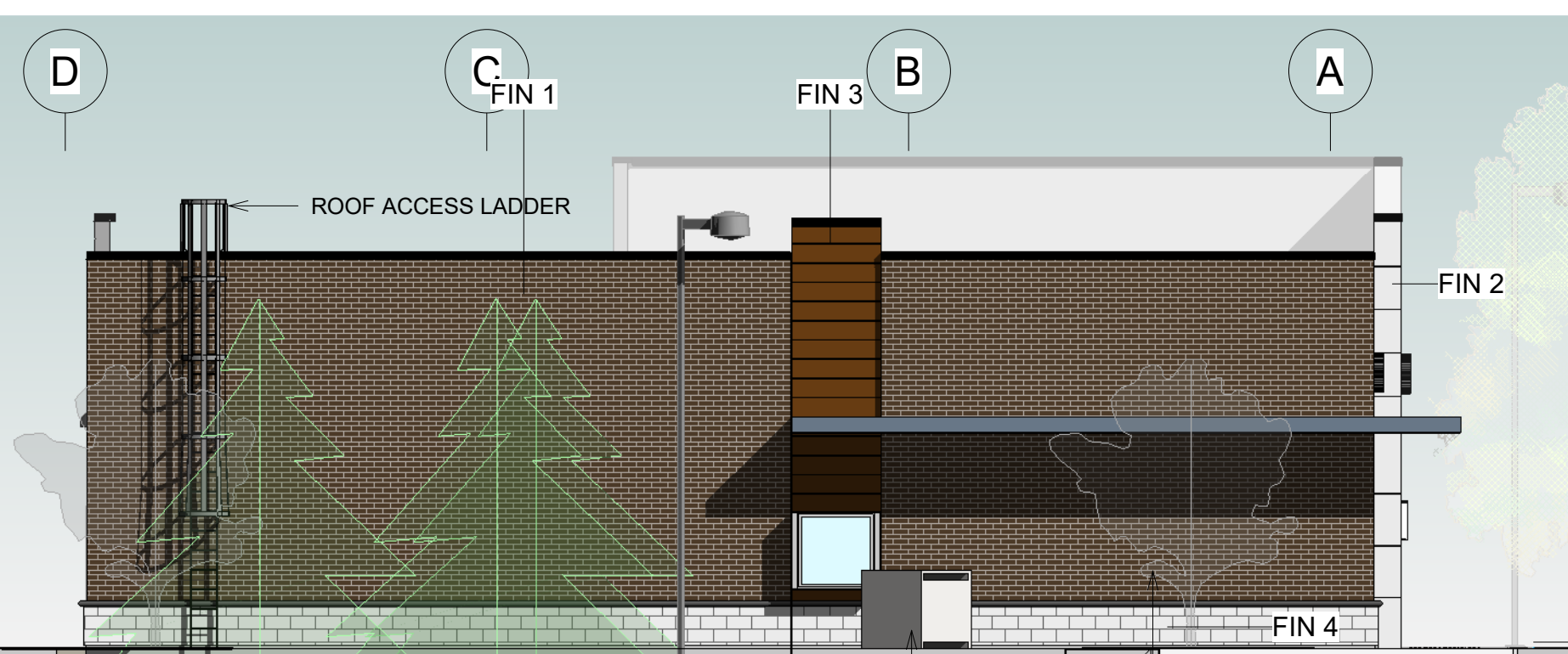
Attachment 2  
 A18-24 (253 & 253B TQS)  
 Page 5 of 7



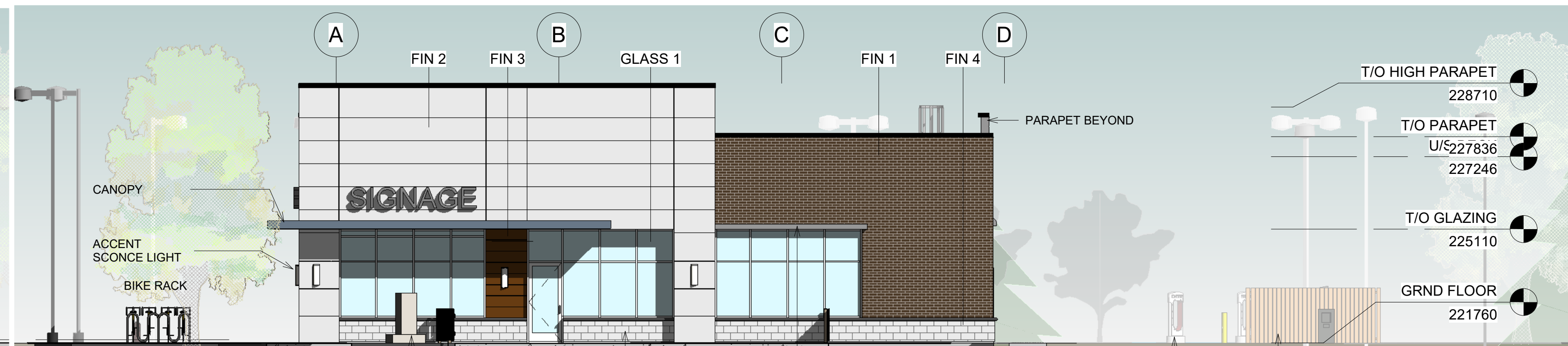
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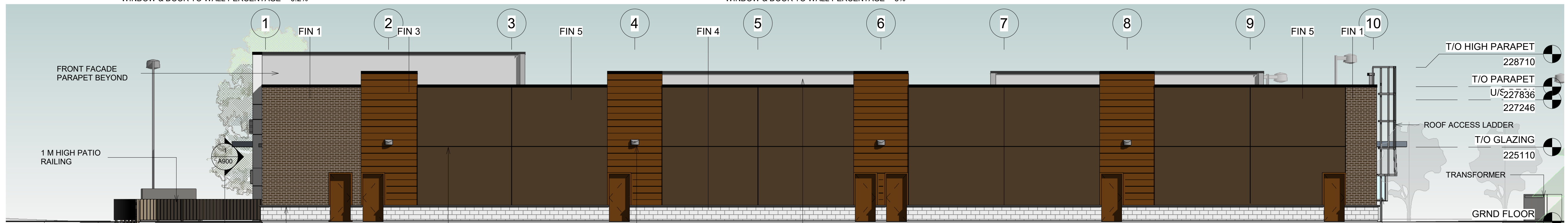
**4 NORTH.**  
 1 : 100  
 GROSS WALL AREA (TO U/S ROOF) 275 SM  
 GROSS WINDOW AND DOOR AREA 108 SM  
 WINDOW & DOOR TO WALL PERCENTAGE 40%



**1 EAST.**  
 1 : 100  
 GROSS WALL AREA (TO U/S ROOF) 111 SM  
 GROSS WINDOW AND DOOR AREA 2 SM  
 WINDOW & DOOR TO WALL PERCENTAGE 0.2%

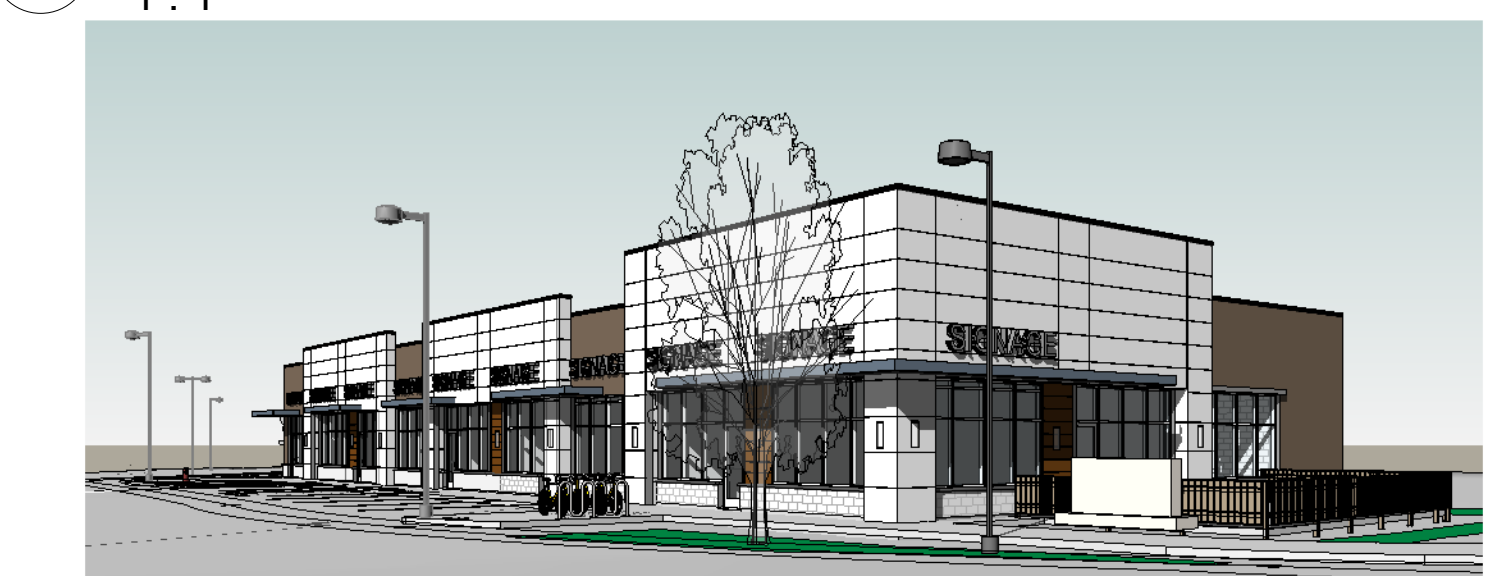


**3 WEST**  
 1 : 100  
 GROSS WALL AREA (TO U/S ROOF) 111 SM  
 GROSS WINDOW AND DOOR AREA 35 SM  
 WINDOW & DOOR TO WALL PERCENTAGE 3%



**2 SOUTH**  
 1 : 100  
 GROSS WALL AREA (TO U/S ROOF) 275 SM  
 GROSS WINDOW AND DOOR AREA 21 SM  
 WINDOW & DOOR TO WALL PERCENTAGE 8%

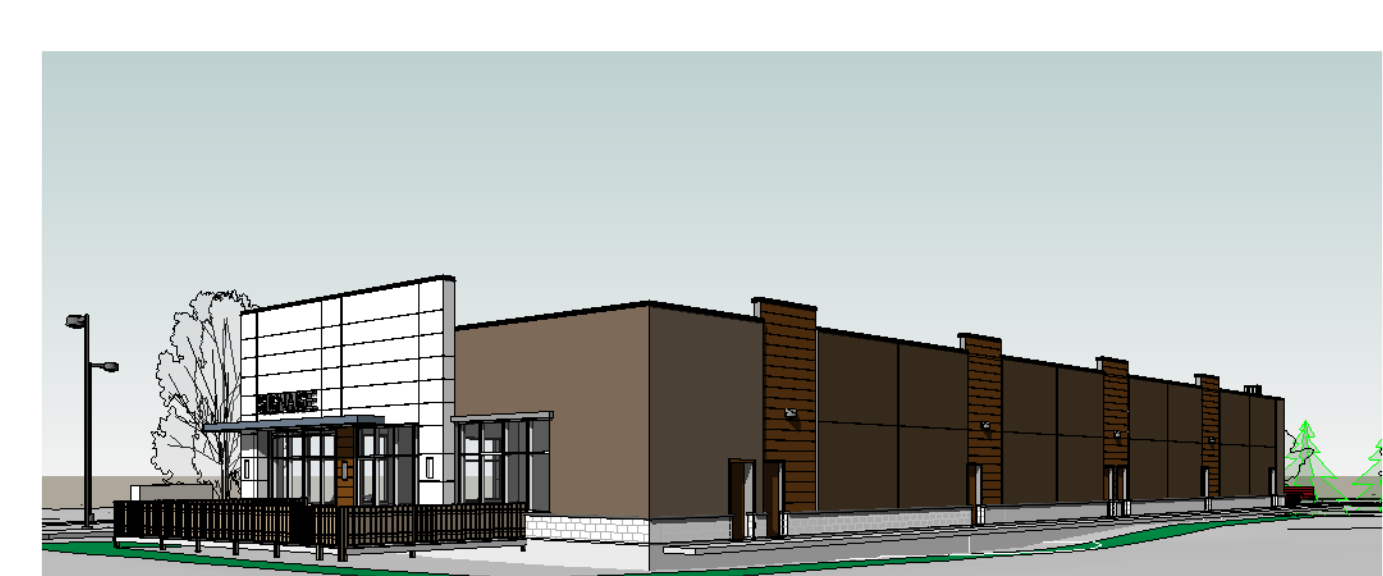
- MATERIALS**  
 1 : 1
- FIN 1 - COMMON BRICK**  
 MANUF. - BRAMPTON BRICK  
 TYPE - CLAY, CONTEMPORARY SERIES  
 SIZE - Metric Norman - 57 x 290 x 90  
 COLOUR - BISTRO OR EXPRESSO (BROWN COLOUR CLASS)
  - FIN 2 - ACM (ALUM. COMPOSITE METAL) PANEL**  
 MANUF. - VIC WEST  
 TYPE - ACM SYSTEM 3, 4mm CORE  
 COLOUR - BONE OR IMPERIAL WHITE
  - FIN 3 - ACM (ALUM. COMPOSITE METAL) PANEL**  
 MANUF. - VIC WEST  
 TYPE - ACM SYSTEM 3, 4mm CORE  
 COLOUR - COCOA OR DARK BROWN
  - FIN 4 - FINISHES CONC BLOCK**  
 MANUF. - BRAMPTON BRICK  
 TYPE - STONE, FINISS SERIES  
 SIZE - 290 X 590 X 90  
 COLOUR - TAN, CREAM OR WHITE SMOOTH FINISH
  - FIN 5 - EIFS (EXTERIOR INSULATED FINISH SYSTEM)**  
 MANUF. - DUROCK  
 TYPE - PUCCS SYSTEM FOR COMMERCIAL USE,  
 FINE / PEBBLE OR SPACCO COAT TEXTURE  
 COLOUR - MATCH BRICK
  - PRE-CAST CONCRETE SILLS**  
 MANUF. - EDS CONCRETE PRODUCTS  
 TYPE - SB02 - BULL NOSE FRONT  
 SIZE - 89H X 152D X 1524 TO 1981 LONG  
 COLOUR - PRECAST GREY SMOOTH
  - INSULATED GLASS UNITS**  
 MANUF. - VITRO ARCHITECTURAL GLASS  
 TYPE - SOLARBAN 70 SOLAR CONTROL  
 LOW E GLASS  
 COLOUR - TRANSPARENT, NEUTRAL



**5 3D View From Street**



**6 3D View Front w/ drive thru**



**7 3D View Rear from street**



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No.	Description	Date
2	CLIENT REVIEW	2022-08-16
3	CLIENT REVIEW - MATERIAL SPECS	2022-08-23
4	SPA SUBMISSION	2022-09-16
7	SPA RE-SUBMISSION	2024-03-12
8	SPA RE-SUBMISSION	2024-05-05
9	SPA / VARIANCE RE-SUBMISSION	2024-07-08

Beswick Group of Companies  
 253 Queensway South,  
 Keswick, Ontario  
 Commercial Shell Building

**ELEVATIONS  
 EXTERIOR**

Project number 202205  
 Date APRIL 24, 2022  
 Drawn by JHA INC  
 Checked by JHA INC

**A600**  
 Scale As indicated





# Site Photos

253 The Queensway S  
Facing East



253 The Queensway S  
Facing West



253 The Queensway S  
Facing North



253 The Queensway S  
Facing West



443 The Queensway S  
Facing South



253 The Queensway S  
Facing East





Sent via e-mail: [msadler@georgina.ca](mailto:msadler@georgina.ca)

October 3, 2024

**Municipal File No.: A18-24**  
**LSRCA File No.: VA-192469-100224**

**Monika Sadler**  
**Planner I**  
**Development Services Department**  
**26557 Civic Centre Road**  
**Keswick, ON L4P 3G1**

Dear Ms. Sadler,

**Re: Application for Minor Variance**  
**253 & 253B The Queensway South**  
**Town of Georgina**  
**Owner: 2186015 Ontario Inc.**  
**Applicant: Alexander Planning Inc. (c/o Deborah Alexander)**

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Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to construct a multi-unit commercial development. The Applicant/Owner is seeking relief from the following section of the Town of Georgina Zoning By-law No. 500, as amended:

- **Section 5.28 (b)** of the By-law which requires a minimum of 144 parking spaces, whereas the proposal is requesting a minimum of 116 parking spaces;
- **Section 5.28 (i)** of the By-law which requires a minimum drive aisle width of 7 metres, whereas the proposal is requesting a minimum width of 6 metres;
- **Section 5.31 (a)** of the By-law which requires a minimum planting strip width of 3 metres, whereas the proposal is requesting a minimum planting strip width of 2.5 metres.

**Documents Received and Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- Notice of Hearing, Agency Circulation (dated September 27, 2024)
- Architectural Drawing Set prepared by Julius Horvath Architect Inc. (dated April 24, 2022, revised July 8, 2024)

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation*

*Authorities Act.* LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

**Recommendation**

Based on our review of the submitted information in support of the application, the proposal is generally consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

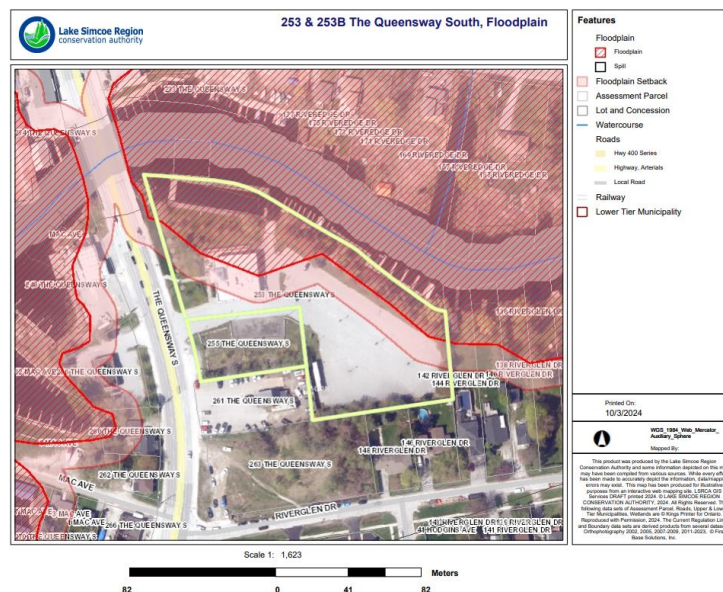
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536;
- That the Applicant/Owner successfully obtain a permit from the LSRCA.

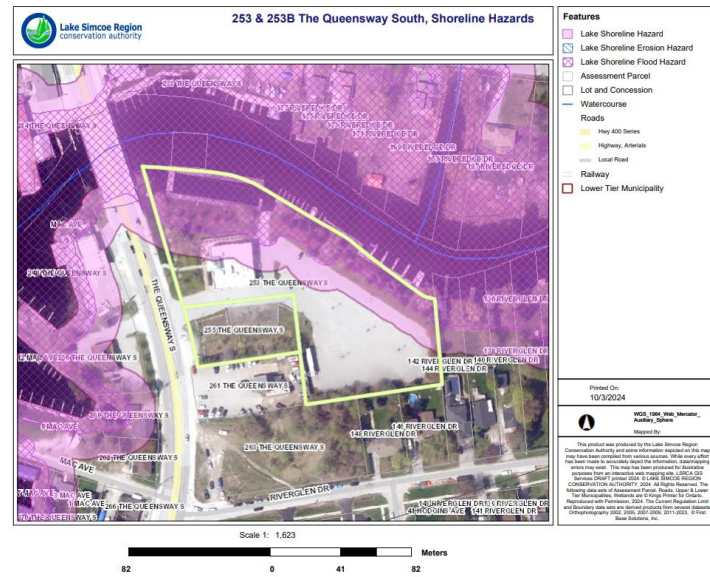
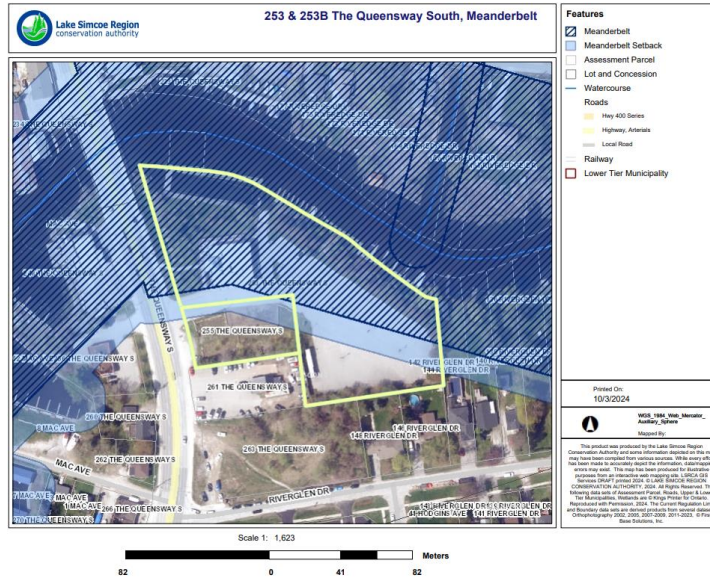
**Site Characteristics**

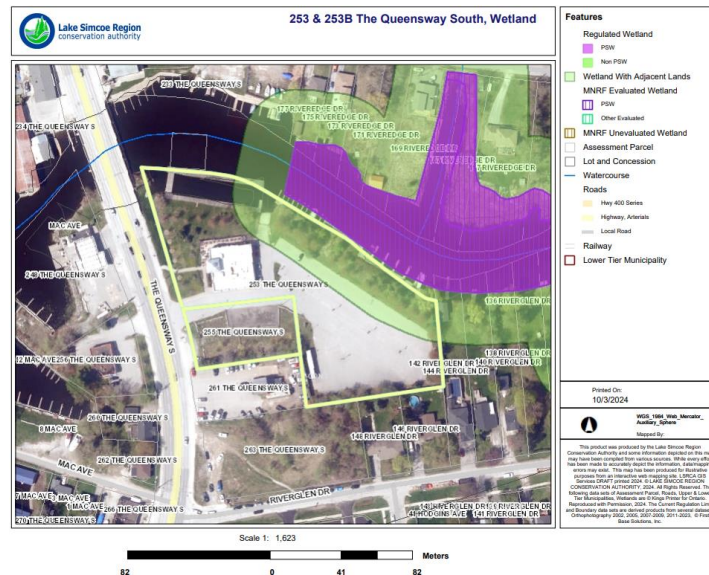
The subject land is approximately 1.41 hectares (3.49 acres) in area and is located east of The Queensway South and north of Riverglen Drive within the Town of Georgina. The subject land is currently zoned ‘Tourist Commercial (C5-19)’ per the Town of Georgina Zoning By-law No. 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is regulated by the LSRCA under Ontario Regulation 41/24. Please see a detailed regulatory map below. This is representative of:
  - Riverine flooding and erosion (meanderbelt) hazards associated with Maskinonge River
  - Shoreline flooding and erosion hazards
  - Provincially Significant Wetland (PSW) and the associated 30 metre adjacent lands
- The subject property is within the Protected Countryside designation per the Greenbelt Plan.







**Delegated Responsibility and Statutory Comments**

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS). There are identified natural hazards on the subject lands (floodplain, erosion hazard area). Based on the information submitted as part of this application, the proposal is located outside of the hazardous lands and is therefore consistent with 3.1 of the PPS.
2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to the subject property. It appears that the proposed development will be within the regulated area, therefore a permit from the LSRCA will be required prior to any development or site alteration taking place.

**Advisory Comments**

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

**Summary**

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 3.1 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to the subject site. A permit from the LSRCA will be required prior to any development or site alteration taking place;
3. That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned ([j.lim@lsrca.on.ca](mailto:j.lim@lsrca.on.ca)).

Sincerely,

A handwritten signature in blue ink that reads "J. Lim." The signature is written in a cursive style and is positioned above the typed name.

Jessica Lim  
Planner I  
Lake Simcoe Region Conservation Authority (LSRCA)



July 18, 2024

Project Number: J228001

Aaron Clodd  
Real Estate Development Manager

KB Developments Inc.  
16188 Bathurst Street  
King City, ON L7B 1K5

**RE: Parking Justification for 253 The Queensway South  
Keswick, Georgina**

## 1. INTRODUCTION

Safe Roads Engineering Inc. (SRE) was retained by KB Developments Inc. (the "Owner") to undertake a parking justification for 253 The Queensway South. The site is currently occupied by a Boston Pizza (502 m<sup>2</sup>) with patio (162.76 m<sup>2</sup>) and 63-slip marina with boat launch and has a total of 145 parking spaces. The proposal is to construct a 984 m<sup>2</sup> multi-tenant commercial building and the removal of the marina and boat launch. The proposed site plan is provided in **Figure 1**.

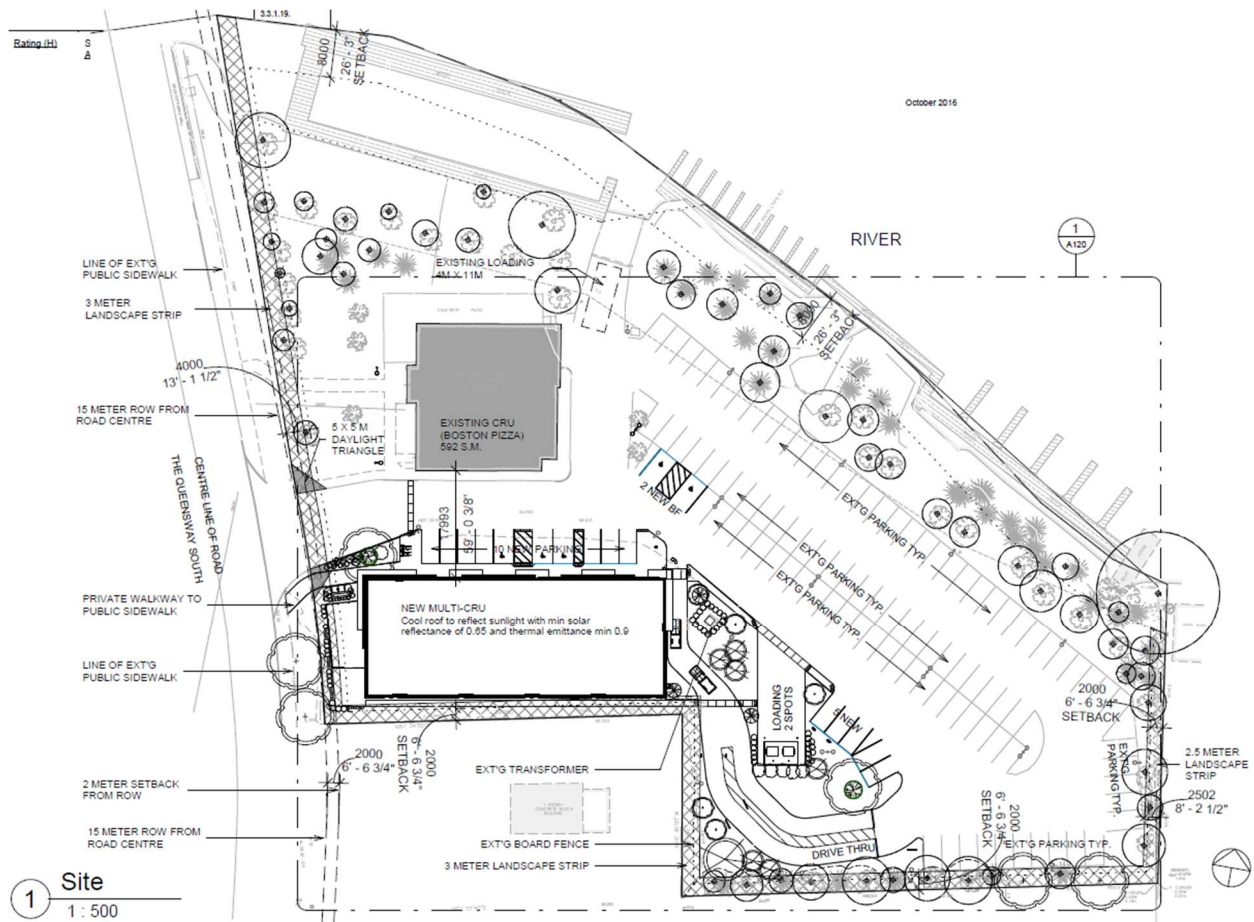


Figure 1 Site Plan

## 2. BY-LAW REQUIREMENT

### 2.1 EXISTING PARKING REQUIREMENT

The parking requirements for the existing site based on the by-law are provided in **Table 1**.

Table 1 Existing Site Parking By-Law Requirement

Use	Size	Parking By-Law Rate	Parking Requirement
Restaurant (Boston Pizza)	502 m <sup>2</sup>	10 spaces / 95 m <sup>2</sup>	53 spaces
Outdoor Patio (Boston Pizza)	162.76 m <sup>2</sup>	6 spaces / 95 m <sup>2</sup>	10 spaces
Marina	63 slips	1 spaces / slip	63 spaces
<b>Total</b>			<b>126 spaces</b>

Based on the existing conditions of the site and the by-law, the site requires a total of 126 parking spaces.

### 2.2 PROPOSED PARKING REQUIREMENT

The parking requirement for the proposed site plan based on the by-law is provided in **Table 2**.

Table 2 Proposed Site Plan Parking By-Law Requirement

Building	Use	Size	Parking By-Law Rate	Parking Requirement
Ex	Restaurant (Boston Pizza)	502 m <sup>2</sup>	10 spaces / 95 m <sup>2</sup>	53 spaces
Ex.	Outdoor Patio (Boston Pizza)	162.76 m <sup>2</sup>	6 spaces / 95 m <sup>2</sup>	10 spaces
Unit 1	Restaurant	214 m <sup>2</sup>	10 spaces / 95 m <sup>2</sup>	23 spaces
Unit 1	Outdoor Patio	67 m <sup>2</sup>	6 spaces / 95 m <sup>2</sup>	4 spaces
Unit 2	Non-Restaurant	216 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	13 spaces
Unit 3	Non-Restaurant	110 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	6 spaces
Unit 4	Non-Restaurant	110 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	6 spaces
Unit 5	Non-Restaurant	124 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	7 spaces
Unit 6	Restaurant	210 m <sup>2</sup>	10 spaces / 95 m <sup>2</sup>	22 spaces
<b>Total</b>				<b>144 spaces</b>

Based on the existing by-law, the proposed site plan requires a total of 144 parking spaces.

## 3. PARKING SURVEY

Parking utilization studies were conducted on Thursday May 30, Friday May 31, and Saturday June 1 at the site from 11:00 AM – 8:00 PM to confirm the parking requirements of the site. At the time of the surveys, the patio at the Boston Pizza was open and being used, while the marina was not in operation. The results of the analysis are provided in **Table 3**.

Table 3 Parking Usage at 253 The Queensway South

Time	Thursday May 30, 2024	Friday May 31, 2024	Saturday June 1, 2024
11:00	4	5	5
11:30	4	7	10
12:00	5	8	10
12:30	6	10	12
13:00	6	7	30
13:30	6	11	33
14:00	5	8	37
14:30	6	9	31
15:00	8	11	36
15:30	5	14	30
16:00	7	12	29
16:30	7	13	25
17:00	13	15	31
17:30	19	22	27
18:00	29	30	32
18:30	41	38	29
19:00	42	41	40
19:30	39	40	41
<b>20:00</b>	<b>36</b>	<b>30</b>	<b>45</b>

The maximum parking usage of 45 parking spaces was observed at 8:00 PM on Saturday June 1, 2024, which was observed to be increasing from 29 vehicles at 6:30 PM to 40 vehicles at 7:00 PM and then further increase to 45 vehicles at 8:00 PM. Since this maximum occurred at 8:00 PM on a Saturday evening, SRE is confident that the observed maximum of 45 parking spaces is sufficient for the existing on-site restaurant and patio uses representing a blended parking rate of 6.43 spaces / 95 m<sup>2</sup>.

#### 4. PROPOSED PARKING RATES

Based on the parking surveys and the existing by-law, the following parking rates are recommended for the site are provided in **Table 4**.

Table 4 Proposed Parking Requirements

Building	Use	Size	Parking By-Law Rate	Parking Requirement
Ex	Restaurant and Outdoor Patio (Boston Pizza)	664.76 m <sup>2</sup>	6.43 spaces / 95 m <sup>2</sup>	45 spaces
Unit 1	Restaurant	214 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	12 spaces
Unit 1	Outdoor Patio	67 m <sup>2</sup>	6 spaces / 95 m <sup>2</sup>	4 spaces
Unit 2	Non-Restaurant	216 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	13 spaces
Unit 3	Non-Restaurant	110 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	6 spaces
Unit 4	Non-Restaurant	110 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	6 spaces
Unit 5	Non-Restaurant	124 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	7 spaces
Unit 6	Restaurant	210 m <sup>2</sup>	5.5 spaces / 95 m <sup>2</sup>	12 spaces
<b>Total</b>				<b>105 spaces</b>

Based on the parking surveys, a parking supply of 105 parking spaces will be sufficient for the site.

## 5. CONCLUSIONS & RECOMMENDATIONS

Based on our review of the site, our conclusions and recommendations are as follows:

- ◆ The existing site is occupied by a 502 m<sup>2</sup> restaurant use (Boston Pizza) with 162.76 m<sup>2</sup> outdoor patio and a 63-slip marina and boat launch that is not in operation;
- ◆ The existing site requires a total of 126 parking spaces;
- ◆ The proposal is to close the marina and construct a 984 m<sup>2</sup> multi-tenant commercial building;
- ◆ The proposed development will require a total of 144 parking spaces based on the by-law;
- ◆ Parking surveys were conducted on Thursday May 30, 2024, Friday May 31, 2024 and Saturday June 1, 2024 and recorded a maximum of 45 parking spaces at 8:00 pm resulting in a blended parking rate of 6.43 spaces / 95 m<sup>2</sup> for the restaurant and outdoor patio uses;
- ◆ Based on the surveyed parking rates for the existing restaurant and outdoor patio uses, the proposed development will require a total of 105 parking spaces to service the future site.
- ◆ The total parking proposed for the site of 116 spaces as per the stie plan exceeds the recommended amount of 105 spaces required.

We trust that this letter is to your satisfaction, and should you have any questions please do not hesitate to contact the undersigned.

Yours truly,

Safe Roads Engineering

Joseph E. Gowrie, P.Eng.  
Manager of Transportation & Planning  
Mobile: 905-717-5632  
Email: jgowrie@saferoadseng.com

## Committee of adjustment application A18-24

Wednesday, October 16, 2024 1:12 PM

- Taking away parking spaces, yet increasing retail spaces and adding a drive thru (sec 5.28b)
- Reducing the planting strip from 3 metres to 2.5 metres, which will cut through existing trees and landscaping that were planted 15 years ago as part of the Boston Pizza planning as a buffer for noise. The existing trees and shrubbery have been neglected with the existing landscaping and have grown over the fences on several of the abutting residences. With looking at reducing this planting strip and increasing traffic with a drive through close to the existing fence we need to maintain the 3 metre buffer planting strip (sec 5.31a)
- State of disrepair of northern section of fencing along the parking lot approaching the water in the flood plain, and lack of overall maintenance
- Concerns of increased traffic with a drive thru and exhaust emissions and noise as well as increase in garbage from the buildings especially the drive thru. Garbage trucks coming in early morning hours(which is currently happening at Boston Pizza) and the associated noise with them closer to residential homes
- Concerns over lighting especially the drive thru, what kind of lighting, how tall and noise coming from the signage, as well as brightness
- What type of drive thru and hours of its operation
- Reducing the minimum drive aisle will cause trouble for boats and trailers using the parking lot for boat launching as well as taking up more parking spaces. As well as semi trailers entering the parking lot and backing into the loading docks (sec 5.28i)
- Extra traffic coming in and out of the parking lot and drive thru, onto The Queensway and possibly down Riverglen to get to Woodbine. It is already difficult turning onto The Queensway from Riverglen

# Committee of Adjustment Application A18-24

## Residential Concerns and Disputes

### Increased Traffic Concerns

- Increased traffic in the parking lot that our house backs on to. Increased traffic means vehicle exhaust fumes from idling traffic in the drive thru at all hours of the day and night.
- Increased noise from the drive thru and garbage trucks coming early in the morning.
- The Queensway already a very busy street, increased traffic turning left will pose a hazard to both cars turning out as well and coming on the street. High risk of accidents.
- Should a traffic light be installed, cars will be backed up blocking Riverglen Drive while waiting for the light to turn. Blocking cars turning off Riverglen.
- Noise and exhaust fumes from large trucks entering the parking lot, to service businesses and restaurant.
- Large trucks turning or backing up in the parking lot increases risk of accidents.
- Large trucks leaving the parking lot turning onto Riverglen is a hazard to oncoming traffic.
- Section 5.28(b) Lack of parking spaces for additional businesses, restaurant and existing Boston Pizza. Reducing below the minimum required of 123 spaces.
- Section 5.28(i) Reducing the size to the entrance drive aisle to allow for 90-degree parking spaces from minimum width of 7 metres to 6 metres increases the risk of collision for incoming and leaving vehicles.

### Drive Thru Concerns

- Undisclosed what type of restaurant will be there. Hours of operation for the drive thru.
- Residential houses directly behind the existing parking lot has bedroom windows facing the parking lot. Noise, exhaust fumes and head lights from the drive thru will be disturbing the residents at night.
- Daytime noise & fumes during summer months when residents are trying to enjoy their backyard.
- Business lighting will give off bright lights throughout the night shining into residents' houses.
- More food garbage in dumpsters will increase rodents, sea gulls and racoons now will also be in neighbouring backyards.

### Fence and Planting Strip

- Section 5.31(a) To reduce from minimum width of 3 metres to 2.5 metres reduces the existing noise buffer initially agreed upon with Boston Pizza.
- Existing fence has been neglected by Boston Pizza owners; it is in the state of disarray.
- Trees planted have been neglected, no maintenance is done by the owners, it is overgrown and a total mess. Reducing the size will make it worse.
- Weeds, roots and trees have grown over and under the existing fence into residents' backyards.
- The fence has not been maintained as promised by Boston Pizza owners, with increased business traffic it needs to be replaced. Holes in the fence in places, meaning the plaza customers will be able to see in residential backyards. Breach of privacy.