

SUBJECT: Extension of Existing Roads or Upgrading Unassumed Roads		AUTHORITY: Municipal Act		
DEPARTMENT: Engineering and Public Works		PAGES: 2	DAY MONTH YEAR 19 01 99	
APPROVED BY: Director of Engineering and Public Works		REV	09 03 04	
		CONTACT POSITION FOR INFO: Director of Engineering and Public Works		

Policy Statement:

That unopened portions of existing Town-owned road allowances may be opened and assumed and unassumed roads may be upgraded and assumed upon the following conditions:

1. The property owner seeking the road extension or improvement shall have the extension designed by a professional engineer experienced in road building at the owner's cost, for approval by the Town Engineer.
2. The owner shall hire a qualified contractor to perform the road building operation at its costs and the owner's engineer shall be responsible to ensure that the work is constructed in accordance with the engineer's design.
3. The road extension or upgrade will be designed in accordance with the Town's design standards for urban, suburban or rural roads as determined by the Town Engineer.
4. In cases where the lot to be serviced by the road extension or upgrade is not the last lot on the road allowance, the road shall be extended from the point where the road currently terminates as an assumed road to and across the entire frontage of the lot to be serviced.
5. If the lot to be serviced is the last lot on the road allowance then the owner shall provide property for a turning circle and construct a turning circle in accordance with town standards at a location approved by the Town.
6. Upon completion of the road by the owner and proof that all costs have been paid and there are no liens, the Town will assume the road extension or upgrade.

Report No.
DS-2024-0042
Attachment 5
Page 1 of 5

7. Standards for road extensions shall be:

- Urban road - Drawing R-1
- Suburban roads - Drawing R-2 with asphalt pavement
- Rural roads - Drawing R-2 without asphalt pavement
- Turning circles - Drawing R-3

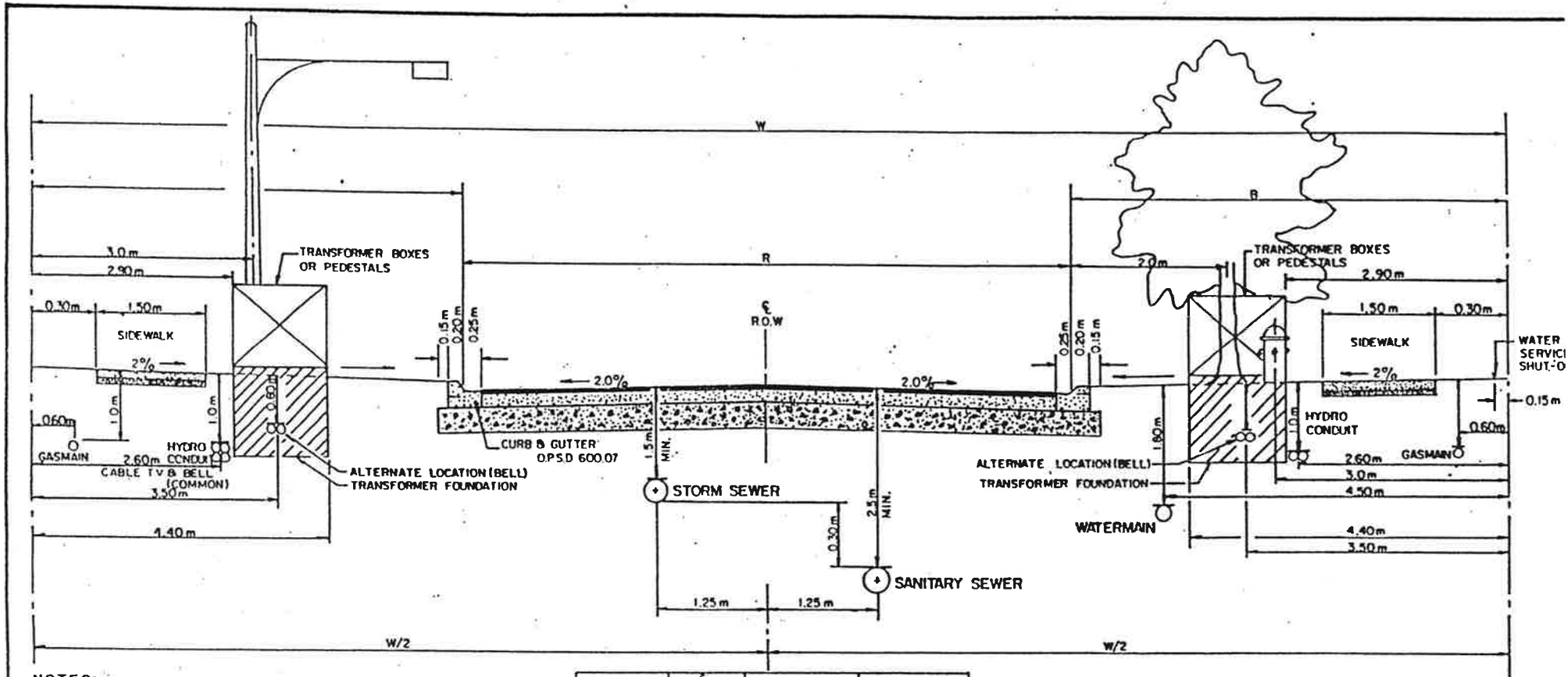
8. If the owner is of the opinion that other landowners benefit from the road extension or upgrade, it is the owner’s sole responsibility to try and obtain reimbursement from the other benefiting landowners

Background:

There are many situations across the municipality where roads have not been opened or built to current minimum standards and owners of lots abutting the unopened or unassumed sections wish to develop their properties.

The Town does not extend these roads at the expense of the general taxpayer since the owners of these lots generally have paid much less than what the property would be worth if there was an opened, assumed road servicing the property. It is not the responsibility of the general taxpayer to provide such a financial benefit to the owners or the lots on unopened or unassumed road allowances just at the general taxpayer does not fund servicing of new subdivisions.

<p>Report No. DS-2024-0042 Attachment 5 Page 2 of 5</p>




NOTES:

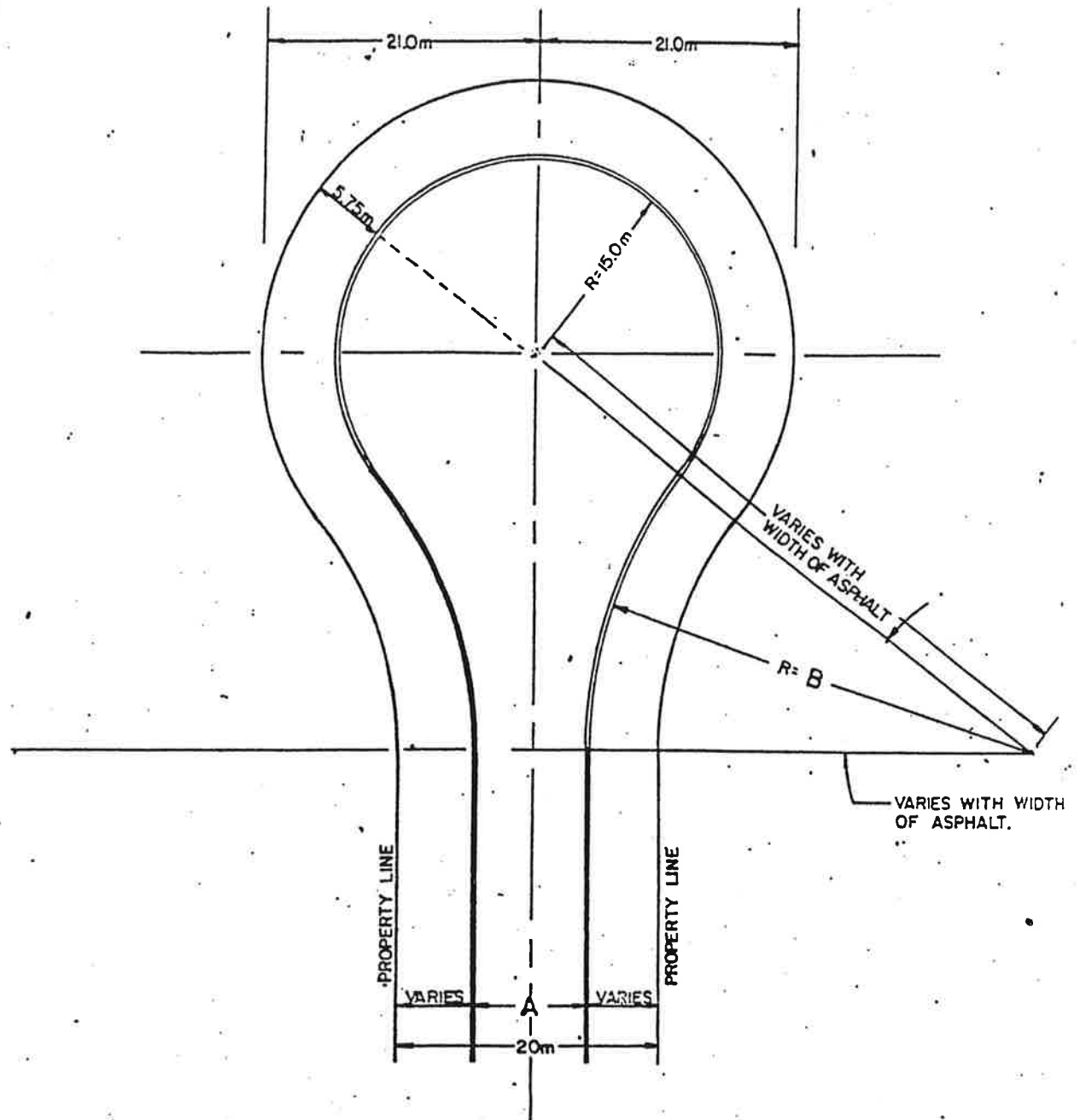
- 1) BASE AND PAVEMENT CONSTRUCTED TO MUNICIPAL SPECIFICATIONS SUBJECT TO SOIL ENGINEER REPORT AND DEPARTMENTAL APPROVAL.
- 2) FOR REDUCED ROAD ALLOWANCE WIDTHS, AUTHORIZATION FROM THE TOWN ENGINEER WILL BE REQUIRED
- 3) a) SIDEWALKS NOT REQUIRED ON CUL-DE-SACS.
 b) SIDEWALKS ARE REQUIRED ON ONE SIDE ONLY ON LOCAL ROADS.
 c) SIDEWALKS ARE REQUIRED ON BOTH SIDES OF THE STREET ON COLLECTOR AND ARTERIAL ROADS
- 4) a) CONCRETE SIDEWALKS (O.P.S.D. 303.03) FOR STANDARD LOCATION ONLY.
 b) ASPHALT SIDEWALKS TO BE USED FOR TEMPORARY SERVICE ONLY.
 c) INTERLOCKING PAVING STONE SIDEWALKS TO BE USED FOR NON-STANDARD LOCATIONS OR WHERE COVERING UNDERGROUND UTILITIES.

ROAD CLASS	R.O.W (W)	ROAD WIDTH (R)	BOULEVARD (R)
LOCAL	20.0m	8.5m	5.75m
COLLECTOR	25.0m	9.75m	8.125m
ARTERIAL	36.5m	14.0m	11.25m
INDUSTRIAL	20.0m	10.0m	5.0m

5) SUBDRAINS WITHIN THE ROAD BASE MAY BE REQUIRED SUBJECT TO A SOIL ENGINEERING REPORT AND DEPARTMENTAL APPROVAL.

Report No.
 DS-2024-0042
 Attachment 5
 Page 3 of 5

No.	REVISIONS	DATE	APP.
 THE TOWN OF GEORGINA REGIONAL MUNICIPALITY OF YORK			
TYPICAL URBAN STREET CROSS-SECTION			
DATE: MAR. 1992		SCALE: N.T.S.	
DRAWN BY: MSC		R-1	
CHKD. BY: MEB		METRIC	




NOTE:

1. MINIMUM GUTTER GRADE 0.50%
2. GRADING AROUND CUL-DE-SAC SHALL BE DETAILED ON THE ENGINEERING DRAWINGS.

SECTION	A	B
URBAN RESIDENTIAL	8.50 m	36.50m
RURAL RESIDENTIAL	6.70 m	15.0 m
URBAN INDUSTRIAL	10.0 m	40.0 m
RURAL INDUSTRIAL	7.30 m	40.0 m

Report No.
DS-2024-0042
Attachment 5
Page 5 of 5



TOWN OF GEORGINA
REGIONAL MUNICIPALITY OF YORK

**TYPICAL CUL-DE-SAC
TERMINATING 20m ROAD ALLOWANCE**

DATE: MAR. 1992	SCALE: N.T.S
DRAWN BY: M.S.C	R-3
CHKD. BY: MFR	