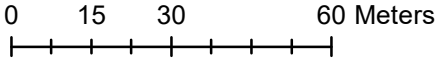





# LOCATION MAP



**SUBJECT LAND**



SURVEYOR'S REAL PROPERTY REPORT  
(PART 1) PLAN OF SURVEY OF  
**LOT 23**  
**REGISTERED PLAN 495**  
TOWNSHIP OF GEORGINA  
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 200  
  
RUDY MAK SURVEYING LTD.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THE SURVEY WAS COMPLETED ON THE 31ST DAY OF MAY, 2024.

JUNE 7, 2024  
DATE  
  
CURJIT MAHANT  
ONTARIO LAND SURVEYOR

**CAUTION**  
ONLY A SIGNED EMBOSSED COPY OF THIS PLAN CAN BE CONSIDERED AS AN ORIGINAL PLAN.

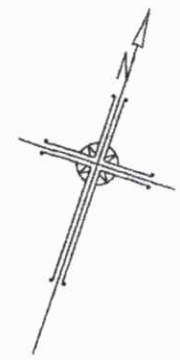
**SURVEYOR'S REAL PROPERTY REPORT (PART 2) REPORT SUMMARY**

<b>Description of Land</b>	LOT 23, REGISTERED PLAN 495 TOWNSHIP OF GEORGINA REGIONAL MUNICIPALITY OF YORK
<b>Registered easements and/or Right-of-Ways</b>	PARCEL IS NOT SUBJECT TO EASEMENT AS PER CURRENT TITLE DESCRIPTION OF P.I.N. 03546-0259(LT).
<b>NOTE:</b>	NO RESEARCH WITH RESPECT TO INDIGENOUS RIGHTS OR INTERESTS CREATED PRIOR TO THE CROWN PATENT HAS BEEN UNDERTAKEN. EASEMENTS AND FURTHER RESTRICTIONS ON ANY OR ALL OF THE PARCEL MAY BE FOUND IN THE ORIGINAL CROWN PATENT, ZONING BY-LAWS, OFFICIAL PLANS, SUBDIVISION AGREEMENTS, DEVELOPMENT AGREEMENTS ETC., AND THIS SURVEY AND PLAN HAS NOT SEARCHED FOR THESE RESTRICTIONS, NOR DO WE ACCEPT ANY LIABILITY WITH RESPECT TO ANY OF THESE ELEMENTS.
<b>Boundary Issues</b>	NONE.
<b>Compliance with Municipal Zoning By-Laws</b>	Not certified by this Report.
<b>Additional Remarks</b>	NOTE LOCATION OF FENCES, SHEDS, DRIVEWAY, CONCRETE PAD, UTILITY POLES, GUY WIRES, OVERHEAD WIRES AND STRUCTURES.

THIS REPORT WAS PREPARED FOR CAA INSURANCE AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**BEARING NOTE**  
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010 EPOCH).

FOR BEARING COMPARISONS, A ROTATION OF 1'16"30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON (P1), (P2) & (P3).

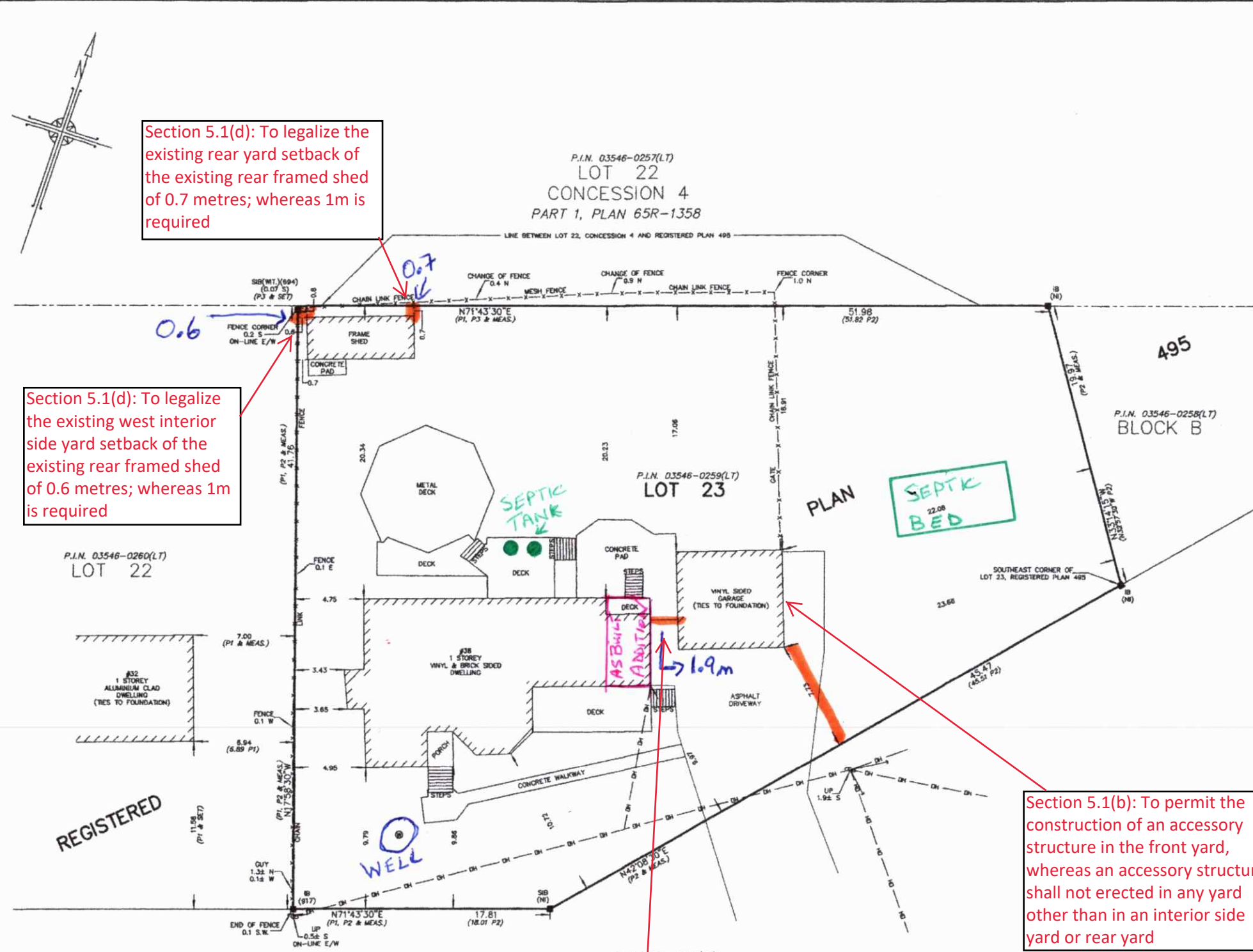


Section 5.1(d): To legalize the existing rear yard setback of the existing rear framed shed of 0.7 metres; whereas 1m is required

Section 5.1(d): To legalize the existing west interior side yard setback of the existing rear framed shed of 0.6 metres; whereas 1m is required

Section 5.1(b): To permit the construction of an accessory structure in the front yard, whereas an accessory structure shall not erected in any yard other than in an interior side yard or rear yard

Section 5.1 (b): To permit the construction of an accessory structure to be located a minimum of 1.7 metres from the existing dwelling, whereas a minimum setback of 2.0 metres is required




- LEGEND**
- DENOTES FOUND SURVEY MONUMENT
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - x- DENOTES FENCING
  - /UP DENOTES UTILITY POLE
  - /GUY DENOTES STABILIZING CABLE AND GROUND ANCHOR
  - OH- DENOTES OVERHEAD WIRES
  - ⊙ DENOTES DRILLED WELL
  - (694) DENOTES G.E. SMITH, O.L.S.
  - (917) DENOTES R.A. GARDEN, O.L.S.
  - (NI) DENOTES NO IDENTIFICATION
  - (WIT.) DENOTES WITNESS
  - (P1) DENOTES PLAN OF SURVEY BY: R.A. GARDEN, O.L.S. DATED: AUGUST 5, 1981.
  - (P2) DENOTES REGISTERED PLAN 495
  - (P3) DENOTES PLAN 65R-1358

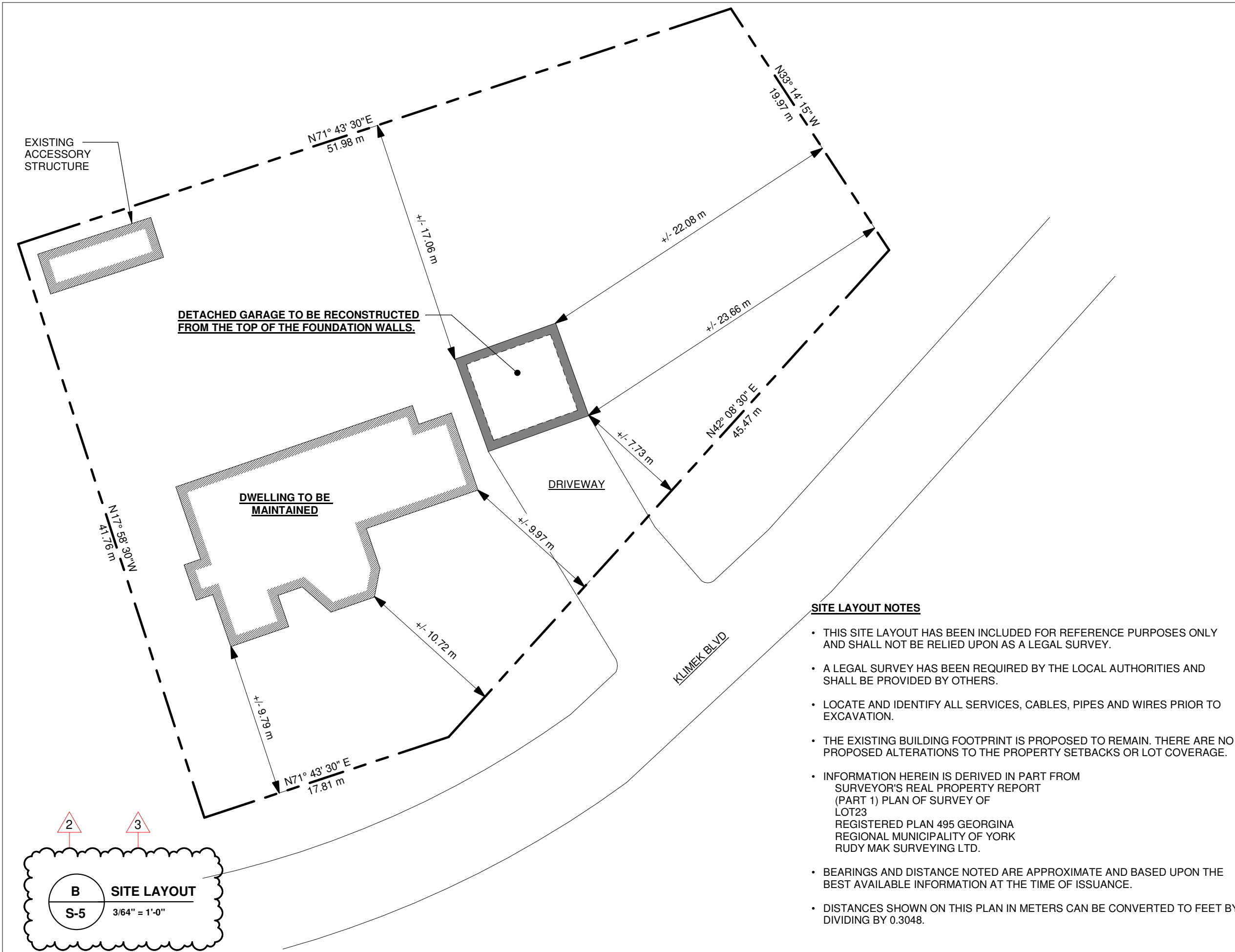
P.I.N. 03546-0279(LT)  
(KNOWN AS) **KLIMEK BOULEVARD**  
(FORMERLY ALEXANDRIA BOULEVARD - BY REGISTERED PLAN 495)

**TIE DISTANCES NOTE:**  
ALL TIES SHOWN AS N, S, E AND W PROJECTING

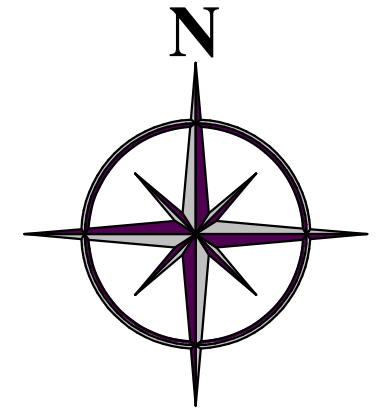
**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO LAND SURVEYORS  
PLAN SUBMISSION FORM  
2 2 1 4 6 3 8  
  
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR  
in accordance with Regulation 1028, Section 28(3)

 **RUDY MAK SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
732 DUNLOP STREET WEST  
BARRIE, ONTARIO L4N 9X1 (705) 722-7222  
E-MAIL MAIL@MAKSURVEYING.COM



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	JUNE 29, 2023
2	REV. PER SITE PLAN	JUNE 20, 2024
3	REVISED PER COMMENTS	AUG. 6, 2024



**ROAR ENGINEERING**  
 18 Alliance Blvd., Unit 6, Barrie, Ontario • L4M 5A5  
 Telephone: 705.315.0231 • Facsimile: 705.737.9090

WORK OUTLINED ON THIS SHEET SHALL BE EXECUTED IN CONFORMANCE WITH THE ENTIRETY OF THE DRAWING SET

PROJECT TITLE: **REPAIR PLANS**

DRAWING TITLE: **SITE LAYOUT**

INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

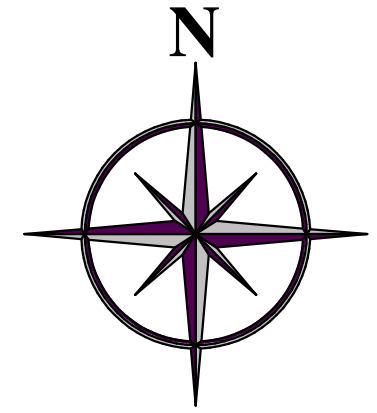
LOSS DATE: MAY 9, 2023

Attachment 3  
 A24-24 38 Klimek Blvd  
 Page 1 of 7

- SITE LAYOUT NOTES**
- THIS SITE LAYOUT HAS BEEN INCLUDED FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS A LEGAL SURVEY.
  - A LEGAL SURVEY HAS BEEN REQUIRED BY THE LOCAL AUTHORITIES AND SHALL BE PROVIDED BY OTHERS.
  - LOCATE AND IDENTIFY ALL SERVICES, CABLES, PIPES AND WIRES PRIOR TO EXCAVATION.
  - THE EXISTING BUILDING FOOTPRINT IS PROPOSED TO REMAIN. THERE ARE NO PROPOSED ALTERATIONS TO THE PROPERTY SETBACKS OR LOT COVERAGE.
  - INFORMATION HEREIN IS DERIVED IN PART FROM SURVEYOR'S REAL PROPERTY REPORT (PART 1) PLAN OF SURVEY OF LOT23 REGISTERED PLAN 495 GEORGINA REGIONAL MUNICIPALITY OF YORK RUDY MAK SURVEYING LTD.
  - BEARINGS AND DISTANCE NOTED ARE APPROXIMATE AND BASED UPON THE BEST AVAILABLE INFORMATION AT THE TIME OF ISSUANCE.
  - DISTANCES SHOWN ON THIS PLAN IN METERS CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**B SITE LAYOUT**  
 S-5 3/64" = 1'-0"

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PROJECT TITLE: **REPAIR PLANS**

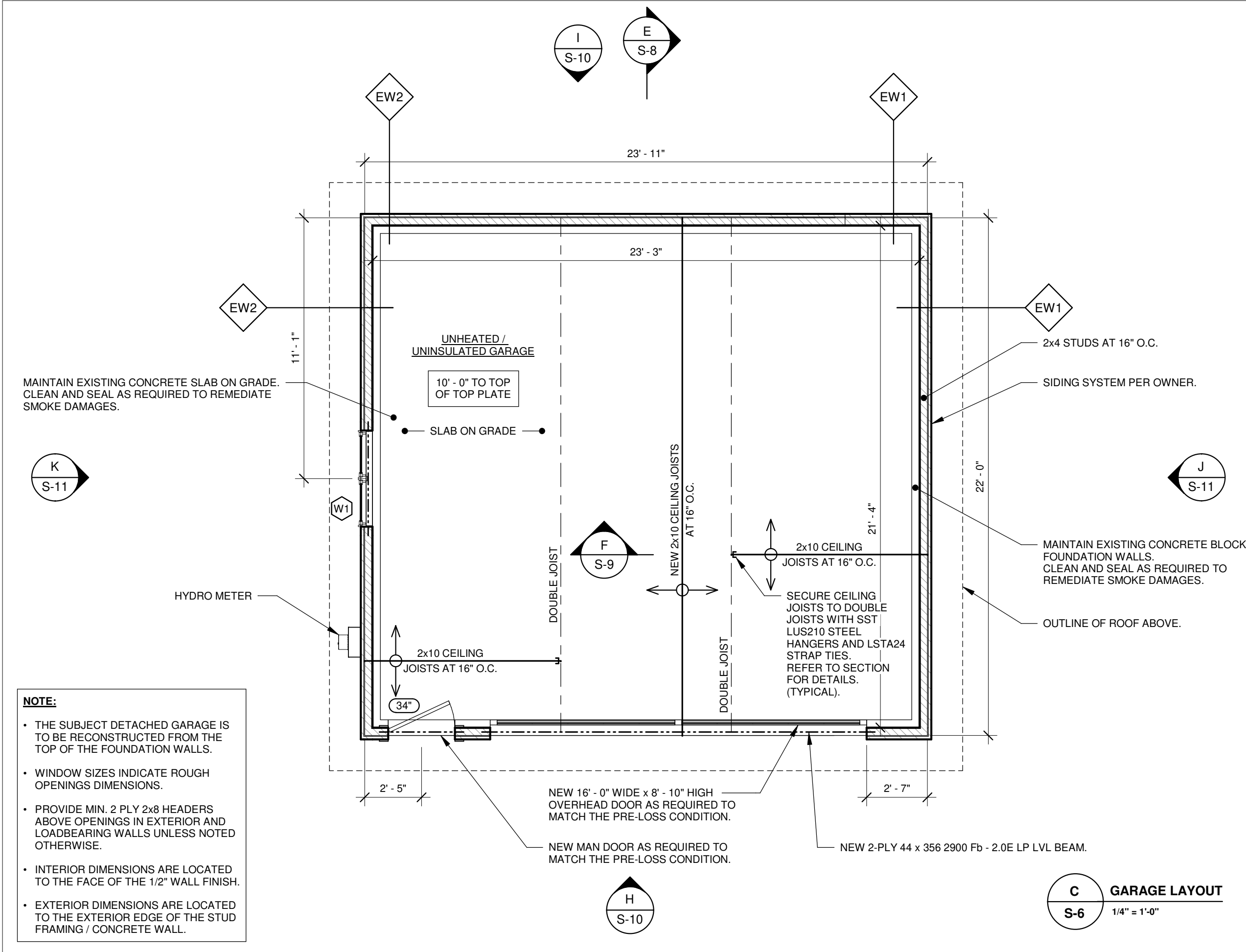
DRAWING TITLE: **GARAGE LAYOUT**

INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

LOSS DATE: MAY 9, 2023

Attachment 3  
A24-24 38 Klimek Blvd  
Page 2 of 7

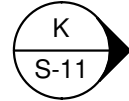


**NOTE:**

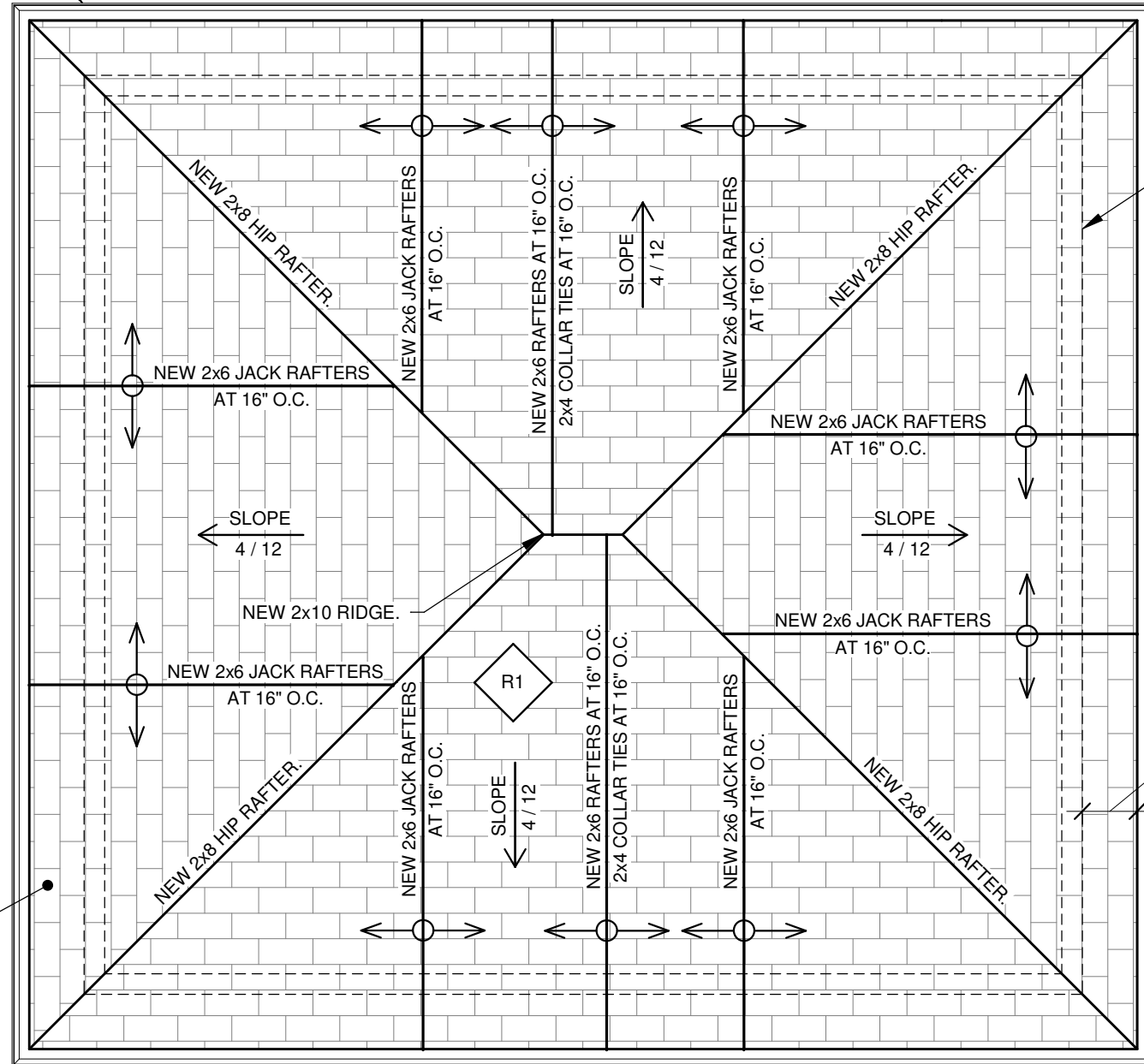
- THE SUBJECT DETACHED GARAGE IS TO BE RECONSTRUCTED FROM THE TOP OF THE FOUNDATION WALLS.
- WINDOW SIZES INDICATE ROUGH OPENINGS DIMENSIONS.
- PROVIDE MIN. 2 PLY 2x8 HEADERS ABOVE OPENINGS IN EXTERIOR AND LOADBEARING WALLS UNLESS NOTED OTHERWISE.
- INTERIOR DIMENSIONS ARE LOCATED TO THE FACE OF THE 1/2" WALL FINISH.
- EXTERIOR DIMENSIONS ARE LOCATED TO THE EXTERIOR EDGE OF THE STUD FRAMING / CONCRETE WALL.

**C**  
**S-6** **GARAGE LAYOUT**  
1/4" = 1'-0"

EAVESTROUGH / DOWNSPOUT TO REDIRECT WATER DOWN GRADE AND TO A SAFE LOCATION AWAY FROM THE STRUCTURE.



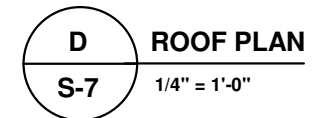
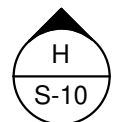
ASPHALT SHINGLE ROOFING SYSTEM COMPLETE WITH MANUFACTURER'S SPECIFIED UNDERLAYMENT.



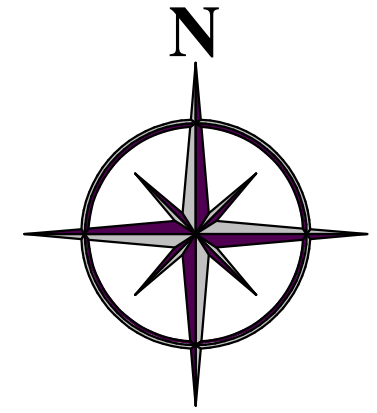
**NOTE:**  
 • THE SUBJECT DETACHED GARAGE IS TO BE RECONSTRUCTED FROM THE TOP OF THE FOUNDATION WALLS.

OUTLINE OF EXTERIOR / LOAD BEARING WALLS BELOW.

1' - 4" OVERHANG (TYPICAL).



NO.	DESCRIPTION	DATE
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WORK OUTLINED ON THIS SHEET SHALL BE EXECUTED IN CONFORMANCE WITH THE ENTIRETY OF THE DRAWING SET

PROJECT TITLE: **REPAIR PLANS**

DRAWING TITLE: **ROOF PLAN**

INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

LOSS DATE: MAY 9, 2023

Attachment 3  
 A24-24 38 Klimek Blvd  
 Page 3 of 7

**NOTE:**  
 • THE SUBJECT DETACHED GARAGE IS TO BE RECONSTRUCTED FROM THE TOP OF THE FOUNDATION WALLS.

NEW EAVESTROUGH / DOWNSPOUT TO REDIRECT WATER DOWN GRADE AND TO A SAFE LOCATION AWAY FROM THE STRUCTURE.

ASPHALT SHINGLE ROOFING SYSTEM COMPLETE WITH MANUFACTURER'S SPECIFIED UNDERLAYMENT.

NEW 1/2" PLYWOOD SHEATHING SECURED TO ROOF RAFTERS WITH 2 1/2" (8d) NAILS AT 6" O.C.

NEW 2x6 RAFTERS AT 16" O.C. SECURE TO DOUBLE TOP PLATE WITH MIN. 4x - 3/4" NAILS.

NEW 2x10 RIDGE MEMBER.

SECURE RAFTERS TO RIDGE WITH LSS626Z STEEL HANGERS. OR SECURE WITH MIN. 6x - 3/4" NAILS.

R1

12  
4

NEW PERFORATED SOFFIT CLADDING.

NEW SIDING SYSTEM PER OWNER.

NEW WEATHER RESISTANT BARRIER.

NEW 7/16" OSB SHEATHING.

1' - 4" OVERHANG

NEW 2x10 CEILING JOISTS AT 16" O.C. SECURE CEILING JOISTS TO RAFTERS WITH MIN. 9x - 3" NAILS. SECURE CEILING JOISTS TO TOP PLATE WITH 2x - 3 1/2" SPIRAL NAILS. CEILING JOISTS MUST BE CONTINUOUS FROM RAFTER TO RAFTER.

NEW 2x4 COLLAR TIES AT 16" O.C. SECURE TO RAFTERS WITH MIN. 6x - 3" NAILS.

1/2" DRYWALL

NEW 2x4 STUDS AT 16" O.C. SECURE TOP AND BOTTOM WITH 4x - 1/4" NAILS.

UNHEATED / UNINSULATED GARAGE

EW1

NEW 2x6 SILL PLATE COMPLETE WITH COMPRESSIBLE SILL GASKET. SECURE TO EXISTING FOUNDATION WALL WITH 1/2" DIA. ANCHORS AT MAX. 7-10" O.C. AND MAX. 6" FROM EACH PLATE ENDS WITH MIN. 4" EMBEDMENT. FILL TOP COURSE SOLID WITH TYPE 'S' MASONRY CEMENT AS REQUIRED TO RECEIVE ANCHORS.

MAINTAIN EXISTING CONCRETE BLOCK FOUNDATION WALLS. CLEAN AND SEAL AS REQUIRED TO REMEDIATE SMOKE DAMAGES.

FLASHING TUCKED UNDER AND SEALED TO THE WEATHER RESISTANT BARRIER.

EXPANSION JOINT

FW1

MAINTAIN EXISTING CONCRETE SLAB ON GRADE. CLEAN AND SEAL AS REQUIRED TO REMEDIATE SMOKE DAMAGES.

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PROJECT TITLE: **REPAIR PLANS**

DRAWING TITLE: **TYPICAL EAVE DETAIL**

INSURED: SIMOES, KATHY

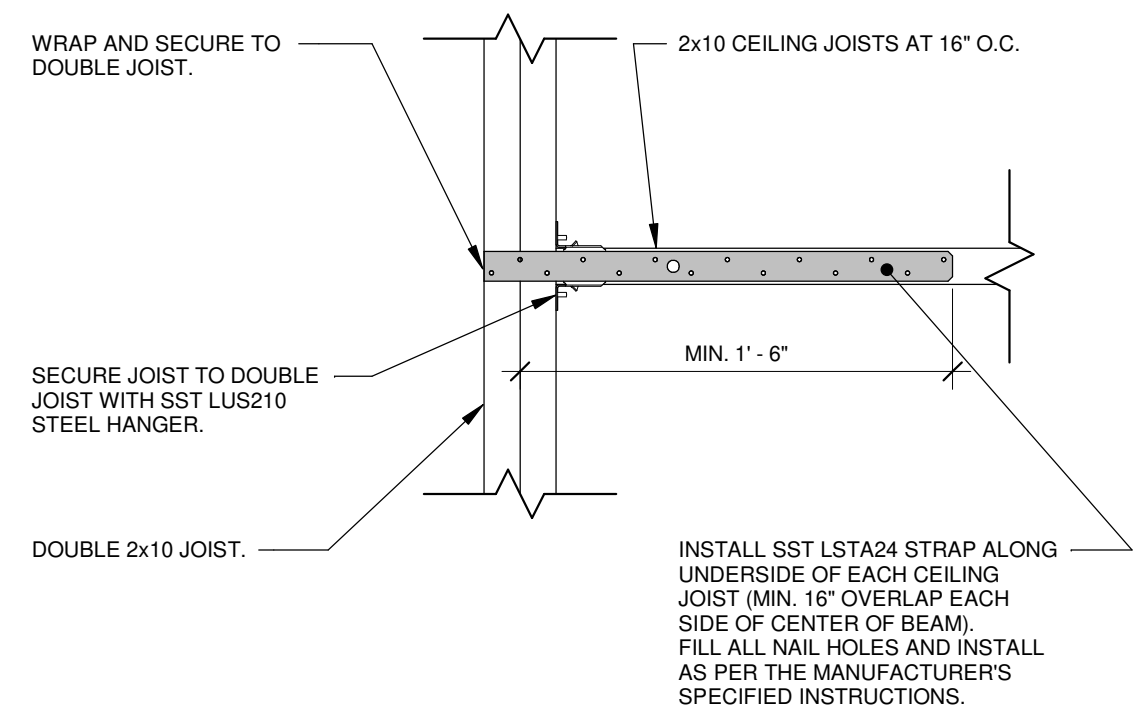
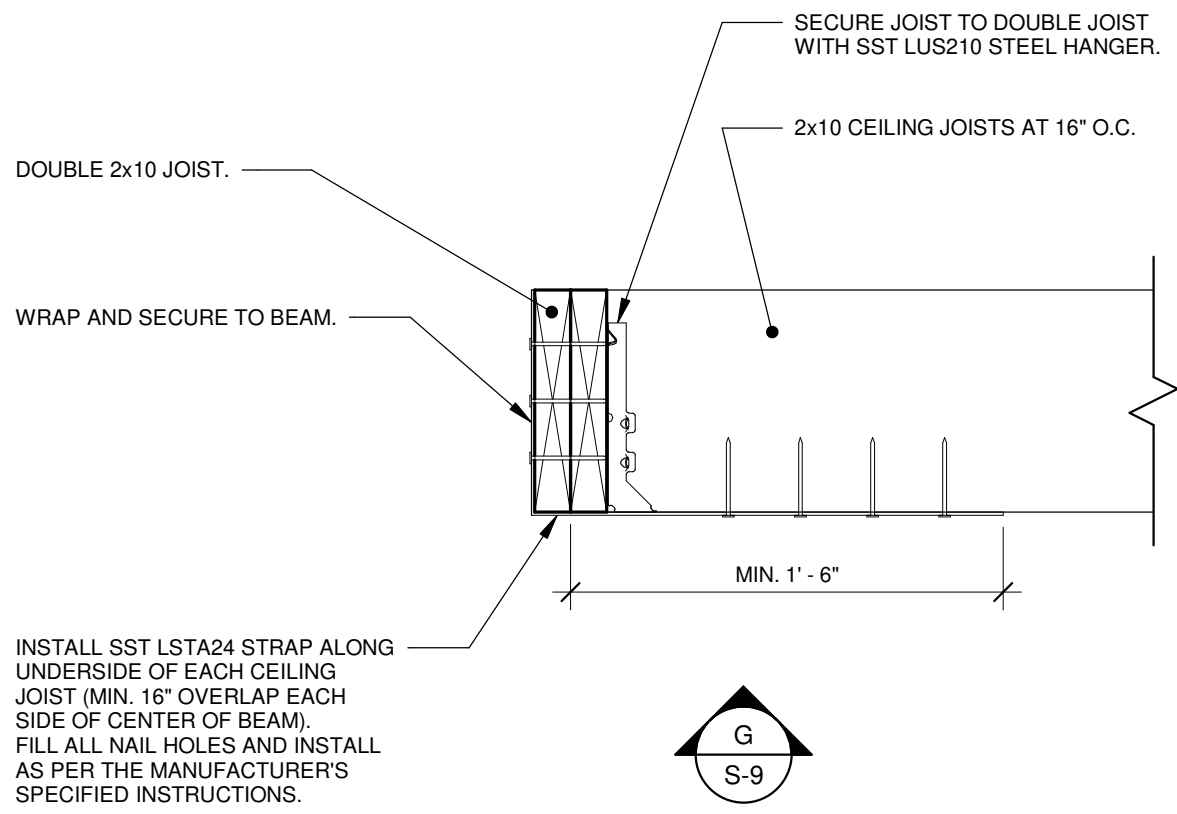
LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

LOSS DATE: MAY 9, 2023

Attachment 3  
 A24-24 38 Klimek Blvd  
 Page 4 of 7

**E** TYPICAL EAVE DETAIL  
**S-8** 1" = 1'-0"

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**F** CEILING JOISTS CONNECTION DETAIL  
**S-9** 1 1/2" = 1'-0"

**G** JOIST CONNECTION DETAIL (FROM BELOW)  
**S-9** 1 1/2" = 1'-0"

**ROAR**  
ENGINEERING  
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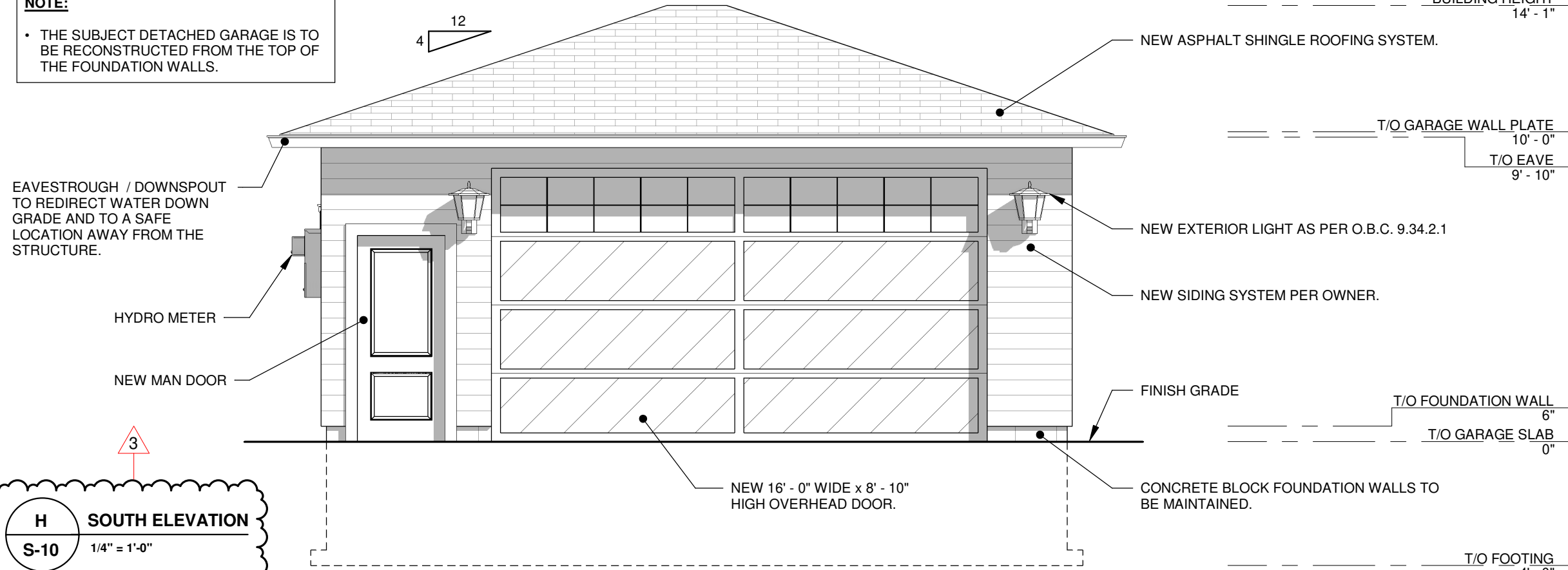
DRAWING TITLE: **CEILING JOISTS CONNECTION DETAILS**

INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEFFERLAW, ONTARIO

**NOTE:**

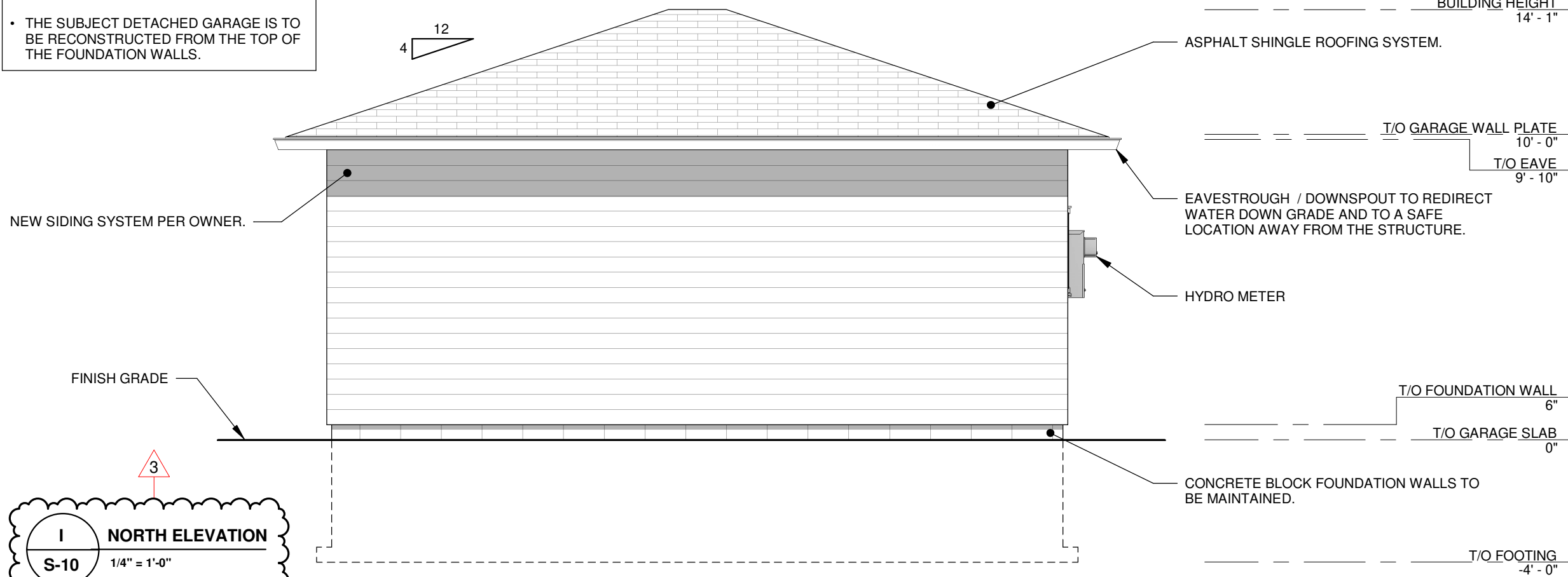
- THE SUBJECT DETACHED GARAGE IS TO BE RECONSTRUCTED FROM THE TOP OF THE FOUNDATION WALLS.



**H SOUTH ELEVATION**  
S-10 1/4" = 1'-0"

**NOTE:**

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**I NORTH ELEVATION**  
S-10 1/4" = 1'-0"

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PROJECT TITLE: **REPAIR PLANS**

DRAWING TITLE: **ELEVATIONS**

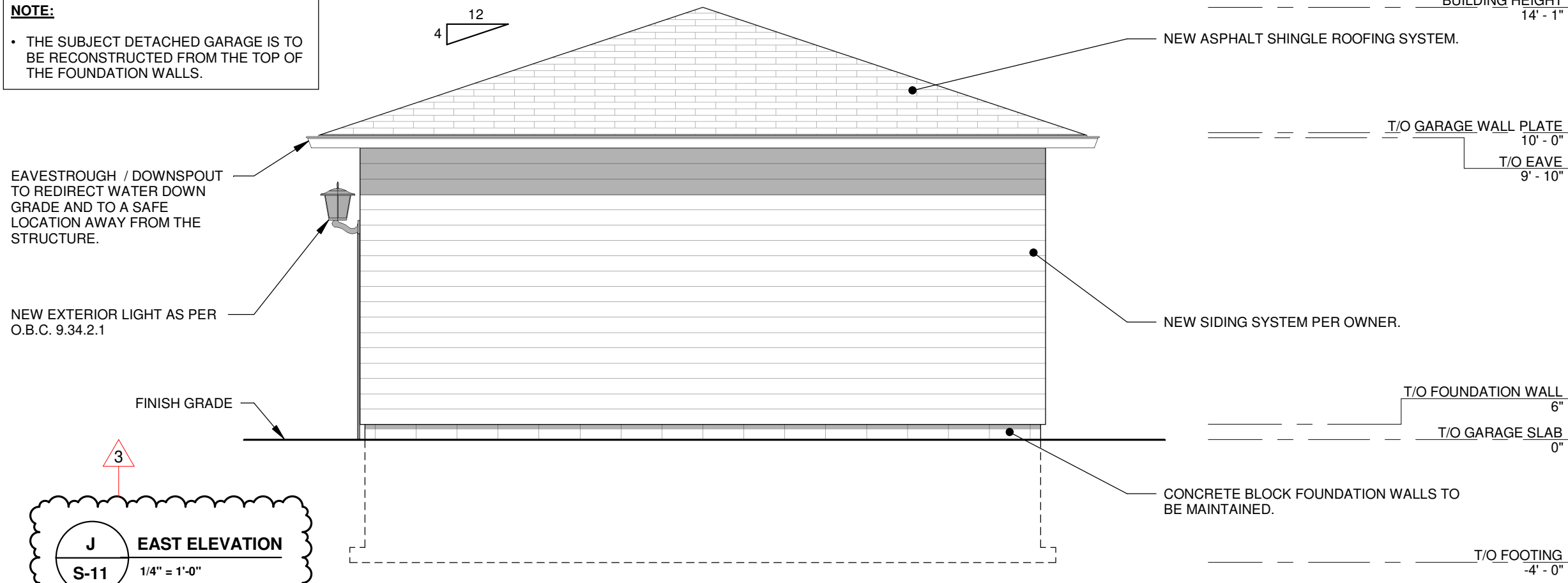
INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

Attachment 3  
A24-24 38 Klimek Blvd  
Page 6 of 7

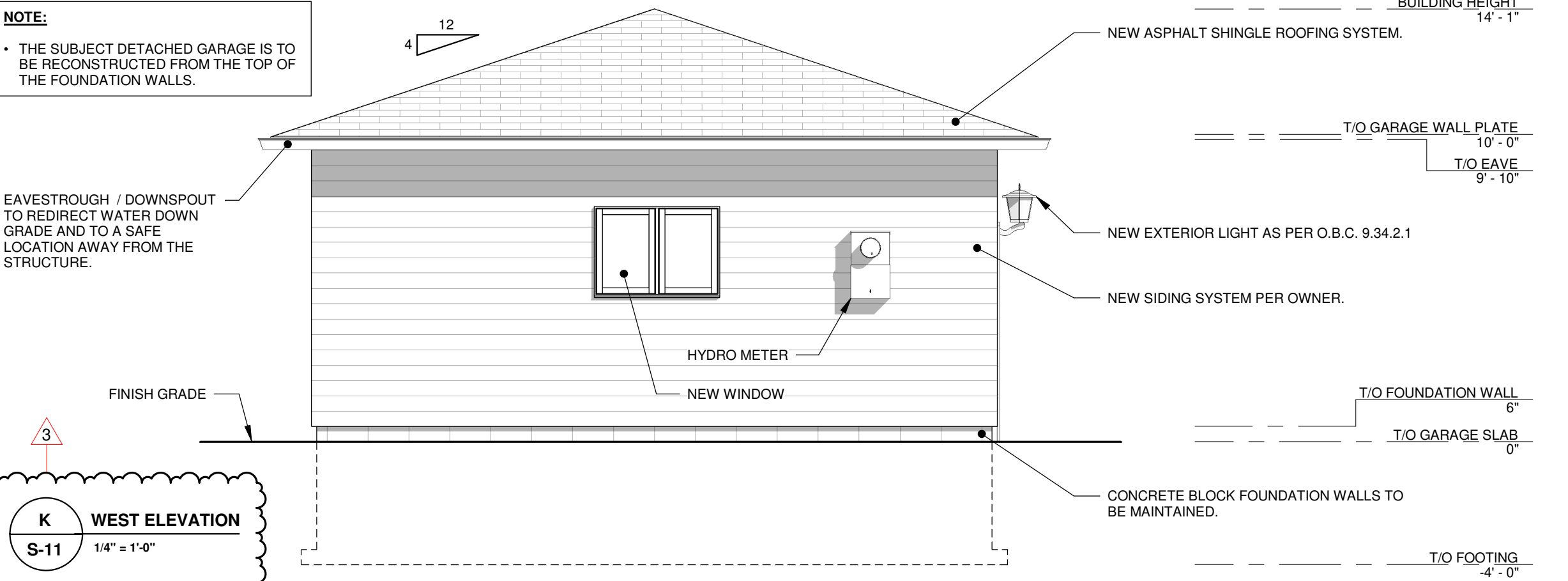


**NOTE:**  
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**J EAST ELEVATION**  
 S-11 1/4" = 1'-0"

**NOTE:**  
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**K WEST ELEVATION**  
 S-11 1/4" = 1'-0"

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PROJECT TITLE: **REPAIR PLANS**

DRAWING TITLE: **ELEVATIONS**

INSURED: SIMOES, KATHY

LOCATION: 38 KLIMEK BLVD., PEPPERLAW, ONTARIO

LOSS DATE: MAY 9, 2023

# Site Photos

38 Klimek Blvd  
Facing North



38 Klimek Blvd  
Facing North



38 Klimek Blvd  
Facing West



38 Klimek Blvd  
Facing South



38 Klimek Blvd  
Facing South West



38 Klimek Blvd  
Facing North



38 Klimek Blvd  
Facing East



**To:** Brianna Rianes, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

**cc:** Mike Lampietro, Manager, Development Engineering  
Cory Repath, Sr. Development Inspector  
Vikum Wegiriya, Jr. Development Technologist  
Matthew DeLuca, Jr. Development Inspector  
Laura Taylor, Operations Administrative Assistant

**Date:** October 4<sup>th</sup>, 2024

**Re:** MINOR VARIANCE A24-24  
38 Klimek Boulevard  
Plan 495 Lot 23  
ROLL NO.: 051-676

---

The Development Engineering Division has no objection to Minor Variance Application No. A24-24, subject to the following **condition(s)** being fulfilled to the Engineering Development Division's satisfaction:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
  - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.