

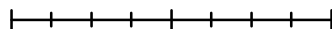


LOCATION MAP



SUBJECT LAND

0 12.5 25 50 Meters

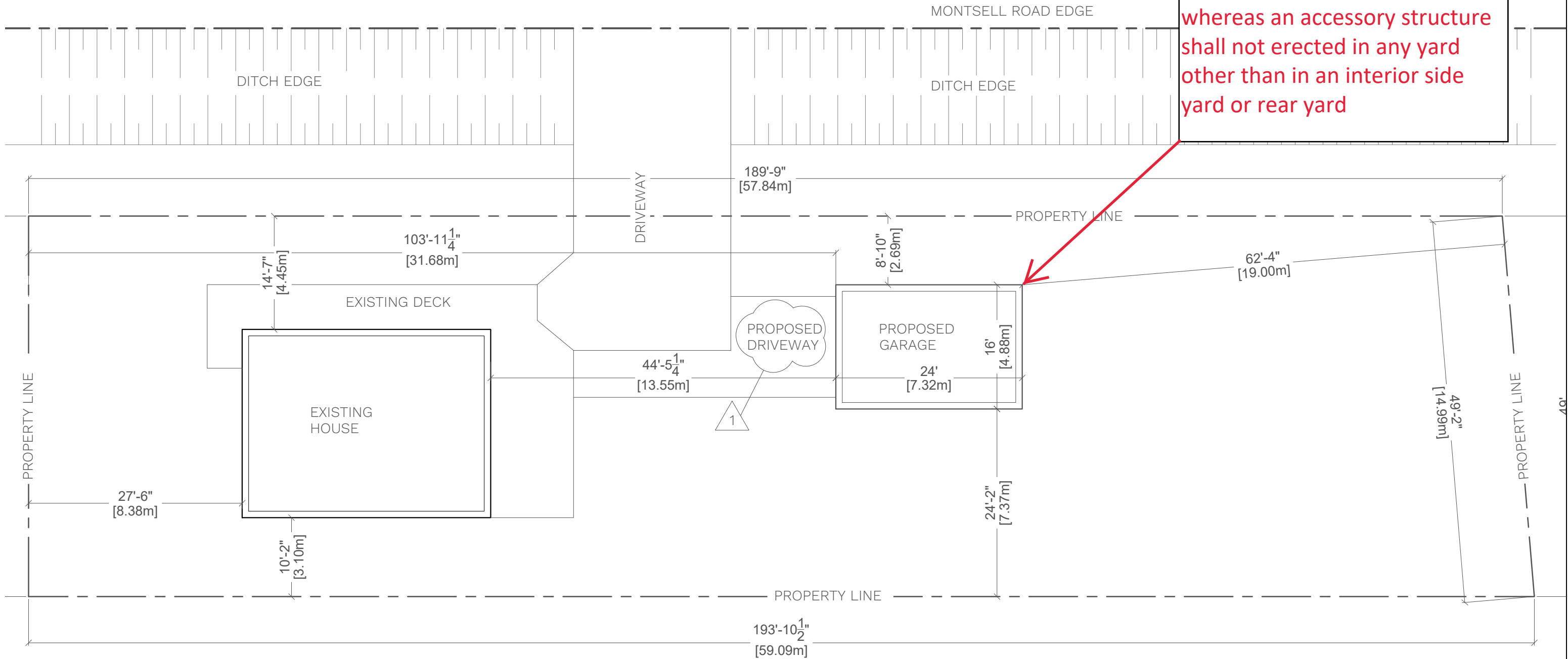


N



LOT : 873.2m²
 HOUSE: 72.1m² - 8.27% COVERAGE
 EXISTING DECK: 50.2m² - 5.75% COVERAGE
 GARAGE: 35.7m² - 4.09% COVERAGE

Section 5.1(b): To permit the construction of an accessory structure in the front yard, whereas an accessory structure shall not erected in any yard other than in an interior side yard or rear yard



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C - 3.2.5.1. of the building code

DANA EVANS [Signature] 100332
 Name Signature BCIN

Registration Information
 Required unless design is exempt under Div. C - 3.2.4.1. of the building code

DESIGNER

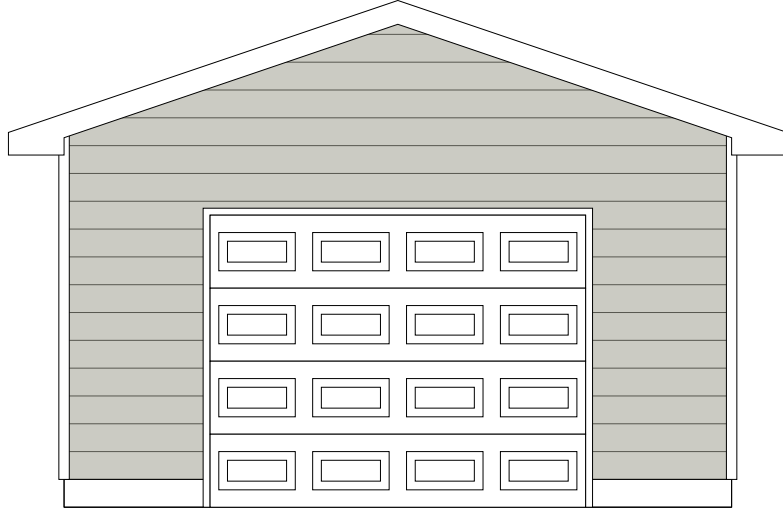


209 DESIGN 647-297-8300
 15905 Side Rd 17, Sunderland ON

PROJECT

PROPOSED GARAGE
 800 MONTSELL ROAD
 GEORGINA, ONTARIO

		DATE	SEPT 24 2024
		SCALE	1:150
		DRAWING	SITE PLAN
1	REVISION FOR MINOR VARIANCE	SEPT 2024	
0	ISSUED FOR PERMIT APPLICN	FEB 2024	
No.	DESCRIPTION	DATE	DWG. No PAGE



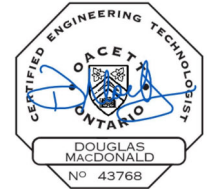
TITLE PAGE	A-1
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MAIN FLOOR PLAN	A-3
ROOF PLAN	A-4
FRONT & REAR ELEVATIONS	A-5
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CONSTRUCTION NOTES	A-13

CLIMATIC & DESIGN LOAD DATA	
Georgina, Ontario	
ROOF LOADING	KPA (psf)
GROUND SNOW LOAD Ss	2.1 (43.86 psf)
RAIN LOAD Sr	0.4 (8.35 psf)
SNOW LOAD FACTOR Cb	0.55
ROOF DESIGN SNOW LOAD	1.56 (32.48 psf)
ROOF & CEILING DESIGN DEAD LOAD	0.57 (12.00 psf)
FLOOR LOADING	
GROUND & SECOND FLOOR	1.92 (40.00 psf)
FLOOR/CEILING DESIGN DEAD LOAD	0.72 (15.00 psf)
WIND LOADING	
1/50 WIND PRESSURE	0.36 (7.52 psf)
1/10 WIND PRESSURE	0.24 (5.01 psf)
TEMPERATURE	
DEGREE DAYS BELOW 18°C	4500
SOIL	
ASSUMED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDING ELEVATION(S)	75 (1570 psf) Firm Clay
ROCK	500 (10,443 psf)
FREEZING INDEX	1937
ELEVATION	230
<small>THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR MUST NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED.</small>	

GENERAL NOTE: These drawings are not to be scaled. All dimensions must be verified by contractor prior to commencement of any work. Any discrepancies must be reported directly to the designer.



117-4 Aurora Home Hdwe. Building Centre



IBD remains in possession of the original drawing as purchased. It is a criminal offence to electronically alter our pertinent design information in any way. If you are the municipality issuing the permit and require an unlocked PDF for review purposes please contact brian@ibdweb.ca.

Forbes, Patrick (RMF)
800 Montsell Ave
Georgina, Ontario

Issue Date: Jul. 12, 2024

Scale: N/A

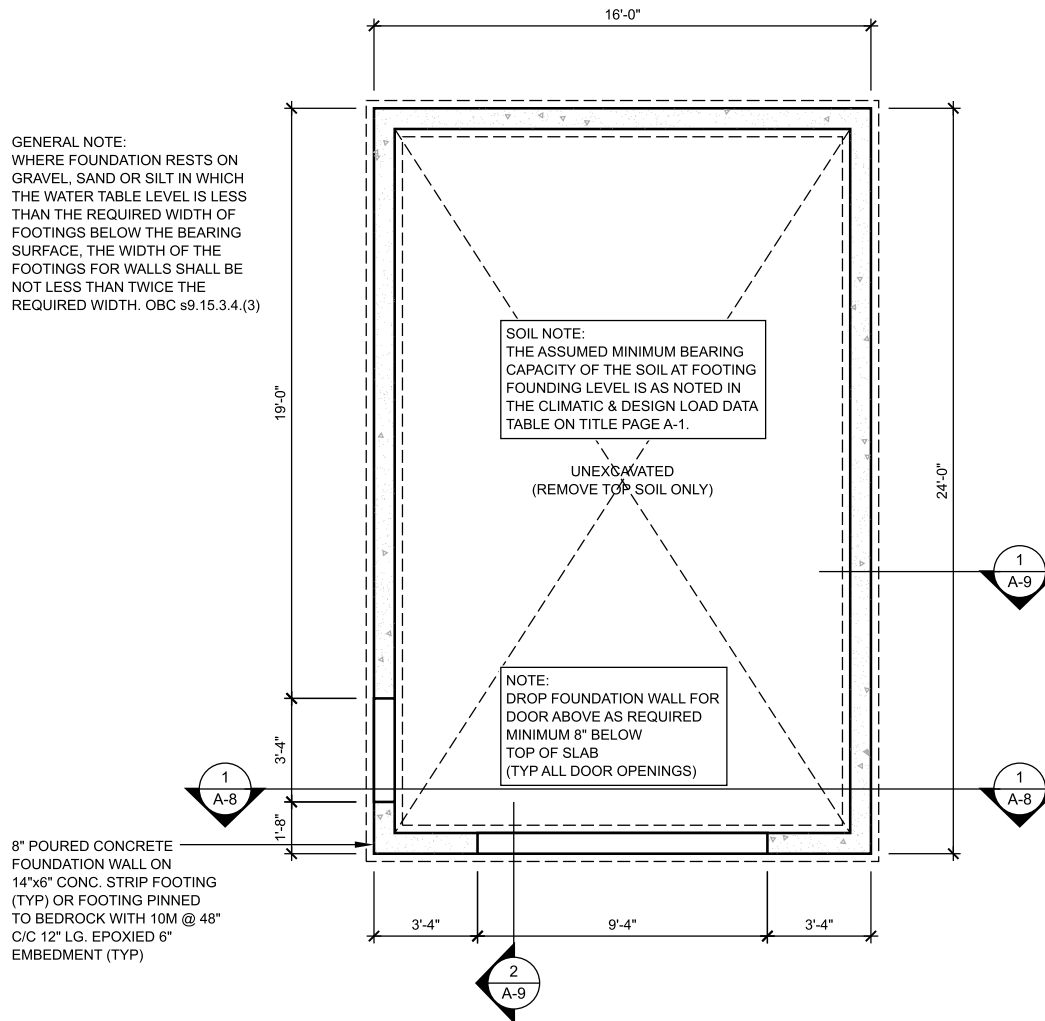
TITLE PAGE

Report No: GP-24-51319
Drawing No: A-1

Sheet Size: 11x17

A19-24 800 Montsell Ave
Attachment 3
Page 1 of 8

GENERAL NOTE:
WHERE FOUNDATION RESTS ON GRAVEL, SAND OR SILT IN WHICH THE WATER TABLE LEVEL IS LESS THAN THE REQUIRED WIDTH OF FOOTINGS BELOW THE BEARING SURFACE, THE WIDTH OF THE FOOTINGS FOR WALLS SHALL BE NOT LESS THAN TWICE THE REQUIRED WIDTH. OBC s9.15.3.4.(3)



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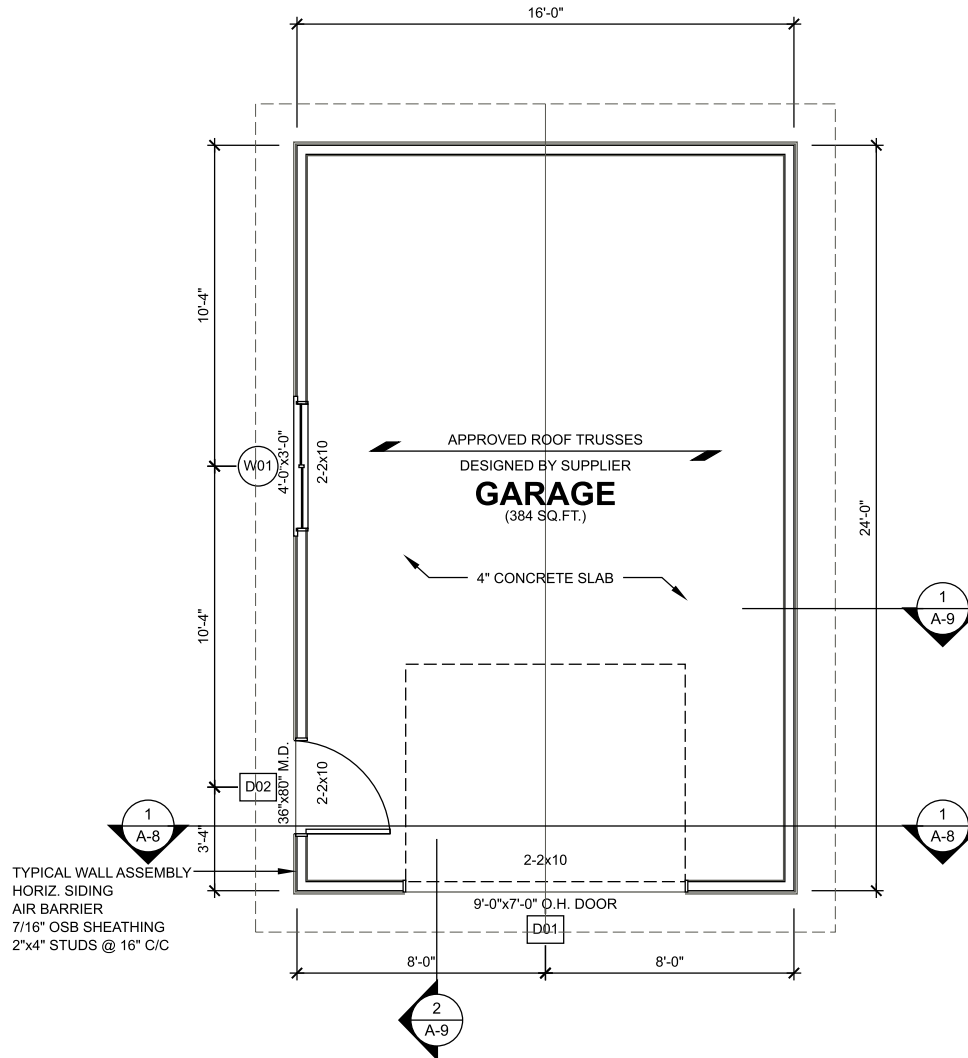
Scale: 1/4" = 1'-0"

FOUNDATION PLAN

Report No:
GP-24-51319

Drawing No:
A-2

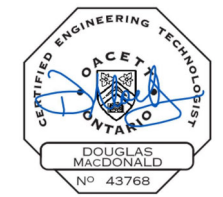
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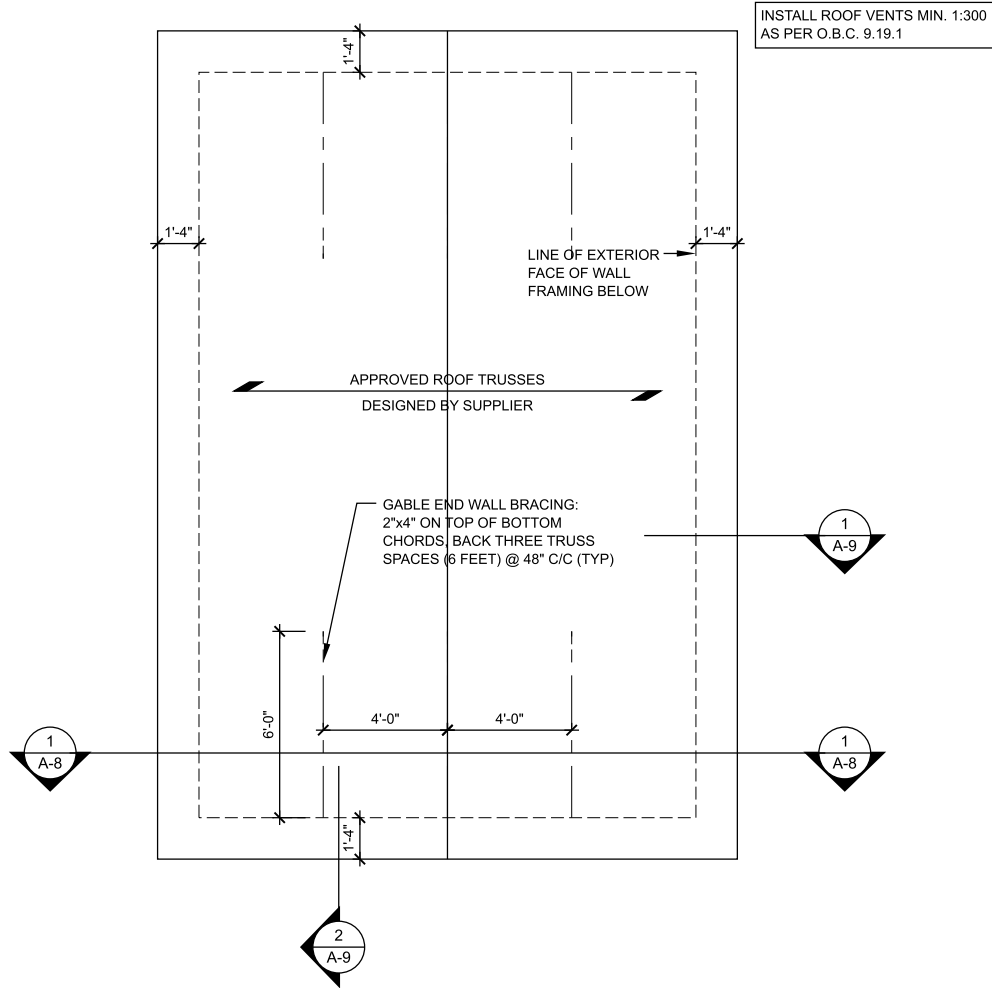
Issue Date: Jul. 12, 2024

Scale: 1/4" = 1'-0"

MAIN FLOOR PLAN
384 SQ.FT.

Report No: GP-24-51319 Drawing No: A-3

Sheet Size: 11x17



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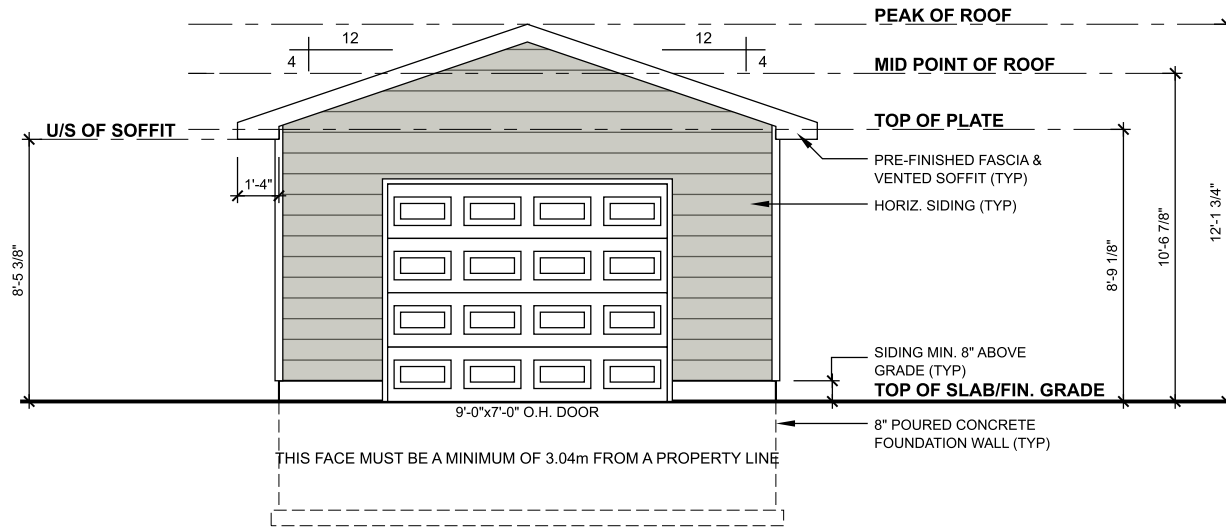
Scale: 1/4" = 1'-0"

ROOF PLAN

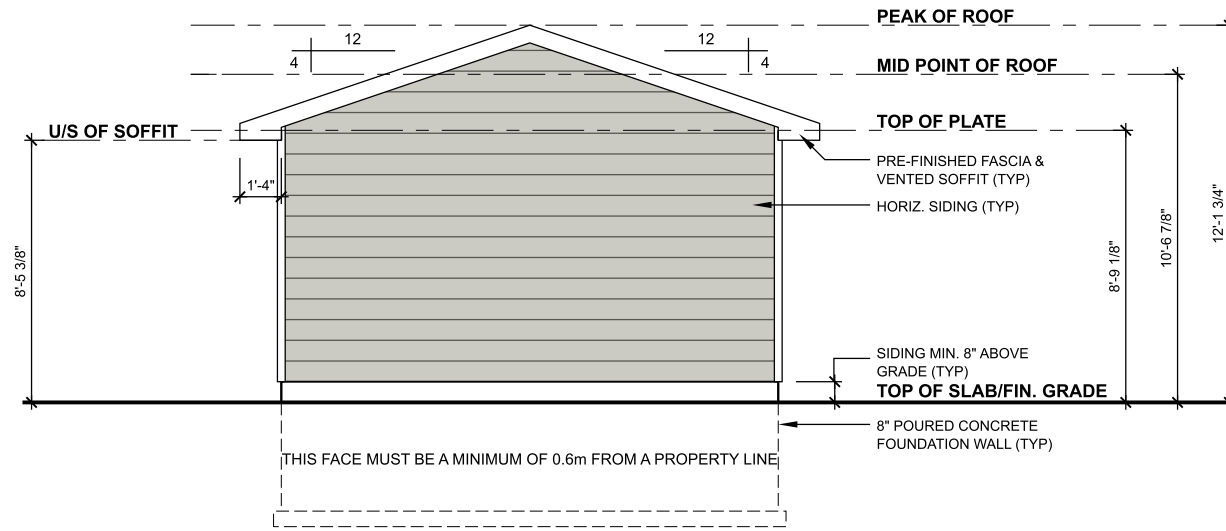
Report No:
GP-24-51319

Drawing No:
A-4

Sheet Size: 11x17



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

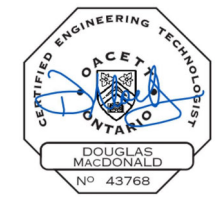


REAR ELEVATION
SCALE: 1/4" = 1'-0"

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Issue Date: Jul. 12, 2024

Scale: 1/4" = 1'-0"

FRONT & REAR ELEVATIONS

Report No: GP-24-51319
Drawing No: A-5

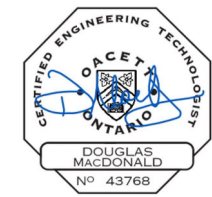
Sheet Size: 11x17

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Attachment 3
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Issue Date: Jul. 12, 2024

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LEFT ELEVATION

Report No: GP-24-51319
Drawing No: A-6



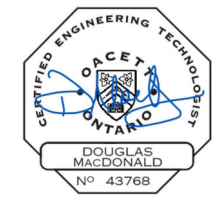
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Attachment 3
Page 6 of 8

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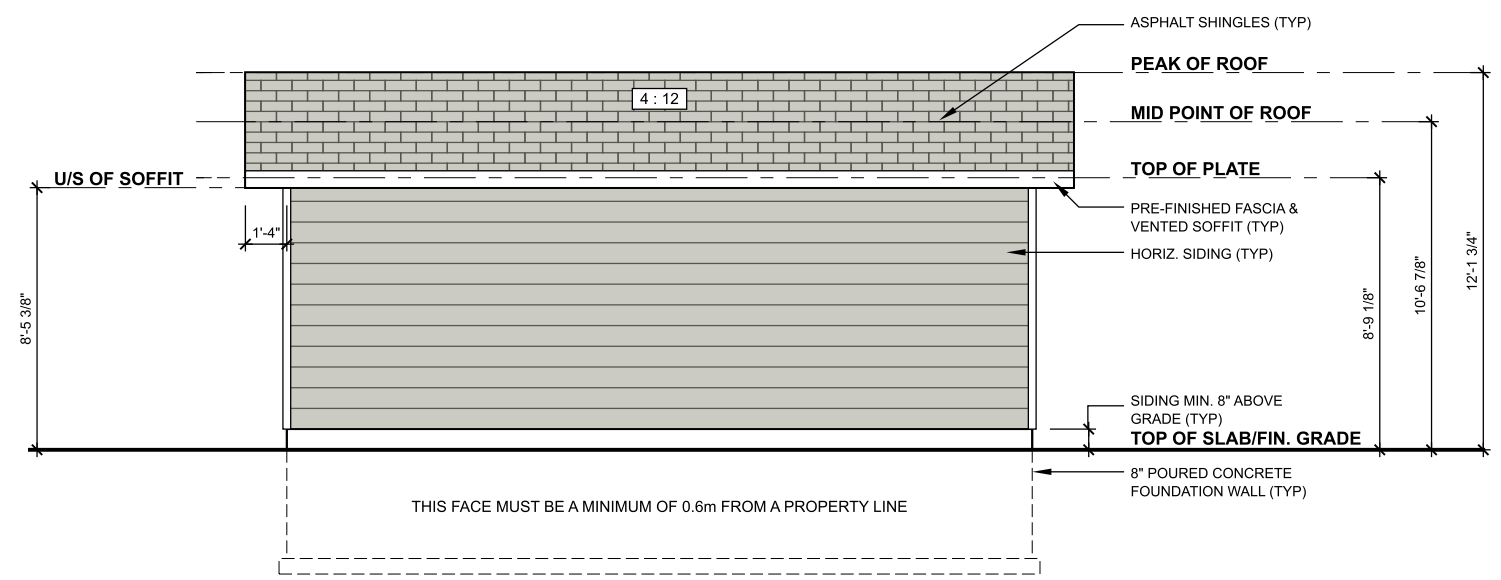
Issue Date: Jul. 12, 2024

Scale: 1/4" = 1'-0"

RIGHT ELEVATION

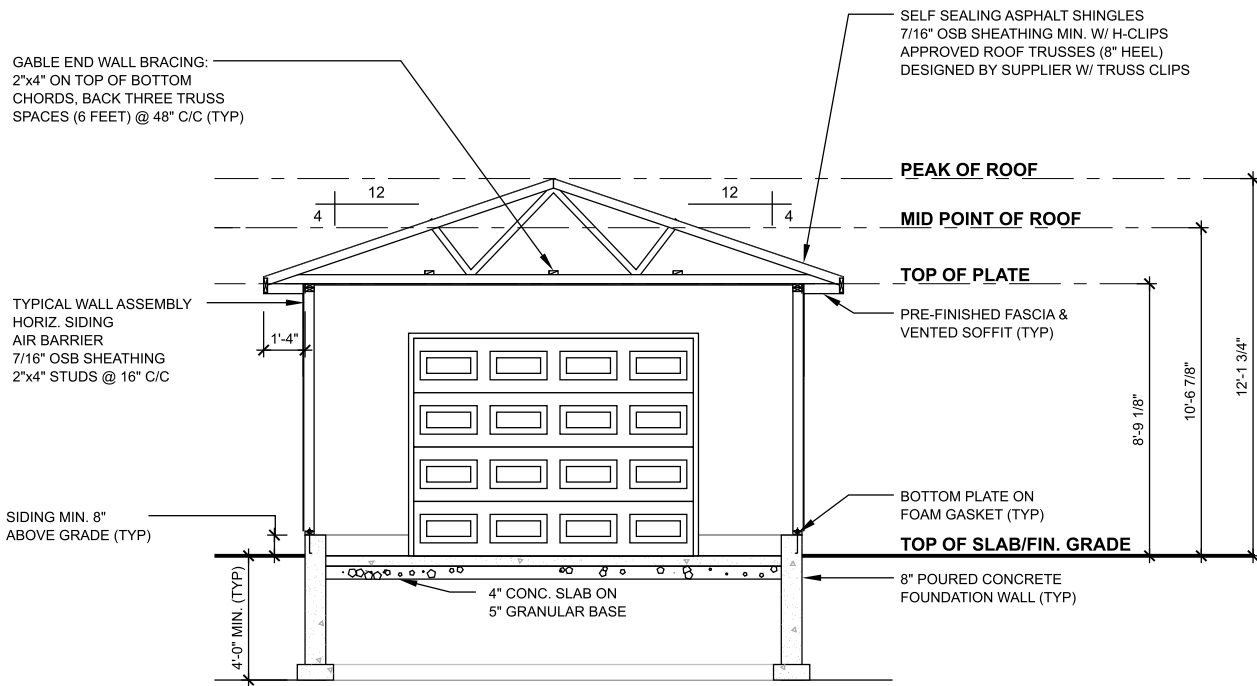
Report No:
GP-24-51319

Drawing No:
A-7



Sheet Size: 11x17

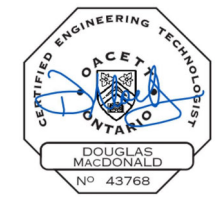
A19-24 800 Montsell Ave
Attachment 3
Page 7 of 8



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BUILDING SECTION

Report No: GP-24-51319
Drawing No: A-8

Sheet Size: 11x17

A19-24 800 Montsell Ave
Attachment 3
Page 8 of 8

Site Photos

800 Montsell Ave
Facing West



800 Montsell Ave
Facing South



800 Montsell Ave
Facing North



800 Montsell Ave
Facing South



800 Montsell Ave
Facing South-East



800 Montsell Ave
Facing East



To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Lampietro, Manager, Development Engineering
Cory Repath, Sr. Development Inspector
Vikum Wegiriya, Jr. Development Technologist
Matthew DeLuca, Jr. Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: September 19th, 2024

Re: MINOR VARIANCE A19-24
800 Montsell Ave
Plan 331, Lot 42
ROLL NO.: 138-223

The Development Engineering Division has the following **conditions** for Minor Variance Application No. A19-24:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
 - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.