










History of Allocation Assignment from York Region to Town of Georgina Development Categories

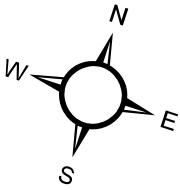
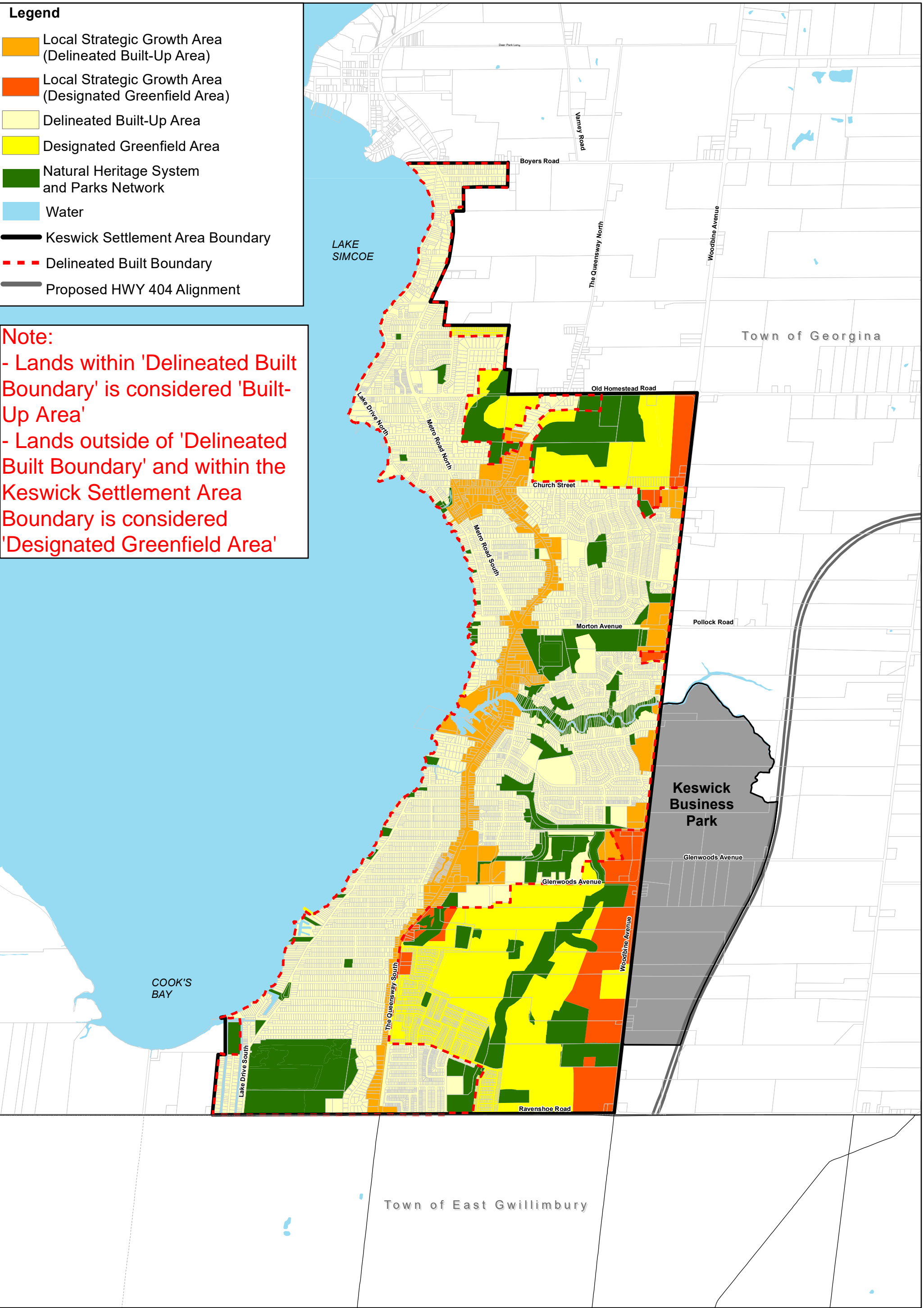
Event	Report or Resolution	Year	York Region KWRRF Allocation to Town (p.e.)	Allocation Assignment to Development Category	SERVICING DEDICATED TO DEVELOPMENT CATEGORIES (p.e.)										
					KBP	ICI	Cat 1 - Existing	Cat 2 & 3 - Res	2021 New Cat 2 - Built Up Area	2021 New Cat 3 - Minor Infill	Cat 4 - SJPS	Cat 5 - WB	2021 New Cat 6 - Greenfield	2021 New Cat 7 - Rental	2021 New Cat 8 - Non-profit
1	DS-96-51	Pre-1996	27000.00												
2	DS-96-51	Pre-1996		25573.70		638.00	24935.70								
3	DS-96-51, CW-96-276	1996	6000.00												
4	DS-96-51, CW-96-276	1996		6000.00								6000.00			
5	PB-2002-0118, C-2002-0732, CW-2002-0566	2002		1500.00								1500.00			
6	PB-2002-0118, C-2002-0732, CW-2002-0566	2002		58.00				58.00							
7	PB-2007-0066, C-2007-0024	2007						58.00			34.80	-92.80			
8		2013	8000.00												
9	implement previous decision (PB 2008-0132)	2013		8000.00	4000.00			4000.00							
10		2015	4000.00												
11	implement previous decision (SC-2008-0544)	2015		4000.00	2000.00			2000.00							
12		2016		50.00							50.00				
13	June 29, 2020 briefing note	2020	4000.00												
14	C-2021-0139	2021		2000.00					2000.00						
15	C-2021-0139	2021		2000.00	2000.00										
16	C-2021-0139	2021			-3190.00	173.70			448.58	190.00			1696.02	250.00	250.00
Total			49000.00	49181.70	4810.00	811.70	24935.70	6116.00	2448.58	190.00	84.80	7407.20	1696.02	250.00	250.00

Legend

-  Local Strategic Growth Area
(Delineated Built-Up Area)
-  Local Strategic Growth Area
(Designated Greenfield Area)
-  Delineated Built-Up Area
-  Designated Greenfield Area
-  Natural Heritage System
and Parks Network
-  Water
-  Keswick Settlement Area Boundary
-  Delineated Built Boundary
-  Proposed HWY 404 Alignment

Note:

- Lands within 'Delineated Built Boundary' is considered 'Built-Up Area'
- Lands outside of 'Delineated Built Boundary' and within the Keswick Settlement Area Boundary is considered 'Designated Greenfield Area'



DRAFT

November 23, 2020

Schedule A: Growth Management

KESWICK SECONDARY PLAN

Town of Georgina

Attachment 2
DS-2024-0041
Keswick WPCP
Page 1 of 1



PLAN  Natural Heritage



ESTABLISHED 1995

JUDGE'S PLAN 602



Sutton / Jackson's Point Secondary Plan

Schedule B - Land Use Plan

- Environmental Protection Area
- Major Public Parks / Open Space
- Major Recreational Area
- Rural / Agricultural Area
- Stable Residential Area
- Redevelopment Opportunity Area
- New Residential Area
- Institutional / Community Area
- Existing Elementary School
- Existing Secondary School
- Proposed Elementary School
- Rural Modular Home Park
- High Street Historic Centre
- High Street Centre Extension
- Jackson Point / Lake Drive Centre
- Dalton Road North Corridor
- Dalton Road South Corridor
- Tourist Commercial Area
- General Commercial Area
- Sewage Treatment Plant
- Secondary Plan Boundary
- Urban Service Boundary
- Proposed HWY 404 Extension

OMB Approved
July 17, 2013

0 60 120 180 240
Meters

Scale 1:6,517

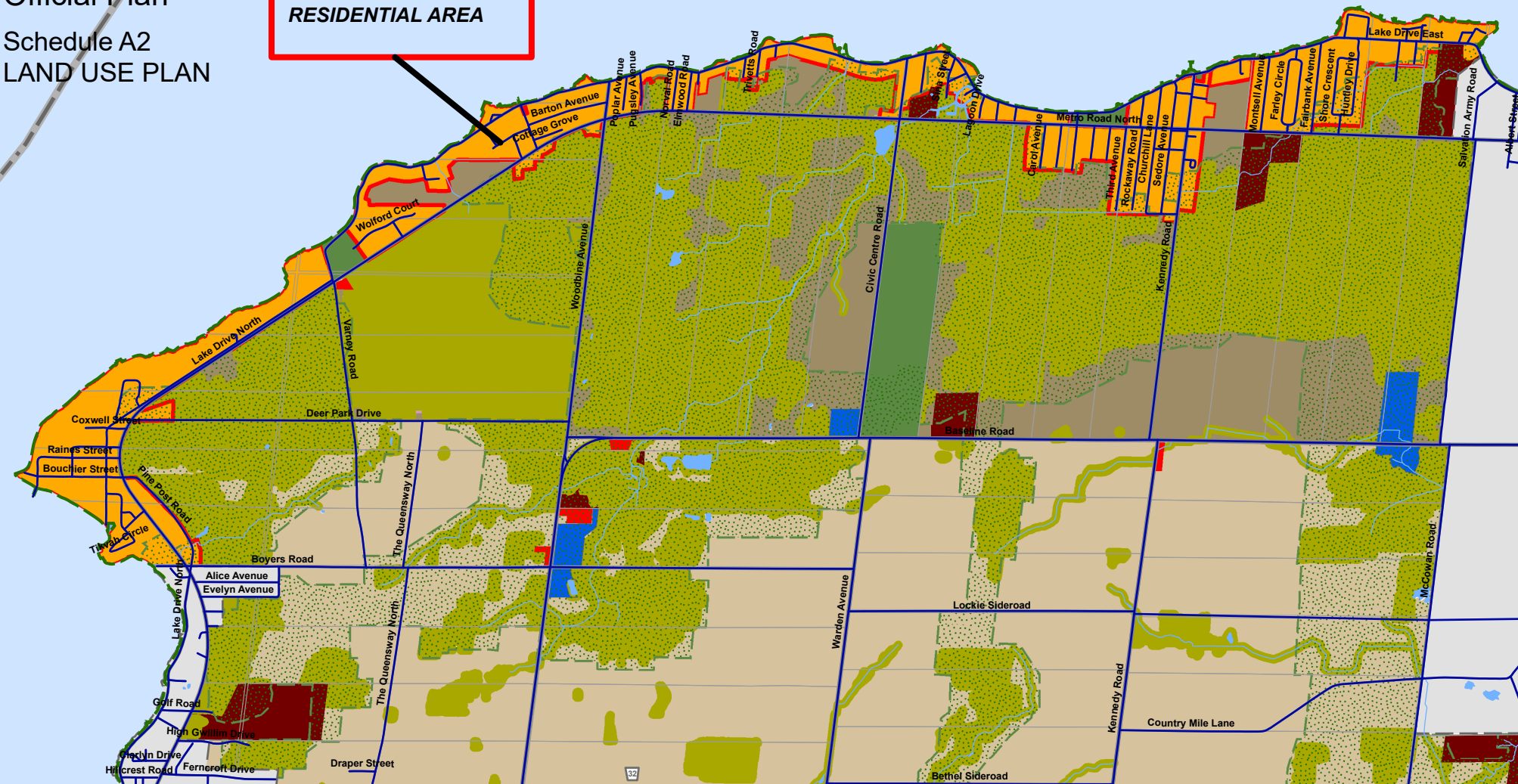
Revised: 26.09.2019

Attachment 3
DS-2024-0041
Keswick WPCP
Page 1 of 1

Town of Georgina

Official Plan
Schedule A2
LAND USE PLAN

**SERVICED LAKESHORE
RESIDENTIAL AREA**



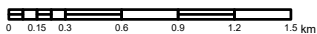
LAND USE DESIGNATIONS

- | | |
|-------------------------------------|-------------------------------|
| Lakeshore Residential Area | Commercial Recreation Area |
| Serviced Lakeshore Residential Area | Rural Industrial Area |
| Urban Residential Area | Parkland Area |
| Hamlet Area | Rural Area |
| Rural Commercial Area | Agricultural Protection Area |
| | Environmental Protection Area |

- Specialty Crop Area
- Greenlands System
- Keswick Business Park Study Area
- OTHER**
- Renewable Energy Project
- Waste Disposal Site (Closed)
- Certain properties may be subject to special provisions. Please see Schedule I for their locations

BASE MAP INFORMATION

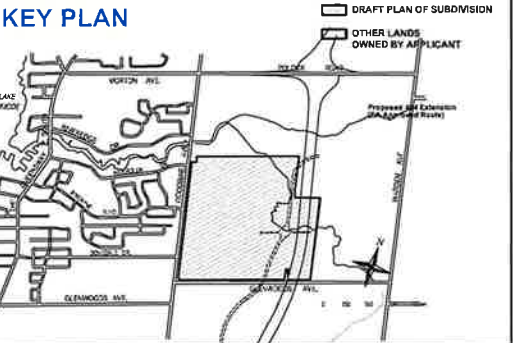
- Provincial Highway
- Regional Road
- Road
- Railway
- Municipal Boundary
- Regional Boundary
- Hydro Corridor
- Watercourse/Waterbody
- Lake Simcoe



Sources: Town of Georgina, Regional Municipality of York, ArcGIS Online Basemaps, Lake Simcoe Region Conservation Authority, Produced by York Region and MHBC Planning under licence from Ontario Ministry of Natural Resources, Copyright © Queens Printer 2015

DRAFT PLAN OF SUBDIVISION 19T-13G02

Part of Lots 7 & 8, Conc. 4, 23965 Woodbine Ave., Part of W 1/2 Lot 6, Conc. 4 (NG) Part 1, Reference Plan 65R-13672, 23675 Woodbine Ave., Part W 1/2 Part E 1/2 Lot 6 & Part Lot 7, Conc. 4 (NG) 2596 Glenwoods Ave. Geographic Township of North Gwillimbury TOWN OF GEORGINA REGIONAL MUNICIPALITY OF YORK



SCHEDULE OF LAND USE

LOT/BLOCK	LAND USE	AREA (ha)
1	Industrial Lot	33.93
2-5	Future Development	61.31
6	Storm Water Management Facility	3.31
7	Pumping Station	0.87
8	Greenlands	9.42
9-10	Road Widening	0.19
11-13	Regional Intersection Right-of-Way	0.19
14-18	0.3m Reserves	0.01
Street A-D	26.0-23.0m R.O.W. - 1,854m	4.65
TOTAL		113.87

ADDITIONAL INFORMATION

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT CHAPTER P.13 (R.S.O. 1990.)

(a),(b),(e),(f),(g),(j),(l) - As shown on the Draft Plan.

(c) - As shown on the Draft and Key Plan.

(d) - Land to be used in accordance with the Schedule of Land Use.

(i) - Soil is silt and sandy loam.

(h),(k) - Full municipal services to be provided.

NOTE: Contours relate to Canadian Geodetic Datum.

Contour interval is 1m with .5m interpolated.

OWNER'S AUTHORIZATION

I hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the Town of Georgina.

See Original 7/15/2021 Date
12501252 Canada Inc.; Greycan 12 Properties Inc.

SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

See Original October 9, 2013 Date
Rady-Pentek & Edward Surveying Ltd., O.L.S.

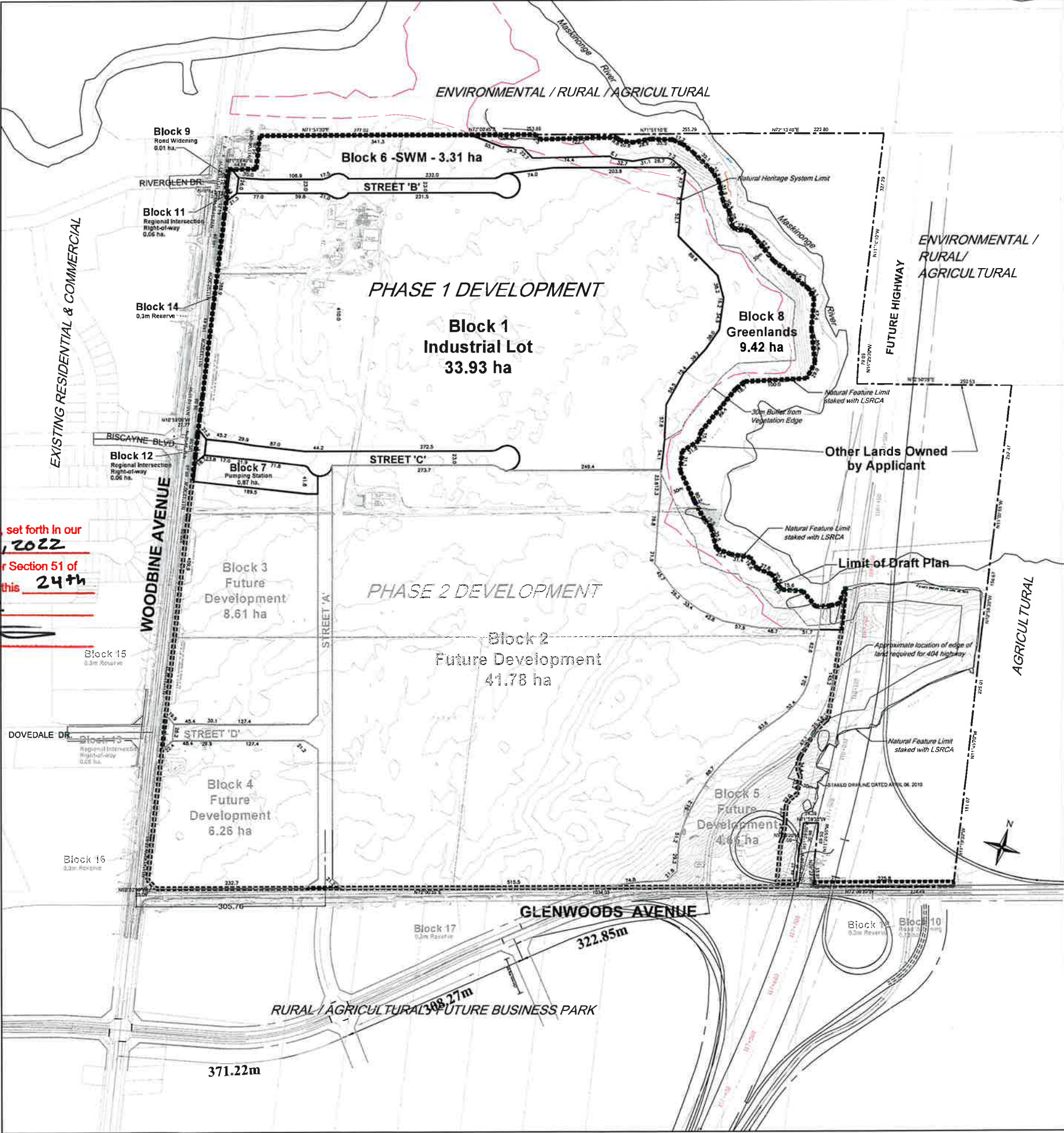
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Date: July 13, 2021 Project No.: 21-2941

Revisions

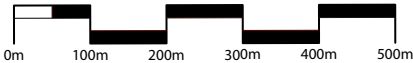
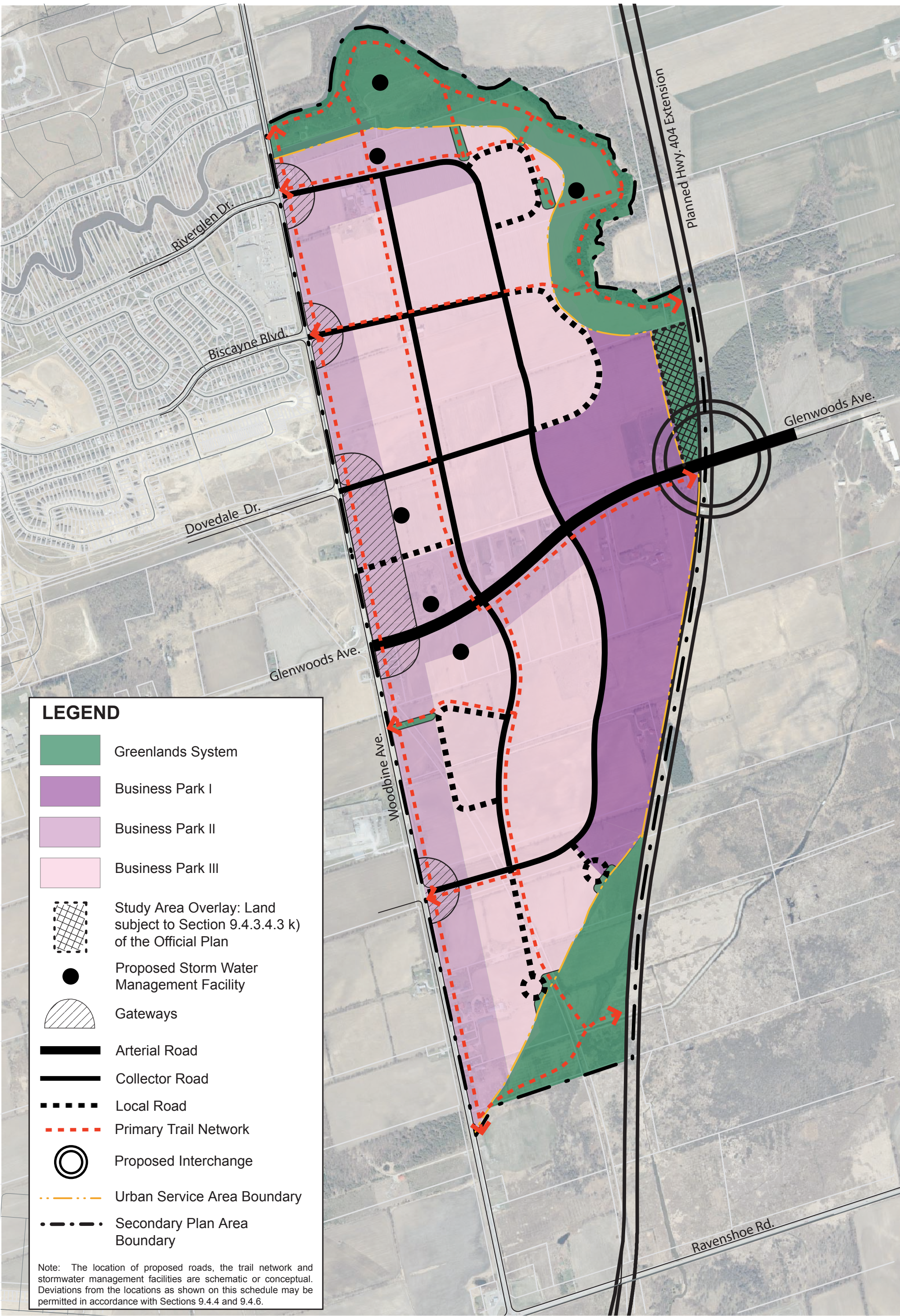
Date	Revised	By	Initial
Dec 17/21	Revised Blocks from Site Plan	DR	
Feb 16/22	Revised Street A alignment	DR	
Mar 9/22	Revised Blocks	DR	

Prepared by: MGP Malone Given Parsons 140 Renfrew Drive, Suite 201 Markham, Ontario, L3R 6B3 Tel: (905) 513-0170 Fax: (905) 513-0177 www.mgp.ca



Subject to the conditions, if any, set forth in our letter dated May 24, 2022 the draft Plan is approved under Section 51 of the Planning Act, R.S.O. 1990, this 24th day of May 2022

Harold W. Lenters
Harold W. Lenters, M.C.I.P., R.P.P.
Director of Development Services



TOG File Number	Allocation Category	Application / File Name	Units/Population (Allocated)																	Gross Required Servicing (p.e.)	Credit (p.e.)	Net Required Servicing (p.e.)	Allocation Status (p.e.)				Municipal Staff Comment	Notes	
			Single	Single Pop	Semi	Semi Pop	Towns	Town Pop	Apt	Apt Pop	Seniors ICI (U)	Seniors ICI Pop	Seniors ICI (B)	Seniors ICI Pop	Retire. Dev.	Retire. Dev. Pop	Industrial (ha)	Industrial Pop	Total Units				Total Pop	Requested	Reserved	Committed			Gone
C.3.20 - SPA	Category 2	Cortel "The Lighthouse" (formerly The South Shore / Crates Landing)		0		0		0	160	320		0		0		0		0	160	320	320.00	-198.00	122.00	-		198.00		SPA - The South Shore (formerly 19T-05G05, 19CDM-05G04 & 19CDM-05G05 - Brookfield Millhouse Inc. / Crate's Landing). - Has obtained servicing allocation credits through York Region's Sustainable Development through Leed Program to service 61 apartment units, over and above the 99 proposed units	this value is credited in new Cortel The Lighthouse application
19T-05G05 19CDM-05G04 19CDM-05G05	Category 9	Cortel "The Lighthouse" (formerly The South Shore / Crates Landing)		0		0		0		0	140	210		0		0		0	140	210	210.00		210.00			210.00		Brookfield Millhouse Inc.; s/w corner Cameron Cres. - now known as "The South Shore" - proposed hotel 140 units	new application submitted without hotel units
19T-05G05 19CDM-05G04 19CDM-05G05	Category 2	Cortel "The Lighthouse" (formerly The South Shore / Crates Landing)		0		0		0	380	790.4		0		0		0		0	380	790.4	790.40	-198.00	592.40	592.40				232 Cameron Cresent (Cortel The Lighthouse); see File C.3.20 SPA above formerly Crate's Landing; 198 p.e. previously committed, 2.0 x99 units and shown as credit here) not planning on a LEEDS building so no 61 unit (122 pe) credit would be available from YR	remove 122 p.e. if no LEEDS bldg
B15-22 (Consent to Sever) B23-22 (Consent for Easement)	Category 9	48 Glenwoods Ave - LTC (Rykka)		0		0		0		0		0	192	192		0		0	192	192	192.00		192.00	192.00	-		-	48 Glenwoods Ave - LTC proposal (Rykka) Provincial announcement for 192 LTC beds April 2022 prior to application submission Allocation to be formally assigned at Site Plan	
C.3.20 - SPA	Category 2	MTCO Holdings Inc. (behind Swiss Chalet)		0		0		0		0	520	780		0		0		0	520	780	780.00		780.00	-	780.00	-	-	MTCO Holdings Inc. (behind Swiss Chalet); PROPOSED mixed-use retirement community containing: - 198 Seniors Apts + 71 Assisted Living units + 251 Retirement Home units + 520 units - PLUS 461 sq.m. commercial floor area - listed under Cat 2 as ICI Cat does not have enough servicing; C-2021-0147 reserved allocation	no action on file since 2021
03.1156 ZBA	Category 2	169 Old Homestead Rd	4	11.12	8	21.04		0		0		0		0		0		0	12	32.16	32.16		32.16	-	-	-	- 4 SFD, existing sfd to be municipally serviced - 8 semi-detached	file dormant since PM July 21, 2021; reaching out to applicant re withdrawal	
03.1154	Category 3	508-514 The Queensway (Crojan Investments)		0		0	8	21.92		0		0		0		0		0	8	21.92	21.92	2.78	24.70	24.70	-	-	-	Redevelop SFD to 8 stacked townhomes	dormant since PM June 16, 2021; reaching out to applicant re withdrawal
*19T-14G01 01.137	Category 6	Greystone/Middleburg (s/s Old Homestead)	187	519.86		0		0		0		0		0		0		0	187	519.86	519.86		519.86	-	519.86	-	-	- Approved and Allocation Preliminarily Assigned via Resolution C-2017-0329; LPAT approved zbl, no Hold symbol for allocation	dormant since 2017, now working toward registration of Ph1 in 2024 of 113 sfd (314.14 pe)
*19T-18G01 01.147	Category 6	Simcoe Landing (DG Group) Ph 10	567	1576.26		0	24	65.76		0		0		0		0		0	591	1642.02	1642.02		1642.02	-	1642.02	-	-	- Approved and Allocation Preliminarily Assigned via Resolution C-2018-0487, updated allocation req through redline revisions; no progress toward registration; redlined draft plan lapses October 31, 2025	earthworks agmt May 2023; waiting on 2nd engineering submission and working toward pre-servicing agmt
*03.1099 - ZBA	Category 6	Blanchard & 703616 Ont Inc (n/s Church St)	12	33.36		0		0		0		0		0		0		0	12	33.36	33.36		33.36	-	-	33.36	-	- 12 existing sfd lots; ZBA approved and Allocation formally assigned via Resolution C-2019-0197	moved from Cat 2
*19T-20G01 01.155	Category 6	Starlish Home (BT) Corp Ph3 and Orchardtrail Building (BT) Corp Ph1	240	667.2		0	50	137		0		0		0		0		0	290	804.2	804.20		804.20		528.98	-	275.22	- 773.58 p.e. Allocation committed by resolution Resolution No. C-2022-0276 from Category 6 - Greenfield Development, for 228 singles and 51 towns (includes 20 part lots on Starlish Ph 3 and Orchardtrail Ph 1 to be merged to create 10 whole lots for single detached dwellings shared between Starlish Ph 3 lands and Orchardtrail Ph 2 lands); added request for 12 more singles and 1 less town in Orchardtrail Ph1 not yet approved	Starlish Ph3 registered; Orchardtrail Ph 1 registration expected in Q1 2025; confirm when redline revision to add 12 more singles and one less town is approved
ZBA 03.1157	Category 7	27, 33, 43 The Queensway South Risi Purpose Built Rental							84	174.72								84	174.72	174.72	-7.64	167.08		167.08				C-2023-0243; ZBL not yet passed; no further action	
																								841.26	3637.94	441.36			

SURVEY OF MUNICIPAL SERVICING ALLOCATION ASSIGNMENT POLICIES		
Municipality	Summary	Links
Town of Newmarket Servicing Allocation Policy 2022	<p>Prioritizes development in Urban Centres Secondary Plan area. Establishes a points system including indices including participation in a Sustainable Development through LEED Incentive program, the provision of affordable housing and other criteria to determine priority rankings.</p> <p>Provides that where development has not taken place in one year from the time that servicing capacity has been allocated, such capacity may be assigned to other developments. Provides that property owners must apply to have their allocation extended by Council.</p>	Link to policy
City of Vaughan Allocation of Servicing Capacity Policy 2019	Establishes a priority ranking system for the assignment of allocation based upon the assumption of development timing. Priority 1 and Priority 2. Provisions are included for the automatic revoking of allocation after certain time periods. Provisions are included to prioritize developments based upon participation in any specified sustainability incentive programs. The program establishes that servicing capacity may be redistributed if an active development application does not proceed to registration and / or building permit within 36 months	Link to policy
Town of East Gwillimbury Servicing Allocation Policy 2023	Where servicing capacity has been allocated to an application and development of such land has not taken place in accordance with the table below, allocation is considered rescinded and the Town may re-allocate such servicing capacity to other development without further notice to the owner.	Link to Report and policy

	<table><tr><th>Application Type</th><th>Council Allocation Trigger</th><th>Assignment Period</th><th>Deadline for Use (Council Review)</th></tr><tr><td>Plan of Subdivision</td><td>Draft Approval</td><td>2 years</td><td>Registration</td></tr><tr><td>Plan of Condominium</td><td>Draft approval</td><td>12 months</td><td>Building Permit</td></tr><tr><td>Site Plan</td><td>Registration of the Agreement</td><td>18 months</td><td>Building Permit</td></tr><tr><td>Consent</td><td>COA Decision</td><td>2 years</td><td>Building Permit</td></tr></table> <p>Evaluation of the proposed development and accompanying servicing allocation requests will be assessed based on Council's stated development priorities.</p>	Application Type	Council Allocation Trigger	Assignment Period	Deadline for Use (Council Review)	Plan of Subdivision	Draft Approval	2 years	Registration	Plan of Condominium	Draft approval	12 months	Building Permit	Site Plan	Registration of the Agreement	18 months	Building Permit	Consent	COA Decision	2 years	Building Permit	
Application Type	Council Allocation Trigger	Assignment Period	Deadline for Use (Council Review)																			
Plan of Subdivision	Draft Approval	2 years	Registration																			
Plan of Condominium	Draft approval	12 months	Building Permit																			
Site Plan	Registration of the Agreement	18 months	Building Permit																			
Consent	COA Decision	2 years	Building Permit																			
Town of Aurora June 2021	Servicing policies are contained in the Official Plan. For plans of subdivision, allow for Allows for the revoking of allocation assignment if registration has not taken place within three years of draft approval. Policy allows for preliminary assignment of allocation at time of application. Assignment can be removed if no agreement is executed within one year. Allows for revoking of allocation if a building permit is not issued within 6 months of an executed agreement.																					
Township of King	No Town-wide policy in place. Existing policy applies only to Nobleton. The policy establishes commitment to prioritize allocation to service existing committed approvals. Reserves 15% of allocation for infilling and intensification projects. Policy establishes a three year time frame from draft approval of subdivision or site plan approval for building permits to be issued after which allocation may be revoked. Policy provides for criteria to be applied to rank projects for assignment in the event of insufficient capacity.																					
Town of Richmond-Hill 2004	Interim Policy for Allocating Sanitary Sewer Capacity. Policy under review. Establishes a set of priorities for the assignment of available allocation based on type of development and status of approvals. Reserves up to 5% of available capacity for specific types of development -e.g. modest infill, heritage preservation, social housing. Allows for the revoking of allocation within 2 years of assignment if building permits are not issued.																					

Town of Whitchurch Stouffville 2023	<p>The policy clarifies the timelines and process for withdrawing and reallocating capacity for the development. Where servicing capacity has been allocated, the maximum time period for which the servicing allocation will be maintained, and the deadline for the utilization of that servicing allocation.</p> <p>Draft Plans of Subdivision – allocation is assigned for a period of three years and automatically expires if the plan is not registered within 3 years of draft approval.</p> <p>Site Plan Agreement – servicing allocation rescinded upon expiration of the agreement / a specified time period in the agreement by which a building permit is not obtained</p> <p>Specific policies and fees are applicable to requests to extend servicing allocation. Authority for policy administration delegated to the Director</p>	Link to December 6, 2023 Council Agenda
Township of Uxbridge	<p>Basic policies relate to allocation are contained in the Official Plan. Preference is given to applications within the Built Boundary. Where there are competing applications they will be evaluated based on achievement of one or more specified criteria. Reservation of capacity remains in effect for a period of time determined by council not to exceed 5 years following which, allocation is automatically withdrawn with draft approval or consent has not been granted.</p>	Link to Policy