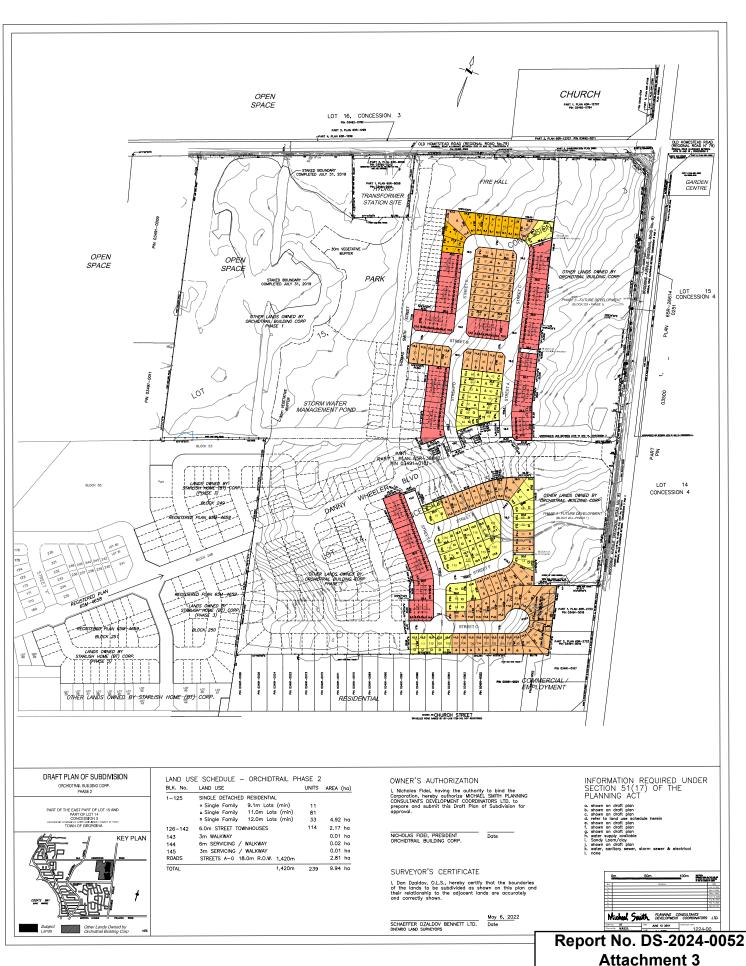


Report No DS-2024-0052
Attachment 2
Page 1 of 1



Attachment 3
Page 1 of 1

SUMMARY OF SUBMISSION DOCUMENTS

- Phase 2 Amending Zoning By-law and Schedule
- Draft Plan
- Functional Plan Intersection at Woodbine and Danny Wheeler Blvd
- Functional Plan Intersection at Old Homestead Rd and Street I
- Environmental Study
- Functional Servicing Report
- Hydrogeological study
- Traffic Impact Study
- Pre-consultation Checklist
- Topographic Survey
- Landscape and Open Space Plan
- Survey
- LSRCA Comments
- Subdivision Application
- Arborist Report
- Environmental Impact Study
- Architectural Renderings
- Geotechnical Report
- Hydrogeological Assessment
- Phase One ESA
- Water Balance Report
- Stage 3 Archaeological Assessment
- Stage 4 Archaeological Assessment

THE CORPORATION OF THE TOWN OF GEORGINA IN THE REGIONAL MUNICIPALITY OF YORK

BY-LAW NUMBER 2024-__ (PL-5)

A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW TO REGULATE THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF BUILDINGS AND STRUCTURES WITHIN THE TOWN OF GEORGINA.

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, the Ontario Municipal Board **ENACTS AS FOLLOWS:**

- 1. That Map 3, Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'T', on lands described as Part of Lot 14 and Part of Lot 15, Concession 3 (N.G.), shown in heavy outline and designated 'I/R1-XX(H)/R1-YY(H)/R3-XX(H)', 'R1-XX (H)', 'R1-XXB(H)', 'R1-YY(H)', 'R1-ZZ(H)', R1-ZZB(H), and 'R3-XX(H)', in Schedule 'A' attached hereto.
- 2. That Section 7.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 7.5.XX, the following:

Page 1 of 10 to By-law Number 2024- (PL-5)

a) Notwithstanding Sections 6.1 (a), (b), (c), (d), (e), (f), (i) and (j), the following requirements shall apply on lands shown in heavy outline and designated 'R1-XX(H)', 'R1-XXB(H)', 'R1-YY'(H)', 'R1-ZZ' and 'R1-ZZB(H)' in 'Schedule 'A' attached hereto:

Zone	R1-XX (H) and R1-XXB (H)	R1-YY (H)	R1-ZZ (H) and R1-ZZB (H)
Lot Frontage (Minimum)			
Interior Lot	9.1 metres	11.0 metres	12.0 metres
Corner Lot	11.1 metres	13.0 metres	14.0 metres
Lot Area			
(Minimum)			_
Interior Lot	270 m²	300 m²	350 m ²
Corner Lot	300 m	350 m²	420 m ²
Front Yard (Minimum)			
To Attached			
Garage	5.8 metres ¹	5.8 metres 1	5.8 metres ¹
To Dwelling	4 mastras 1	A mantra a 1	4 metres ¹
Futorion Cido Vand	4 metres ¹	4 metres 1	
Exterior Side Yard (Minimum)	2.4 metres 123	2.4 metres 123	2.4 metres 123
Rear Yard (Minimum)	6.0 metres	6.0 metres	6.0 metres
Interior Side Yard (Minimum)	1.2 metres on one side and 0.6 metres on the other, plus 0.5 metres for each additional or partial storey above the second 3 1.2 metres on one side and 0.6 metres or the other, plus 0.5 metres for each additional or partial storey above the second 3		one side and 0.6 metres on the other, plus 0.5 metres for each additional or partial storey above the second 3
Lot Coverage (Maximum)	Not Applicable	Not Applicable	Not Applicable
Height of Dwelling	R1-XX(H):	13.0 metres	R1-ZZ(H):
(Maximum)	13.0 metres		13.0 metres
	R1-XXB(H):		R1-ZZB(H):

Page 2 of 10 to By-law Number 2024- (PL-5)

Zone	R1-XX (H) and R1-XXB (H)	R1-YY (H)	R1-ZZ (H) and R1-ZZB (H)
	12.0 metres		12.0 metres

- 1. The minimum setback for the main wall of a dwelling to a sight triangle which forms part of the street shall be 2.4 metres, and the minimum setback for any other building or structure to a sight triangle which forms part of the street shall be 0.6 metres.
- 2. Pursuant to By-law Number 2004-0078 (PWO-2), as amended, no entrance shall be permitted to provide access to the exterior flankage of a corner lot.
- 3. The minimum exterior side yard setback shall be 3.0 metres if the exterior side yard abuts a road having a width of 23 metres or greater.
- 4. Where there is a detached garage in the rear yard of a lot, the minimum interior side yard on the side providing access to a detached garage shall be 3.5 metres.
- 5. Notwithstanding the provisions set forth above, while the 'H" Holding symbol is in place, no person shall within the lands zoned 'R1-XX(H)', 'R1-XXB(H)', 'R1-YY(H)', 'R1-ZZ(H)' and 'R1-ZZB(H)' in Schedule 'A' attached hereto, use any lot or erect, alter or use any buildings or structures for any purpose, except for two model homes which may be used as part of the sales program but may not be occupied until the (H) symbol is removed.

No erection, alteration or use of any building may be permitted on the lands zoned 'R1-XX(H)', 'R1-XXB(H)', 'R1-YY(H)', 'R1-ZZ(H)' and 'R1-ZZB(H)' until a by-law is passed pursuant to Section 36 of the Planning Act, to remove the '(H)'Holding symbol from the lands zoned 'R1-XX(H)', 'R1-XXB(H)', 'R1-YY(H)', 'R1-ZZ(H)' and 'R1-ZZB(H)' under the following circumstance:

- That the Director of Development Services has confirmed that adequate water and sanitary sewer capacity has been made available for the Subject Lands.
- Notwithstanding Section 190 Storey within the 'R1-XX(H)', 'R1-XXB(H)' 'R1-YY (H)', 'R1-ZZ(H)' and 'R1-ZZB(H)' zones, any portion of a building partly below grade level shall not be deemed a storey unless its ceiling is at least 2.5 metres above average finished grade.
- 7. Notwithstanding Section 2.99, 'Height' means the vertical distance of a building or structure measured between the average finished grade along the front elevation of the building and the highest point of the roof surface.
- b) Notwithstanding Sections 5.28 (b), (h) and (i), and any other provisions to the contrary, the following additional requirements shall apply to garages, driveways, and parking areas:

Page 3 of 10 to By-law Number 2024-___ (PL-5)

- i) On lands zoned 'R1-XX(H)' and 'R1-XXB(H)', the minimum number of parking spaces shall be two, one of which may be located in a driveway private to the unit and in the front yard.
- ii) Every lot shall provide a garage.
- iii) The minimum interior dimensions of a single parking space garage in the `R1-XX (H)' and 'R1-XXB (H)' zones shall be 3.0 metres in width by 5.7 metres in length. Furthermore, the maximum interior garage width shall be 3.5 metres. In the 'R1-YY' and 'R1-ZZ' zones, the minimum interior garage dimensions shall be 5 metres X 5.7 metres.
- iv) No encroachments shall be permitted into a required parking space located within a garage, save and except for one step (2 risers) into the minimum garage length.
- v) No part of an attached garage shall project beyond the front wall of the first storey of the dwelling except where a porch is provided, in which case the attached garage shall not project beyond the front of the porch.
- vi) In the case of a dwelling with an attached garage, no part of any driveway or parking area in the front yard shall be located closer than 0.6 metres from a sight triangle and 0.6 metres from a side lot line. Furthermore, the minimum width of a driveway or parking area in the front yard shall be 5.0 metres and the maximum width of a driveway shall be the interior width of the attached garage on the lot, plus 0.5 metres.
- vii) In the case of a lot with a detached garage in the rear yard, no part of any driveway or parking area shall be located closer than 0.9 metres from a side lot line. Furthermore, the minimum width of a driveway leading to a parking area and a detached garage in the rear yard shall be 2.5 metres, and the maximum width of a driveway or parking area in the front yard shall be 3 metres.
- c) Notwithstanding the provisions of Section 5.12, the erection of fences on residential lots shall be subject to the following:
 - i) Fences not exceeding 2 metres in height are permitted in the rear yard, as well as within the back half of the interior side yard. Such fences are exempt from the minimum yard requirements. Any

fence within the above noted yards that exceeds 2 metres in height must be erected in compliance with the minimum yard requirements for the appropriate zone.

- ii) Fences are permitted in the front and exterior side yards, as well as the front half of the interior side yard, provided such fence does not exceed 0.9 metres in height. Such fences are exempt from the minimum yard requirements of the by-law.
- iii) Notwithstanding ii) above, where the front yard abuts the rear yard or back half of the interior side yard of an abutting residential lot, fences not exceeding 2 metres in height are permitted along the common lot line.
- iv) Notwithstanding i) and ii) above, where a lot or block abuts a commercial zone, a fence may be erected along the common lot line or in the commercial zone to a maximum height of 3 metres.
- d) Notwithstanding Section 5.45 (a) as it applies to yard encroachments for Unenclosed Porches and Steps in the required front and exterior side yard areas, unenclosed porches are permitted to encroach 2 metres into any required front yard or exterior side yard with an additional 0.5 metre encroachment permitted for steps. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.
- e) Notwithstanding Section 5.45(a) as it applies to yard encroachments for Window Bays in the required front, rear, interior and exterior side yard areas, Bay, Box-out, and Bow Windows with or without foundations with a maximum width of 3.2 metres may project into any required front, rear or exterior side yard a maximum distance of 1 metre. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply."

"9.5.XX LOTS 14 & 15 CONCESSION 3 (N.G.)"

`R3-XX(H)' (Map 3)

a) Notwithstanding Sections 6.6 (a) to (j), inclusive, the following requirements shall apply on lands shown in heavy outline and designated 'R3-XX(H)' in 'Schedule 'A' attached hereto:

Page 5 of 10 to By-law Number 2024- (PL-5)

Lot Frontage (minimum)	
Interior Lot	6.0 metres
End Lot	7.5 metres
Corner Lot	8.5 metres
Lot Area per Unit (minimum)	
Interior Lot	165 m ²
End Lot	205 m ²
Corner Lot	235 m ²
Front Yard (minimum)	
To Attached Garage	5.8 metres ¹
To Dwelling	4.0 metres
Exterior Side Yard (minimum)	2.4 metres ²
Rear Yard (minimum)	6.0 metres
Interior Side Yard (minimum)	
Interior Units (two walls attached	nil
End Units (one wall attached)	1.2 metres
Floor Area per Dwelling Unit (minimum)	75 square metres
Lot Coverage (maximum)	Not applicable
Height of Dwellings (maximum)	13.0 metres
Number of Townhouse Dwelling Units per	1
Lot (maximum)	

- 1. The minimum setback for the main wall of a dwelling to a sight triangle which forms part of the street shall be 2.5 metres, and the minimum setback for any other building or structure to a sight triangle which forms part of the street shall be 0.6 metres.
- 2. Pursuant to By-law Number 2004-0078 (PWO-2), as amended, no entrance shall be permitted to provide access to the exterior flankage of a corner lot.
- 3. Notwithstanding the provisions set forth above, while the 'H" Holding symbol is in place, no person shall within the lands zoned "R3-XX(H)" in Schedule 'A' attached hereto, use any lot or erect, alter or use any buildings or structures for any purpose, except for two model homes which may be used as part of the sales program but may not be occupied until the (H) symbol is removed.
- 4. No erection, alteration or use of any building may be permitted on the lands zoned "R3-XX(H)" until a by-law is passed pursuant to Section 36 of the Planning Act, to remove the '(H)'Holding symbol from the lands zoned "R3-XX(H)', under the following circumstance:
 - That the Director of Development Services has confirmed that adequate water and sanitary sewer capacity has been made available for the Subject Lands.
- 5. Notwithstanding Section 190 Storey within the 'R3-XX(H)' 'zone, any portion of a building partly below grade level shall not be deemed a storey unless its ceiling is at least 2.5 metres above average finished grade.

Page 6 of 10 to By-law Number 2024- (PL-5)

- 6. Notwithstanding Section 2.99, 'Height' means the vertical distance of a building or structure measured between the average finished grade along the front elevation of the building and the highest point of the roof surface.
- b) Notwithstanding Sections 5.28 (h) and (i), and any other provisions to the contrary, the following additional requirements shall apply to garages, driveways, and parking areas:
 - i) Every lot shall provide a garage.
 - ii) The minimum interior dimensions of a garage shall be 3.0 metres in width by 5.7 metres in length. Furthermore, the maximum interior garage width shall be 3.5 metres.
 - iii) No encroachments shall be permitted into a required parking space located within a garage, save and except for one step (2 risers) into the minimum garage length.
 - iv) No part of an attached garage shall project beyond the front wall of the first storey of the dwelling except where a porch is provided, in which case the attached garage shall not project beyond the front of the porch.
 - c) Notwithstanding the provisions of Section 5.12, the erection of fences on residential lots shall be subject to the following:
 - v) Fences not exceeding 2 metres in height are permitted in the rear yard, as well as within the back half of the interior side yard. Such fences are exempt from the minimum yard requirements. Any fence within the above noted yards that exceeds 2 metres in height must be erected in compliance with the minimum yard requirements for the appropriate zone.
 - vi) Fences are permitted in the front and exterior side yards, as well as the front half of the interior side yard, provided such fence does not exceed 0.9 metres in height. Such fences are exempt from the minimum yard requirements of the by-law.
 - vii) Notwithstanding ii) above, where the front yard abuts the rear yard or back half of the interior side yard of an abutting residential lot, fences not exceeding 2 metres in height are permitted along the common lot line.

Page 7 of 10 to By-law Number 2024- (PL-5)

- d) Notwithstanding Section 5.45 (a) as it applies to yard encroachments for Unenclosed Porches and Steps in the required front and exterior side yard areas, unenclosed porches are permitted to encroach 2 metres into any required front yard or exterior side yard with an additional 0.5 metre encroachment permitted for steps. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.
- e) Notwithstanding Section 5.45(a) as it applies to yard encroachments for Window Bays in the required front, rear, interior and exterior side yard areas, Bay, Box-out, and Bow Windows with or without foundations with a maximum width of 3.2 metres may project into any required front, rear or exterior side yard a maximum distance of 1 metre. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply."

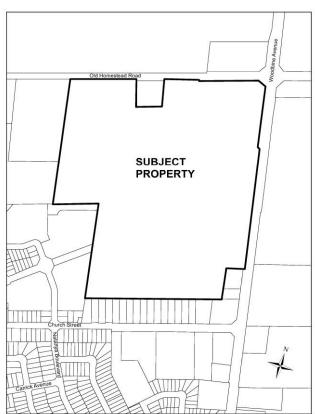
This by-law shall be signed by the Mayor and Clerk, affixed with the seal of the Corporation and engrossed in the By-law book.

READ and ENACTED this day	of, 2024
	Mayor, Margaret Quirk
	Town Clerk, Rachel Dillabough

Page 8 of 10 to By-law Number 2024-___ (PL-5)

ORCHIDTRAIL BUILDING CORP.) (TOWN FILE NO.: 03.1169)

- 1. The purpose of Zoning By-law Number 2024- (PL-5), which amends Zoning By-law Number 500, is to rezone the subject land from Transitional (T) to Compound Zone [I/R1-XX(H)/R1-YY(H)/R3-XX(H)], Low Density Residential [R1-XX (H)], Low Density Residential [R1-XXB(H)], Low Density Residential [R1-YY(H)], Low Density Residential [R1-ZZ(H)], Low Density Residential [R1-ZZB(H)], and Medium Density Residential [R3-XX(H)] to facilitate and implement a proposed residential plan of subdivision.
- 2. Zoning By-law Number 2024-< > (PL-5) will conform to the Town of Georgina Official Plan, as amended by OPA No. ___, being the Keswick Secondary Plan.
- 3. A **Key Map** showing the location of the land to which By-law Number 2024- (PL-5) applies is shown below.



Page 9 of 10 to By-law Number 2024-___ (PL-5)

PART OF THE EAST PART OF LOT 15 AND PART OF LOT 14, CONCESSION 3 TOWN OF GEORGINA REGIONAL MUNICIPALITY OF YORK

FORMERLY IN THE TOWNSHIP OF NORTH GWILLIMBURY COUNTY OF YORK

THIS IS SCHEDUL BY-LAW	E 'A' TO
PASSED THIS	DAY OF
202	4
CLERK	
MAYOR	



SCHEDULE 'A' TO BY-LAW 500-2024-XX

Attachment 5
Page 10 of 10

Department / Agency	Date Received	Comments	─COMMENTS
Department/Agency Building	October 16, 2022		
	October 16, 2022	No comments	
Septic Inspector			
Clerks Division Community Services-Parks & Operations	November 7, 2022	1. Arborist Report. Provide Tree Compensation Planting Plan for review. 2. Site Plan. Show trail connections for this phase per the Keswick Secondary plan, corroads and stormwater management ponds. The proposed park block 55 at 0.15ha seems small for the proposed size of would like a larger space provided so that programming for active use carcomment, as well as comment on proposed connections to other park blospace for active programming within the development overall (such as at courts).	of the housing development, the Town n be undertaken. Please review and ocks, and identify those that will have
Engineering			
Georgina Fire Department		The Georgina Fire Department has no objections to the proposal and pro 1. All construction shall be in conformance with the Ontario Building Code 2. Adequate water supply for firefighting shall be provided 3. Prior to the construction phase, the developer will be required to provi Chief Building Official and/or the Chief Fire Official. 4. We would ask that the Developer give consideration to the installation homes and meet with Georgina Fire to discuss the benefits of this life safe	e. ide a fire break plan for approval by the of a residential sprinkler system in the
Municipal Law	March 21, 2023	No comments	
Operations & Infrastructure			
		2. Site Plan. Show trail connections for this phase per the Keswick Secondary plan, corroads and stormwater management ponds. The proposed park block 55 at 0.15 has seems small for the proposed size of would like a larger space provided so that programming for active use car comment, as well as comment on proposed connections to other park blospace for active programming within the development overall (such as at courts).	of the housing development, the Town n be undertaken. Please review and ocks, and identify those that will have
Planning			
Tax & Revenue	October 19, 2022	No comments	
Bell Canada	October 24, 2022	The following paragraphs are to be included as a condition of approval: "The Owner acknowledges and agrees to convey any easement(s) as deel service this new development. The Owner further agrees and acknowledge cost to Bell Canada. The Owner agrees that should any conflict arise with existing Bell Canada easement exists within the subject area, the Owner shall be responsible for easements at their own cost." Upon receipt of this comment letter, the Owner is to provide Bell Canada earliest convenience to planninganddevelopment@bell.ca to confirm the communication/telecommunication infrastructure needed to service the It shall be noted that it is the responsibility of the Owner to provide entra existing network infrastructure to service this development. In the event exists, in accordance with the Bell Canada Act, the Owner may be require network infrastructure. If the Owner elects not to pay for the above noted connection, Bell Canada this development	facilities where a current and valid for the relocation of any such facilities with servicing plans/CUP at their provision of development. Ince/service duct(s) from Bell Canada's that no such network infrastructure d to pay for the extension of such
Canada Post	August 15, 2023	Provisions are already in place with regard to centralized mail delivery to Community Mailbox for the above noted vicinity that can be configured t accommodate this new growth. As such, there will be no requirements of developer/owner. However, I would appreciate being re-circulated for co on any changes to the application. Please ask that the developer contact me 60 days in advance of occupance arrange for setup of mail delivery.	o f the mmenting

Department/Agency	Date Received	Comments
Enbridge Gas	November 9, 2022	
		Enbridge Gas Inc. does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not constitute a pipe locate, clearance for construction or availability of gas. The applicant shall contact Enbridge Gas Inc.'s Customer Connections department by emailing SalesArea30@Enbridge.com to determine gas availability, service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping (including, but not limited to: tree planting, silva cells, and/or soil trenches) and/or asphalt paving. If the gas main needs to be relocated as a result of changes in the alignment or grade of the future road allowances or for temporary gas pipe installations pertaining to phased construction, all costs are the responsibility of the applicant. In the event that easement(s) are required to service this development, and any future adjacent developments, the applicant will provide the easement(s) to Enbridge Gas Inc. at no cost.
Hydro One	October 25, 2022	See attached.
Hydro One	November 11, 2022	See attached.
Lake Simcoe Region Conservation	May 26, 2021	See attached.
Authority		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
MPAC		
Ontario Power Generation		
Rogers	October 17, 2022	(See Attached)
Southlake Regional Health Centre	October 27, 2022	Southlake Regional Health Centre understands the impact of provincial and regional planning requirements on local communities, in particular, the provincial Places to Grow strategy. In this context, continued residential development is not unexpected. It is important for Council to recognize however, that provincial growth policies do not provide for the necessary capital investment to expand hospital infrastructure to meet the health care needs of new residents. At Southlake we are doing our best to find new and innovative ways to better serve our growing communities and we will continue to do so. Southlake will require Council's continuing support with respect to supporting local share fundraising and to supporting our efforts to secure necessary funding approvals from the provincial government to help meet the needs of our growing population. If you
Viamonde School Board (French Public)		
York Catholic District School Board		
York Region - Community Planning &	May 4, 2021	See attached.
Development Services		
York Region District School Board	November 8, 2022	No comments
York Regional Police		

INTER-OFFICE		
	GEORGINA	DEPARTMENT OF DEVELOPMENT ENGINEERING
MEMORANDUM		

Date: April 05, 2023 **File: 01.160 and 03.1169**

To: Mike Iampietro, Manager of Development Engineering

From: Saleem Sial, Development Engineering Technologist

Subject: Application for Draft Plan of Subdivision, Zoning By-law

Amendment and Revised Development Area Plan

Part Lot 14 & 15 Conc. No. 3 (N.G.)

Roll No.: 092-713 & 095-563

Orchid Trails Subdivision Phase 2

We have reviewed the above noted application being phase 2 of the new development to facilitate the development of the lands for 196 single detached lots and 27 street townhouses in conjunction with submitted reports and wish to provide the following for considerations:

•

1. DRAFT PLAN

- i. Fire Hall Block with area of 1.5 ha was shown in Phase-1 DP but not provided in Phase-2 Draft Plan? Please clarify.
- ii. It results in increase of more than 20 single homes with frontages of 11, 12, and 15 m. It should be corrected on all submitted documents and Fire Hall Block should be shown.

2. STORMWATER MANAGEMENT:

- i. The existing floodplain will be maintained, with no modification proposed as part of the subject development.
- ii. The external area including Fire Hall Block flows will be captured and conveyed by a new 100-year storm sewer system through the development and directed to the SWM Facility.

Quantity:

- i. A detailed SWM report will be required to be submitted for each proposed pond/development at the time of submission of detailed engineering design and drawings and shall be reviewed in further detail by Engineering staff. In addition, it is required that the developer demonstrate that there will be no downstream flooding of the accepting watercourse from the pond outlet to Lake Simcoe due to the construction of the development. It has been noted that the volume control calculations are subject to change pending the results of the spring groundwater levels.
- ii. Rear lot catch basins are discouraged. Drainage should be directed to municipal right of way wherever feasible.
- iii. Some sump pumps in the basement of homes and future commercial development may be below the watertable and continuous pumping may be required. Please estimate these flows and add these to storm design sheet calculation and size the storm sewers and SWM pond accordingly.

Quality:

- i. The SWM quality control section briefly discusses infiltration measures. It is noted that infiltration trenches will be provided within the R.O.W on 75% of the roadways in phases 1 & 2 where feasible and filtration specified as an alternative. Detailed infiltration calculations will need to be provided for each length of infiltration trench to ensure soil is suitable.
- ii. Jelly fish is proposed within right of way on north portion of Street "I" at the entrance from Old Homestead Road. Town does not accept Jelly fish in the right of way or on municipal property. Appropriate Low Impact Development (LID) technologies be considered instead of Jellyfish, as the Town supports the same.

Erosion and Sediment Controls:

i. State how will infiltration areas be protected during construction to limit compaction.

ii. All submitted SWM reports shall be reviewed and approved by the Lake Simcoe Region Conservation Authority (LSRCA).

3. WATER SERVICING:

- i. The applicant will complete the 250 mm watermain loop along the Old Homestead road between Street I and Woodbine Avenue as shown in the Figure 11-FSR for phase 1. It will also service commercial block in Phase 3 and Fire Hall.
- ii. Water service will be provided by connecting to the new watermain stub on Danny Wheeler Boulevard at the west property limit of the development. The water system analysis completed by GM BluePlan, as part of the Queensway East and Queensway West Developments Areas and the Starlish Development, will be updated to include the proposed Orchid Trail Development.
- iii. It is understood that a detailed water system analysis will be provided prior to draft plan approval. The water system analysis shall meet all requirements of the 2013 Development Design Criteria as amended and Form 1.
- iv. Applicant to participate in Town's water model. Applicant has two (2) options: (1) complete water modelling exercise using own forces. Water model would be peer reviewed by Town's water model consultant at applicant's cost. (2) Town can provide quote for water modelling exercise to be completed by Town's water modeller. Contact Engineering to discuss further.

4. SANITARY SERVICING:

- i. The FSR indicates that the development will be serviced with a gravity sanitary sewer outletting to the current Treasure Hill development. Please ensure that the current 2013 Development Design Criteria standards are utilized for the sanitary servicing design.
- ii. The applicant to participate in Town's sanitary sewer model at their own cost as directed by the Development Services Department
- iii. A detailed Sanitary Sewer Analysis will be required to be submitted at the time of subdivision design. The Analysis shall include all existing and proposed flows from the development to the Sewage Treatment Plan.
- iv. During construction or on ongoing basis the groundwater discharge quality should meet the sewer use by law standard for storm sewer. It will not be permitted to discharge into sanitary sewers.

5. GRADING AND ROADS:

- i. It is proposed that the development be connected to existing roadway system as follows: one roadway connect to Danny Wheeler at the west limit with one roadway connected to Old Homestead at the north and one to Woodbine Avenue to the east.
- ii. Provide update to Town regarding potential grading / easements / other in relation to 36 Church Street. It seems there is a mutual beneficial opportunity to address grading and stormwater constraints at property limit between Orchid Trails and 36 Church Street.
- iii. The proposed grading of the roadway system will be provided during the detailed design phase.

6. TRAFFIC IMPACT STUDY (TIS):

 A TIS has not been provided with the application. A letter from the traffic consultant speaks to a previous TIS completed by Mark Engineering in May 2017. This report was not provided with the submission and will have to be provided prior to draft plan approval.

On-Street Parking Analysis / Plan

- i. Demonstrate that there will be no parking issues especially in relation to the freehold townhouse blocks.
- ii. Show curb face parking opportunities and driveway locations.

7. HYDROGEOLOGICAL ASSESSMENT REPORT (HAR):

- i. The HAR indicates that groundwater elevations range from 0.36m to 6.1m below ground surface. Temporary groundwater control will likely be required for earthworks and construction. Raising the housing basements to maintain separation from water tables is to be considered and where unavoidable permanent foundation drainage will be required.
- ii. Any realignment of on site watercourses shall be approved by the LSRCA.
- iii. Further consideration shall be made regarding mitigations measures and the HAR shall also be reviewed and approved by the LSRCA.
- iv. Page 6/39. At BH/MH 17 location is about 3.6m above the lowest proposed excavation elevation for construction. Similar situation exists at the BH/MW 10. In case continuous pumping may be required from house-basements what will be solution for meeting the quality and conveyance of discharge to a suitable outlet?

- v. Several exceedances for the unfiltered groundwater recorded when evaluated against Provincial Water Quality Objectives for dewatering effluents disposal to a water course (Table 7 page 92).
- vi. It is assumed that 75% of roadway length or 3,375 m will have 1.2m x1.5 m infiltration trenches. Please show these on the grading plan

8. SOIL INVESTIGATION (SI):

- i. The SI report indicates that dewatering may be necessary for any excavation in the saturated soils (building foundation, underground infrastructure, etc.). Soils to depths ranging from 1.0 to 2.0 metres are weathered and not suitable for structural use. The weathered soils should be sub excavated. Road sub-drains will be required. The SI provides recommendations for pipe bedding, watermain corrosion protection, backfilling of trenches, pavement design, etc. In addition, the SWM pond will require a 1.0m thick clay liner. The earth fill is not to be used for structural application. Damp proofing of foundation walls will be required and shown on the building permit applications.
- ii. The SI shall be considered during the design of the subdivision and all recommendations from same shall be adhered to.
- iii. Page 6 of 7. Bulk samples of the sandy silt till should be collected for gradation analysis to verify permeability for retention and pond construction. Provide and discuss the soil test results

9. PHASE 1 ENVIRONMENTAL SITE ASSESSMENT (ESA):

The Phase 1 ESA concludes that the property may contain contaminates and that further environmental investigation is recommended. A Phase 2 will be required as part of the detailed design.

- i. Page 40/474 section 8.1 recommends Phase II in 7 points. It should be provided.
- ii. Page 40/474 section 8.2 recommends Record of Site Condition (RSC). It should be provided.

10. OPEN SPACE AND LANDSCAPE MASTER PLAN (OLMP):

i. The OLMP provides guidelines for natural areas, stormwater management pond, parkland, park linkages, on-road signed route, boulevard sidewalk, off-road trails, street trees, open space trees, stormwater pond vegetation, community

- mailboxes, utility screening, signage and fencing.
- ii. Fencing between existing lots on Church Street, Old Homestead, Woodbine and the proposed development will be provided at the discretion of the adjacent landowners. A similar requirement had been mandated in another development and caused several complicated issues being time consuming as well as being sensitive which should be taken into consideration.

11. ENVIRONMENTAL IMPACT STUDY (EIS):

i. An EIS was not provided and will need to be provided at detailed design stage. Further submission of detailed construction phasing plans, sediment and erosion control plans, tree preservation/ compensation plans, buffers, etc. will be required to be provided for review at the engineering design stage. Further attention will be required regarding bird nesting season and butternut trees.

12. PARKING AND SIDEWALK PLAN:

i. A parking and sidewalk plan has not been provided. The 18.0m road allowances should provide for a sidewalk on the north and east sides of the streets as indicated on the proposed plan. This will be required as part of the detailed design.

13. DRAWING G-2 AND G-3

i. Why there are no curb and gutter shown on the southern section of Street F? Please clarify. See redlined drawings.

Storm Sewers

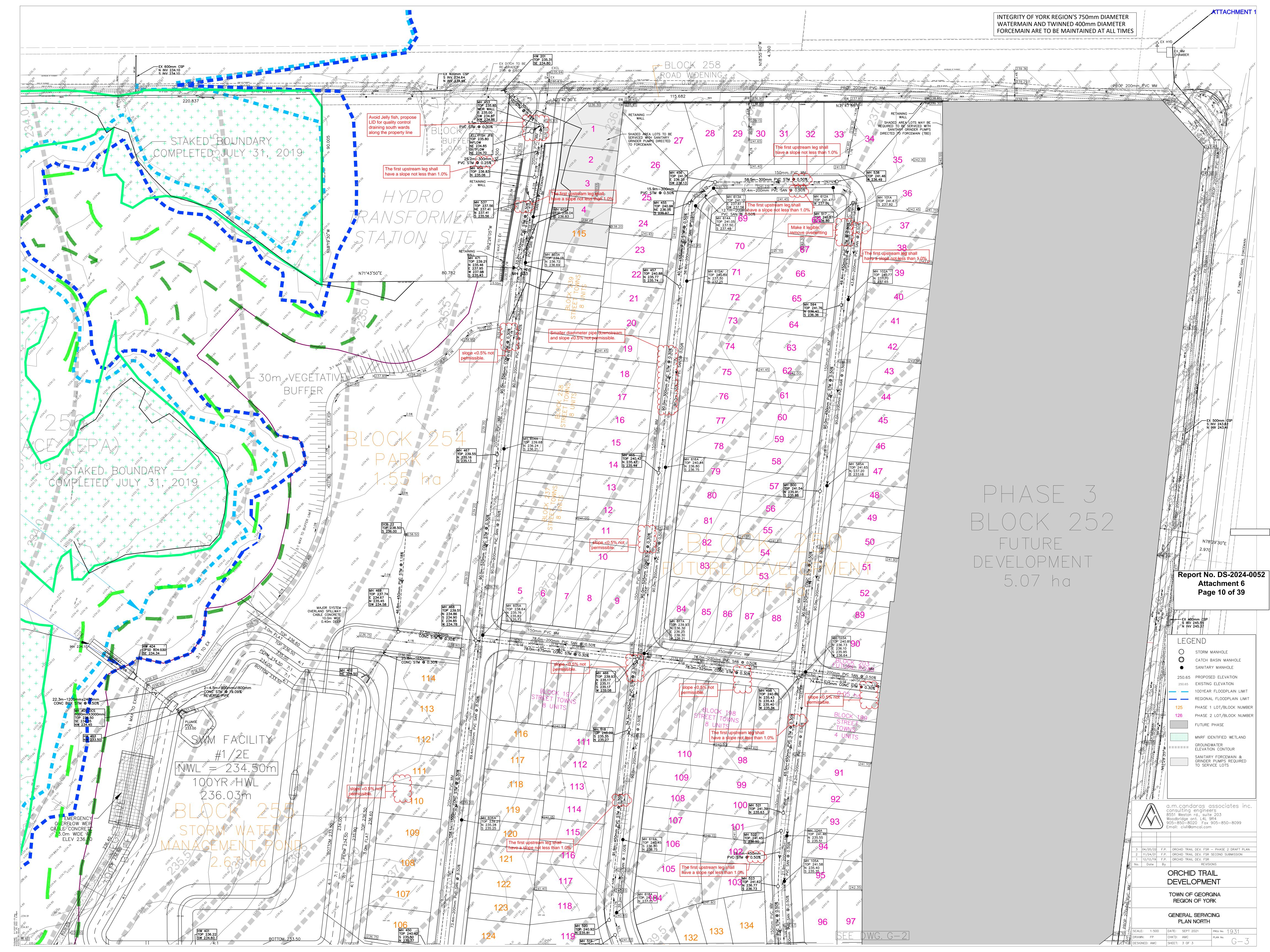
- i. Keep storm sewers on the south or west of the centreline of the road allowance, Street F. See redlined drawings.
- ii. No decrease of pipe size from a larger upstream pipe to a smaller downstream size will be allowed.
- iii. The first upstream leg shall have a slope not less than 1.0% and be a length of not less than 50 m., unless the designer demonstrates that the minimum velocity of 0.8m/s is being achieved. See redlined drawings.
- iv. Minimum gradient required for pipes sizes 600mm and smaller is 0.5 %. Design criteria Section 24.1.6 Minimum and Maximum Grades

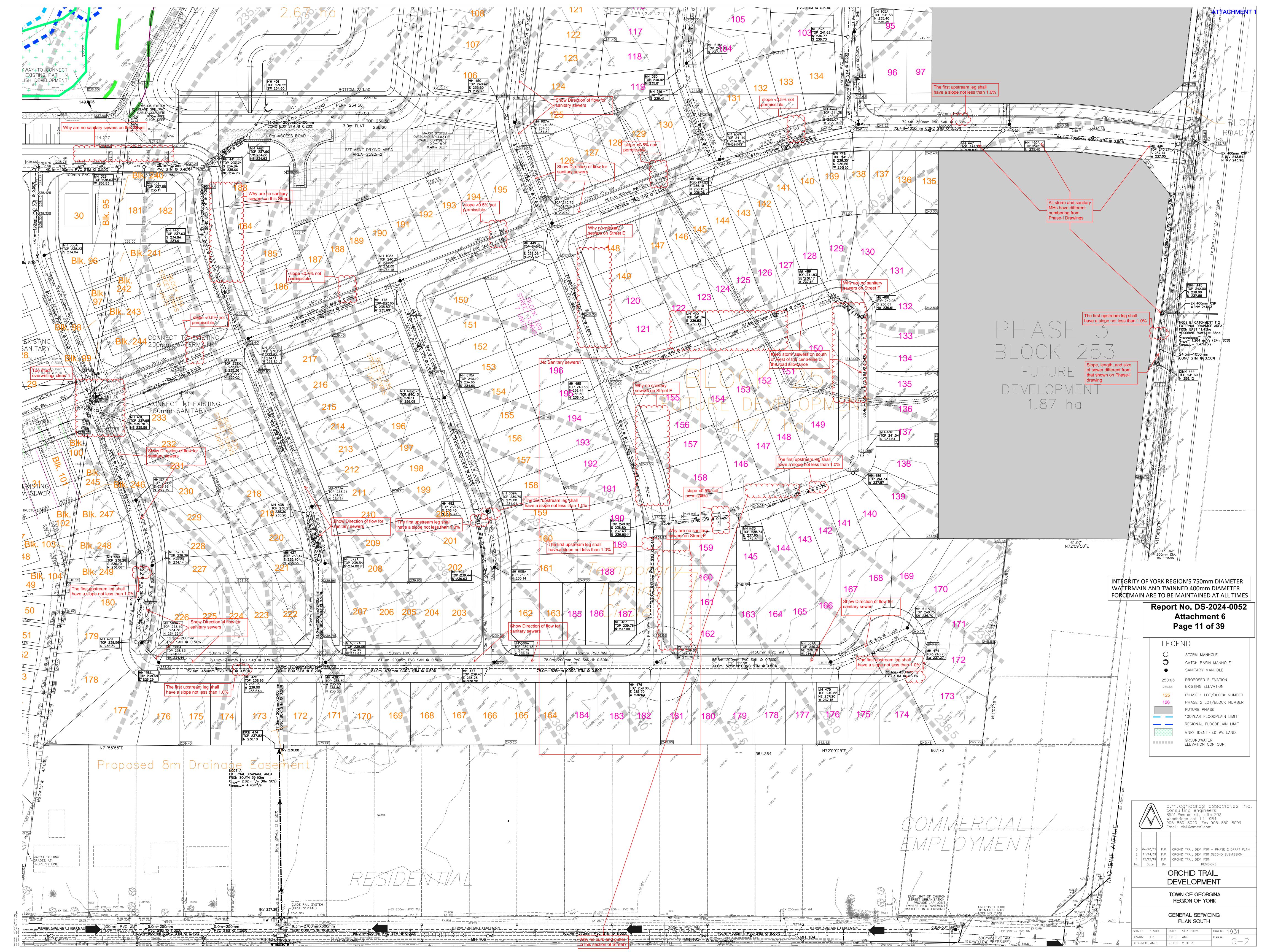
v. The storm sewers data along the Woodbine- size, slope, lengths, nomenclature do not match with the data provided in the Drainage Area Plan S1 for Phase 1.

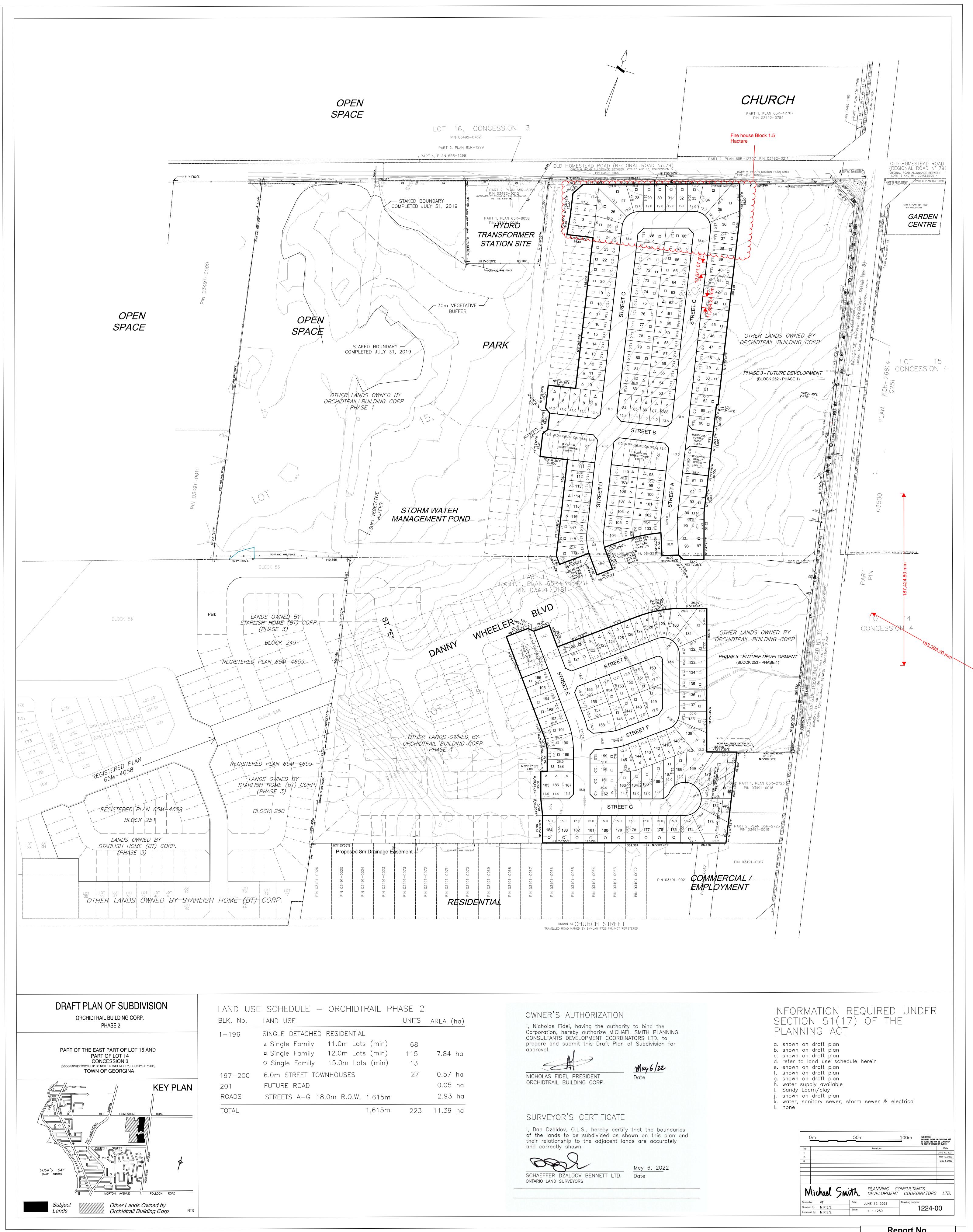
Sanitary sewers

- i. Street E and Street F do not have sanitary sewers. Please clarify? See redlined drawings.
- ii. The minimum grade for the first upstream leg shall not be less than 1.0% and not less than 50 m in length, unless the designer demonstrates that the minimum actual velocity of 0.6m/s is being achieved. See redlined drawings.
- iii. Minimum slope required for pipes sizes 250 mm and larger is 0.5%. See redlined drawings.
- iv. Provide direction of flow for all sanitary sewers. See redlined drawings.

1.







Report No. DS-2024-0052 Attachment 6 Page 12 of 39 Hydro One Networks Inc. Facilities & Real Estate
P.O. Box 4300

Markham, Ontario L3R 5Z5 www.HydroOne.com

Courier:

185 Clegg Road Markham, Ontario L6G 1B7



VIA E-MAIL ONLY TO ageniole@georgina.ca

October 25, 2022

Town of Georgina 26557 Civic Centre Road Keswick, ON L4P 3G1

Attention: Anna Geniole

Dear Anna Geniole:

Re: Draft Plan of Subdivision, Orchidtrail Buildings Corp. (Nicholas Fiedei)

24996 Woodbine Avenue

Town of Georgina File: 01.160 & 03.1169

Please be advised that Hydro One Networks Inc. ("HONI") has completed a preliminary review of the proposed plan of the above noted subdivision application. As the subject land is abutting and/or encroaching onto a HONI high voltage transmission corridor (the "transmission corridor"), HONI does not approve of the proposed subdivision **at this time**, pending review and approval of the required information.

Please be advised that the transmission corridor lands affected by the proposed development and identified as such herein are subject to a statutory right in favour of HONI pursuant to Section 114.5(1) of *The Electricity Act, 1998*, as amended. The owner of these lands is Her Majesty, The Queen In Right of Ontario, as represented by The Minister of Infrastructure ("MOI"). Ontario Infrastructure & Lands Corporation ("OILC") as agent for the Province, must review and approve all secondary land uses such as roads that are proposed on these lands. HONI is currently acting as a service provider to OILC, and undertakes this review on their behalf.

The comments detailed herein do not constitute an endorsement of any element of the subdivision design or road layout, nor do they grant permission to access, use, proceed with works on, or in any way alter the transmission corridor lands, without the express written permission of HONI.

Should the developer require any use of and/or access to the transmission corridor at any time, the developer must contact **Lana Kegel, Senior Real Estate Coordinator** at **Lana.Kegel@HydroOne.com** in order to ensure all of HONI's technical requirements are met to its satisfaction, and acquire any applicable agreements.

The following should be included as **Conditions of Draft Approval**:

Report No. DS-2024-0052 Attachment 6 Page 13 of 39

- 1. Prior to HONI providing its final approval, the developer must make arrangements satisfactory to HONI for lot grading and drainage. Digital PDF copies of the lot grading and drainage plans (true scale), showing existing and proposed final grades, must be submitted to HONI for review and approval. The drawings must identify the transmission corridor, location of towers within the corridor and any proposed uses within the transmission corridor. Drainage must be controlled and directed away from the transmission corridor.
- 2. Any development in conjunction with the subdivision must not block vehicular access to any HONI facilities located on the transmission corridor. During construction, there must be no storage of materials or mounding of earth, snow or other debris on the transmission corridor.
- 3. At the developer's expense, temporary fencing must be placed along the transmission corridor prior to construction, and permanent fencing must be erected along the common property line after construction is completed.
- 4. The costs of any relocations or revisions to HONI facilities which are necessary to accommodate this subdivision will be borne by the developer. The developer will be responsible for restoration of any damage to the transmission corridor or HONI facilities thereon resulting from construction of the subdivision.
- 5. This letter and the conditions contained therein should in no way be construed as permission for or an endorsement of proposed location(s) for any road crossing(s) contemplated for the proposed development. This permission may be specifically granted by OILC under separate agreement(s). Proposals for any secondary land use including road crossings on the transmission corridor are processed through the Provincial Secondary Land Use Program (PSLUP). HONI, as OILC's service provider, will review detailed engineering plans for such proposals separately, in order to obtain final approval.

Should approval for a road crossing be granted, the developer shall then make arrangements satisfactory to OILC and HONI for the dedication and transfer of the proposed road allowance directly to the Town of Georgina.

Access to, and road construction on the transmission corridor is not to occur until the legal transfer(s) of lands or interests are completed.

In addition, HONI requires the following be conveyed to the developer as a precaution:

6. The transmission lines abutting the subject lands operate at either 500,000, 230,000 or 115,000 volts. Section 188 of Regulation 213/91 pursuant to the *Occupational Health and Safety Act*, require that no object be brought closer than 6 metres (20 feet) to an energized 500 kV conductor. The distance for 230 kV conductors is 4.5 metres (15 feet), and for 115 kV conductors it is 3 metres (10 feet). It is the developer's responsibility to be aware, and to make all personnel on site aware, that all equipment and personnel must come no closer than the distance specified in the *Act*. They should also be aware that the conductors can raise and lower without warning, depending on the electrical demand placed on the line.

Our preliminary review only considers issues affecting HONI's transmission facilities and transmission corridor lands. For any proposals affecting distribution facilities (low voltage), the developer should consult the local distribution supplier.

Report No. DS-2024-0052 Attachment 6 Page 14 of 39

ATTACHMENT 2

If you have any questions, please contact me at dennis.derango@hydroone.com or at 905-946-6237.

Yours truly,

Dems DeRange
Dennis De Rango

Specialized Services Team Lead, Real Estate

Hydro One Networks Inc.

Report No. DS-2024-0052 Attachment 6 Page 15 of 39

Page 3 of 3

File: 01.160 & 03.1169

Hydro One Networks Inc. Facilities & Real Estate P.O. Box 4300

Markham, Ontario L3R 5Z5 www.HydroOne.com

Courier:

185 Clegg Road Markham, Ontario L6G 1B7



VIA E-MAIL ONLY TO ageniole@georgina.ca

November 11, 2022

Development Services Town of Georgina

Attention: Anna Geniole

Dear Anna:

Re: Draft Plan of Subdivision, Orchidtrail Building Corp.

24996 Woodbine Ave Town of Georgina

File: 0.0.160

Please be advised that Hydro One Networks Inc. ("HONI") has completed a preliminary review of the proposed plan of the above noted subdivision application. As the subject property is abutting and/or encroaching onto a HONI high voltage transmission corridor (the "transmission corridor"), HONI does not approve of the proposed subdivision **at this time**, pending review and approval of the required information.

The comments detailed herein **do not** constitute an endorsement of any element of the subdivision design or road layout, nor do they grant any permission to access, use, proceed with works on, or in any way alter the transmission corridor lands, without the express written permission of HONI.

Should the developer require any use of and/or access to the transmission corridor at any time, the developer must contact **Johnny Bi, Real Estate Coordinator** at **johnny.bi@hydroone.com** in order to ensure all of HONI's technical requirements are met to its satisfaction, and acquire any applicable agreements.

The following should be included as **Conditions of Draft Approval**:

- 1. Prior to HONI providing its final approval, the developer must make arrangements satisfactory to HONI for lot grading and drainage. Digital PDF copies of the lot grading and drainage plans (true scale), showing existing and proposed final grades, must be submitted to HONI for review and approval. The drawings must identify the transmission corridor, location of towers within the corridor and any proposed uses within the transmission corridor. Drainage must be controlled and directed away from the transmission corridor.
- 2. Any development in conjunction with the subdivision must not block vehicular access to any HONI facilities located on the transmission corridor. During construction, there must be no storage of materials or mounding of earth, snow or other debris on the transmission corridor.

Report No. DS-2024-0052 Attachment 6 Page 16 of 39

- 3. At the developer's expense, temporary fencing must be placed along the transmission corridor prior to construction, and permanent fencing must be erected where subdivision lots directly abut the transmission corridor after construction is completed.
- 4. The costs of any relocations or revisions to HONI facilities which are necessary to accommodate this subdivision will be borne by the developer. The developer will be responsible for restoration of any damage to the transmission corridor or HONI facilities thereon resulting from construction of the subdivision.
- 5. HONI's easement rights must be protected and maintained.
- 6. Some noise from the existing Hydro One Networks Inc. (HONI), Distribution Station which is in close proximity, may interfere with the proposed development. An acoustic assessment should be undertaken at the developer's expense. If noise abatement (walls, berms, etc.) are required to meet applicable Ministry of the Environment or Municipal criteria, the costs involved will be the sole responsibility of the developer. HONI <u>will not</u> be responsible for any costs involved. Please relay this to the appropriate parties.
- 7. The Developer hereby confirms and agrees that every agreement of purchase and sale heretofore and hereafter entered into by the Developer with any purchaser(s) of any unit or proposed unit in the Development contains the following notice/warning provisions (or clauses substantially similar thereto in all respects), namely: "Each unit purchaser and/or lessee specifically acknowledges and agrees that the development of the Lands upon which this Development is being (or has been) constructed, will be (or has been) undertaken and completed in accordance with any requirements that may be imposed from time to time by any Governmental Authorities, and that the proximity of this Development to facilities, installations and/or equipment owned and/or operated by HONI may result in noise, vibration, electro-magnetic interference and stray current transmissions (hereinafter collectively referred to as the "Interferences") to this Development, and despite the inclusion of control features within this Development, Interferences from the aforementioned sources occasionally interfere with some activities of the occupants in this Development Notwithstanding the above, each unit purchaser and/or lessee agrees to indemnify and save HONI and harmless, from and against all claims, losses, judgments or actions arising or resulting from any and all of the Interferences. In addition, it is expressly acknowledged and agreed that HONI does not, and will not, accept any responsibility or liability for any of the Interferences in respect of this Development and/or its occupants. Furthermore, there may be alterations and/or expansions by HONI to its facilities and/or Distribution station which may temporarily affect the living environment of the residents notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the Development. HONI will not be responsible for any complaints or claims or any kind howsoever arising from use, expansion and/or alterations of such facilities and/or operations on, over or under its Distribution station. Furthermore, each unit purchaser and/or lessee acknowledges and agrees that an electro-magnetic, stray current and noisewarning/vibration clause similar to the foregoing shall be inserted into any succeeding or subsequent sales agreement, lease or sublease, and that this requirement shall be binding not only on the Purchaser hereunder but also upon the Purchaser's respective heirs, estate trustees, successors and permitted assigns, and shall not cease or terminate on the closing of this purchase and sale transaction with the Vendor/Declarant."
- 8. The Developer covenants and agrees that so long as the City does not object thereto, the language set out in Section 7 hereof (or language substantially similar thereto) shall also be

Report No. DS-2024-0052 Attachment 6 Page 17 of 39 included in the Site Plan Agreement entered into by the Developer with the Regional Municipality of York to be registered on title to the Development.

In addition, HONI requires the following be conveyed to the developer as a precaution:

9. The transmission lines abutting the subject lands operate at either 500,000, 230,000 or 115,000 volts. Section 188 of Regulation 213/91 pursuant to the *Occupational Health and Safety Act*, require that no object be brought closer than 6 metres (20 feet) to an energized 500 kV conductor. The safe vertical distance for 230 kV conductors is 4.5 metres (15 feet), and for 115 kV conductors it is 3 metres (10 feet). It is the developer's responsibility to be aware, and to make all personnel on site aware, that all equipment and personnel must come no closer than the safe vertical distance specified in the *Act*. All parties should also be aware that the conductors can raise and lower without warning, depending on the electrical load placed on the line.

Our preliminary review only considers issues affecting HONI's transmission facilities and transmission corridor lands. For any proposals affecting distribution facilities (low voltage), the developer should consult the local distribution supplier.

If you have any questions, please contact me at dennis.derango@hydroone.com or at 905-946-6237.

Yours truly,

Dennis De Rango

Specialized Services Team Lead, Real Estate

Hydro One Networks Inc.

Dems DeRonge

Report No. DS-2024-0052 Attachment 6 Page 18 of 39



www.LSRCA.on.ca

Sent via e-mail:

November 23, 2022

Municipal File No.: 01.160 & 03.1169 LSRCA File No.: APID: 42068

Ms. Anna Geniole Planning Clerk Development Services | Town of Georgina 26557 Civic Centre Road, Keswick, ON | L4P 3G1

Dear: Ms. Geniole,

Applications for Draft Plan of Subdivision and Zoning By-law Re:

Orchid Trail Subdivision (Phase 2)

24996 Woodbine Avenue

Town of Georgina

Applicant: Orchidtrail Building (BT) Corp

LSRCA staff have reviewed a first submission for a proposed Draft Plan of Subdivision and Zoning By-law Amendment to facilitate Phase 2 of a residential development (Orchid Trail Subdivision) consisting of 223 single detached lots on the described lands.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- REPORT: Functional Servicing Report and Letter regarding Phase 2 Draft Plan prepared by a.m. candaras associates inc., dated April 20, 2022.
- REPORT: "Orchid Trail Residential Development Formerly Draper Lands Treasure Hill Town of Georgina" Stormwater Management and Functional Servicing Report prepared by a.m. candaras associates inc., dated November 24, 2021.
- DRAWING: "Drawing G-1" prepared by a.m. candaras associates inc., dated April 20, 2022.
- REPORT: Limited Hydrogeological Asessment prepared by Soil Engineers Ltd., dated December 9, 2019
- REPORT: Pre- and post Water Balance Assessment prepared by Soil Engineers Ltd., dated December 9, 2019
- LETTER: Response to comments prepared by Beacon Environmental Limited, dated October 7, 2022
- REPORT: Ecological Offsetting Plan prepared by Beacon Environmental Limited, dated October, 2022

- REPORT: "Orchidtrail Development Phase 2" Environmental Impact Study prepared by Beacon Environmental Limited, dated April 2022
- REPORT: "Orchidtrail Development Phase 2" Arborist Report prepared by Beacon Environmental Limited, dated April 2022

It is noted that LSRCA provided pre-consultation comments as requested September 15, 2021.

Staff have reviewed this application as per our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 179/06. LSRCA has also provided comments as per our MOU with the Town of Georgina and the Region of York representing matters pertaining to watershed planning, natural heritage and stormwater management. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies.

Recommendation

LSRCA has no objection to the approval of the proposed Draft Plan of Subdivision and Zoning By-Law Amendment. Accordingly, please find attached LSRCA's recommended conditions of draft plan approval for consideration.

Site Characteristics

Existing mapping indicates the following:

- A portion of the subject site is within an area governed by Ontario Regulation 179/06 under the Conservation Authorities Act for the following natural hazards or features:
 - o flooding under the Regional Storm Event due to the presence of a tributary of Keswick Creek;
 - o an unevaluated wetland- including its 30 metre adjacent lands;
 - a Provincially Significant Wetland PSW (North Keswick Wetland Complex)- including its 120 metre adjacent lands.
- Phase 2 of the proposed development is located outside of LSRCA's regulated limits and contains no natural heritage features. A permit would <u>not</u> be required from the LSRCA for this phase.
- The subject lands are within an Ecologically Significant Groundwater Recharge Area (ESGRA) and the application is required to be in accordance with Designated Policy 6.40 of the LSPP.
- The subject lands are designated Queensway East Development Area, Greenlands System, Commercial/Employment, and Neighbourhood Residential within the Keswick Secondary Plan.
- The subject lands are currently zoned Transitional and Rural by the Town of Georgina Zoning Bylaw 500.

Delegated Responsibility and Statutory Comments:

 LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020). Policies within the PPS direct development and site alteration to areas outside of hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards. Specifically, Section 3.1.2 d) prohibits development and site alteration within the floodway regardless of whether the area of inundation contains high points of land not subject to flooding.

The proposal is consistent with the Provincial Policy Statement as Phase 2 of the development is located outside of the natural hazards (floodway) on site.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 179/06. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands.

As noted above, the Phase 2 of the propped development is not regulated therefore a permit under the Conservation Authorities Act will not be required prior to site alteration or development on these lands.

Advisory Comments:

Stormwater Management

3. We note the proposed development is considered 'Major Development' under the Lake Simcoe Protection Plan as the proposed subdivision creates 4 or more lots. As a result, the proposed development is required to demonstrate conformity with the Stormwater Management policies (4.8 – 4.11 – DP) and Settlement Area policies (6.32 – 6.34-DP) of the LSPP.

Technical comments related to Stormwater Management have been prepared by Phil Thase, P. Eng can be found in the attached matrix. A completed copy of this matrix is required to form part of the next technical submission.

Natural Heritage

4. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural heritage identified in Section 2.1 of the Provincial Policy Statement.

Technical comments related to Natural Heritage have been prepared by Jessica Chan, Natural Heritage Ecologist and can be found in the attached comment matrix. A completed copy of this matrix is required to form part of the next technical submission.

Hydrogeology

- 5. LSRCA has reviewed the applications in terms of the South Georgian Bay Lake Simcoe Source Protection Plan, prepared under the Clean Water Act, 2006. The Source Protection Plan came into effect on July 1, 2015, and contains policies to protect sources of municipal drinking water from existing and future land use activities.
 - The subject property is located outside of the applicable area(s) subject to the local Source Protection Plan, based on map screening.
 - Link to the Source Protection Plan: https://ourwatershed.ca/assets/uploads/2019/11/08-20-2019-AmendedSourceProtectionPlan.pdf

Technical comments prepared by Caroline Hawson, P. Geo can be found within the attached comment matrix. The applicant is to include a completed copy of the comment matrix as part of the next technical submission.

Summary

Given the above comments, it is the opinion of the LSRCA that:

- 1. Consistency with Section 3.1 of the PPS has been demonstrated.
- 2. Ontario Regulation 179/06 does not apply to the subject site. A permit from LSRCA will not be required prior to any development taking place.
- 3. The subject site is not located within an area that is subject to the policies contained in the Source Protection Plan.
- 4. LSRCA has no objection to the approval of the proposed Draft Plan of Subdivision and Zoning By-Law Amendment. Accordingly, please find attached LSRCA's recommended conditions of draft plan approval for consideration.

Should you have any questions, please contact the undersigned.

Sincerely,

Amy Knapp Planner II

2my Krapp



Lake Simcoe Region Conservation Authority Technical Review – Engineering

Site Address: 24996 Woodbine Ave	Date: November 08, 2022	LSRCA File #: SD-42068-052522	Municipal Ref #: 01.160 / 03.1169
Application Type: OPA + ZBA + Subdivision/Condominium	APID: 42068	Submission #: FIRST	Municipality: Georgina

Documents Reviewed:

- Letter regarding Phase 2 Draft Plan and FSR, April 20, 2022, a.m. candaras associates inc.
- Orchid Trail Residential Development Formerly Draper Lands Treasure Hill Town of Georgina Stormwater Management and Functional Servicing Report, dated November 24, 2021, a.m. candaras associates inc.
- Drawing G-1, April 20, 2022, a.m. candaras associates inc.

Background Information:

2nd Applicant Response and Date 2nd LSRCA Comments and Date 1st Applicant Response and Date & E7 below) should be addressed in support of use the phosphorus removal rate for enhanced comments dated, May 27, 2022 (comments E6 unit is updated but the Phosphorus removal by be used for Phosphorus removal credit. Please grassed swale appears to be incorrect. Please - Please note the existing EPA wetland cannot It appears that previous Engineering review - Phosphorus removal by Jellyfish Filtration update/revise the calculations accordingly. swales as per the Appendix A of the LSRCA 1st LSRCA Comments, November 8, 2022 Phase 2 of the proposed Orchid Trail Technical Guidelines for Stormwater -Block 252 appears to be incorrectly Management Submission (2022) Residential Development. Page # 30, 31 32 Section 5.0 5.1 5.2 SWM FSR Report Item Comment # Report No. DS-2024-0052 Attachment 6 Page 23 of 39

Submission Resubmission Requirements:

- A completed response matrix including detailed response outlining how each of the comments above have been addressed with reference to applicable reports and drawings.
- The response matrix is to also include a summary of any additional changes to the design and/or analysis. This includes changes to reports, drawings, details, facility design and changes not identified in the detailed response to comments.
- Reports and engineering drawings and details are to be signed and sealed by a Professional Engineer.
- 4. All submissions and reports are to include a digital copy of applicable models

æ,

All submission and reports are to include applicable technical components which achieve the minimum requirements outlined in the Lake Simcoe Region Conservation Authority Technical Guidelines for Stormwater Management Submission, April 2022.



Lake Simcoe Region Conservation Authority Technical Review – Engineering

Important Notes and References:

- Please contact the Lake Simcoe Region Conservation Authority (LSRCA) to scope any required Environmental Impact Study or Natural Heritage Evaluation.
- The stormwater management submission is required to be prepared in accordance with LSRCA Technical Guidelines for Stormwater Management Submissions. <u>Technical-Guidelines-for-Stormwater-Management-</u>
- Submissions are to be in accordance with the LSRCA Watershed Development Guidelines. Ontario Regulation 179/06 Implementation Guidelines
- The hydrogeological analysis is required to be prepared in accordance with "Hydrological Assessment Submissions: Conservation Authority" Guidelines for Development Applications." Hydrogeological Guidelines -Hydrological Assessment 2013
- Where the LSPOP applies, submissions are to be in accordance with the LSPOP found here: Watershed Phosphorus Offsetting Policy July 2021
- Low Impact Development Treatment Training tool can be found here: LID Treatment Training Tool April 2018
- Lake Simcoe Region Conservation Authority Review Fees can be found here: Planning Application and Permit-fees January 2022
- Please note that the review fees cover two rounds of reviews; third and subsequent submissions will be subject to additional fees per the fee schedule.



Site Address: 24996 Woodbine Ave (Starlish Phase 3 & Orchid Trail Phase 2)	Date: November 17, 2022	LSRCA File #: SD-42068-052522	Municipal Ref #: 01.160 / 03.1169
Application Type: OPA + ZBA + Subdivision/Condominium	42068	3T DD	Municipality: Georgina

Documents Reviewed:

Response to comments (Beacon Environmental Limited, received October 7, 2022)

Ecological Offsetting Plan (Beacon Environmental Limited, October 2022)

• Environmental Impact Study Orchidtrail Development – Phase 2 (Beacon Environmental Limited, April 2022)

Arborist Report Orchidtrail Development – Phase 2 (Beacon Environmental Limited, April 2022)

• G-1 Overall Plan (a.m. Candaras Associates Inc., April 20, 2022)

Background Information:

)

	:	;	:	Previous LSRCA Comments on May 11,	Applicant Response on October 7,	1st Detailed Design LSRCA Comments	
Comment #	Eat	section	± age ±	2022	2022	on November 17, 2022	L* Applicant Response and Date
NH1	EIS	7.4, 6.2	32, 24	Partially addressed.	a) The walkway and associated grading	a) Addressed.	
		Feature		a) Ensure the proposed grading	in the park (Block 254) will be	b) Partially addressed.	
		Buffers		associated with the park block	revised to ensure the development	The LSRCA is awaiting the drawings	
				(Block 254) is revised to be located	limit is outside of the 15m buffer.	provided to the Town delineating	
				within the development limit and	b) The walkway connecting to the	the different alternatives for the	
				not proposed inside the reduced 15	Starlish dev. will be shifted away	walkway location.	
				m buffer to the PSW.	from the wetland limit as much as		
				h) Engline the proposed walkway	feasibly possible. The detailed		
					grading design will require		
				+ho C+arlish douglonmont is chiffed	coordination with the Town as there		
				cultido of the DSM 15 m buffer as	is a significant grade differential that		
				mich as nossible	must accommodate accessible		
					pedestrian slopes and incorporating		
					retaining walls along the Street B		
					right of way limit, in order to provide		
			,		the 15m set back.		
NH2		6.1, Wetland	22, 24	Partially addressed.	Noted	Partially addressed.	
		Removal & 6.2		It appears there was a		Please note the EOS was updated to	
		Wetland		miscommunication with respect to the		reflect this change but the EIS (pg. 23,	
		Compensation		MAM2-10 community along the	This update has been made to the EOS.	26; Beacon Environmental Limited,	
		and Ecological		southern property. The LSRCA agrees		April 2022) still requires revisions.	
		Offsetting		that the wetland can be removed but			
				its removal needs to be compensated			
				as per LSRCA's EOP. Please revise the			
				calculations in the EOS accordingly.			
NH3		6.4, Table 5	56	Partially addressed.	Agreed.	Not addressed.	
				The breeding bird window is from April		Table 5 in the EIS needs to be revised as	
				1 to August 31st. Therefore, all		it still states that all vegetation removal	
				vegetation removal needs to occur		is to occur between August and early	



Comment #	ltem	Section	Page #	Previous LSRCA Comments on May 11, 2022	Applicant Response on October 7, 2022	1st Detailed Design LSRCA Comments on November 17, 2022	1st Applicant Response and Date	
				between September and March (not August and March), except for the crayfish areas.		March, rather than September to March.		
4HV	EOS	ო	7	a) Revise the EOS calculations to include the MAM2-10 community along the southern property boundary as per Comment #NH5 above. b) It appears that additional wetland creation is possible on-site (refer to the purple areas in the attached figure). Please provide additional wetland creation is not possible in these locations. c) Delineate on Figure 1 the locations of the proposed vernal pools. These pools should be created to enhance the existing amphibian breeding habitat on the property. d) As the PSW buffer is reduced to 15 m from the policy required 30 m, ensure the buffer is densely planted with native vegetation to achieve the function of a 30 m buffer. A planting plan is required at detailed design.	Noted and EOS calcs and Figure 1 revised to include community. Noted. Those areas are shown as additional wetland creation. See revised Figure 1. Noted and added to Figure 1. Also see section 3 of EOS. Noted.	a) Addressed. b) Not addressed. The additional potential wetland creation areas are not indicated as wetland creation areas on Figure 1 of the EOS. Additional wetland creation areas are required to provide the required 5.75 ha as per the LSRCA's EOP (only 3.87 ha of wetland creation is proposed). c) Addressed. d) Partially addressed. A planting plan needs to be submitted to delineate the required densely planted 15 m buffer to the PSW.		
NHS		4	2	NEW COMMENT: The wildlife habitat structures proposed in the offsetting areas should include turtle nesting/wintering habitat, basking logs, bat boxes, brush piles for wildlife, habitat for wetland birds and	Noted. Given the available habitat and function and surrounding landscape, basking logs and brush piles have been recommended. Habitat for wetland birds and Bobolink will be	Partially addressed. As per Section 6.2 (pg. 26) in the EIS, the installation of bat boxes is recommended in the EP area to mitigate impacts on the three species of bars inhabiting the barn to be		
Repor					nced through addition of a volume of woodland pr	demolished on the subject property.		IIAC

Report No. DS-2024-0052 Attachment 6 Page 26 of 39



Comment #	ltem	Section	Page #	Previous LSRCA Comments on May 11, Applicant Response on October 7, 2022		1st Detailed Design LSRCA Comments on November 17, 2022	1st Applicant Response and Date
9НИ	SWM-1, G-3			a) Ensure the proposed grading associated with the park block (Block 254) is revised to be located within the development limit and not proposed inside the reduced 15 m buffer to the PSW. b) Ensure the proposed walkway connecting to the existing path in the Starlish development is shifted outside of the PSW 15 m buffer as much as possible.	a) The walkway in the park Block 254 Addressed. will be relocated to avoid interference with 15m buffer. b) The walkway connecting to the Starlish dev. will be shifted away from the wetland limit as much as feasibly possible. Constraints include providing accessibility compliant walkway slopes, matching into proposed Street B elevations and minimizing retaining walls in the Town Block 53. These grading details will require coordination with Town staff.	Addressed. Refer to Comment NH1 above.	
NH7	General			NEW COMMENT: Please provide a trails impact study to recommended that the Trail Impact the LSRCA for review and comment for Study be completed as a draft plan all trails proposed on the subject Condition. At that time the limit of property. A site visit to confirm trail grading will be further refined and the alignment with the LSRCA is precise layout of the space available recommended.	pact study to recommended that the Trail Impact comment for Study be completed as a draft plan the subject Condition. At that time the limit of confirm trail grading will be further refined and the LSRCA is precise layout of the space available for the trail will be of higher confidence.	Addressed. A trails impact study to be completed as a draft plan condition.	
NH8		6.2	27			As per Section 6.2 in the EIS, provide a plan showing the location of the permanent fencing proposed along the western boundary of the SWM and	

Submission Resubmission Requirements:

- 1. A completed response matrix including detailed response outlining how each of the comments above have been addressed with reference to applicable reports and drawings.
- The response matrix is to also include a summary of any additional changes to the design and/or analysis. This includes changes to reports, drawings, details, facility design and changes not identified in the detailed response to comments.
- Reports and engineering drawings and details are to be signed and sealed by a Professional Engineer.

'n

- All submissions and reports are to include a digital copy of applicable models.
- All submission and reports are to include applicable technical components which achieve the minimum requirements outlined in the Lake Simcoe Region Conservation Authority Technical Guidelines for Stormwater 4. 5.

Management Submission, April 2022.



Important Notes and References:

- Please contact the Lake Simcoe Region Conservation Authority (LSRCA) to scope any required Environmental Impact Study or Natural Heritage Evaluation.
- The stormwater management submission is required to be prepared in accordance with LSRCA Technical Guidelines for Stormwater Management Submissions. <u>Technical-Guidelines-for-Stormwater-Management-</u>
- Submissions are to be in accordance with the LSRCA Watershed Development Guidelines. Ontario Regulation 179/06 Implementation Guidelines
- The hydrogeological analysis is required to be prepared in accordance with "Hydrological Assessment Submissions: Conservation Authority" Guidelines for Development Applications." Hydrogeological Guidelines -Hydrological Assessment 2013
- Where the LSPOP applies, submissions are to be in accordance with the LSPOP found here: Watershed Phosphorus Offsetting Policy July 2021
- Low Impact Development Treatment Training tool can be found here: LID Treatment Training Tool April 2018
- Lake Simcoe Region Conservation Authority Review Fees can be found here: Planning Application and Permit-fees January 2022
- Please note that the review fees cover two rounds of reviews; third and subsequent submissions will be subject to additional fees per the fee schedule.



Site Address: 24996 Woodbine Ave	Date: October 25, 2022	LSRCA File #: SD-42068-052522	Municipal Ref #: 01.160 / 03.1169	
Application Type: OPA + ZBA + Subdivision/Condominium	APID: 42068	Submission #: FIRST	Municipality: Georgina	

Documents Reviewed:

Limited Hydrogeological Asessment report: Soil Engineers Ltd, December 9, 2019

Pre- and post Water Balance Assessment; Soil Engineers Ltd; December 9, 2019

Functional Servicing and Stormwater Mangement Report; a.m. candarfas; November 24, 2021.

Background Information:

Functional design for Phase 2 of the Orchid Trail Subdivision.

				1		<u> Aliac</u>
	2 nd Applicant Response and Date					
	2 nd LSRCA Comments and Date					
	1st Applicant Response and Date					
distributed design for these 2 of the ordina than sabativities.	1st LSRCA Comments and 31 October 2022	Please provide a figure that clearly illustrates the proposed Orchid Trail development. Clearly define, on the figure, each proposed phase of the development.	A groundwater monitoring program is required for the Orchid Trail Subdivision. Monitoring is required between 1 March and 30 June on, at a minimum, a monthly basis. Monthly monitoring is preferred for a 12-month period. From the data provided in June 2019 the groundwater levels ranged between 0.36 m bgs and >6.1 m bgs. It is anticipated that groundwater levels will be higher during the spring freshet.	A more detailed dewatering assessment is required for the Orchid Trial development. <i>In-situ</i> infiltration testing is to be undertaken in the vicinity of and at the base of any proposed infiltration facilities		Pre-development infiltration is calculated to be 55,627.67 m³ Post-development infiltration volume is calculated to be: 31,077.76 m³ The post-development infiltration deficit is calculated to be 24,549.91 m³ Please calculate a separate water balance for each phase of the Orchid trail development. And demonstrate how the infiltration deficit
	on Page#					
11935 2 01	Section					
ar acsigii ioi	ltem	Limited Hydro-g	Limited Hydro-g	Limited Hydro-g Limited Hydro-g	Water Balance	
- I dilectoric	Comment #	H1	H2	H3 H4	Н5	≗ Report N

Report No. DS-2024-0052 Attachment 6 Page 29 of 39



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Comment #	ltem	Section	Page #	1st LSRCA Comments and 31 October 2022	1st Applicant Response and Date 2nd LSRCA Comments and Date	late 2nd Applicant Response and Date
				will be mitigated within each phase of development:		
H7				As per the TRCA/CVC guidelines between 25% and 50% of roofton runoff directed to a		
				minimum 5 m long flow path over a permeable		
				surface will be credited for infiltration. The		
				volume credited is dependent on the		
				classification of the underlying native soil (A/B or C/D) and the slone of the nermeable		
				surface. Please provide these details. And		
				reassess the volume that may be infiltrated		
				through this method.		
H8				Please demonstrate that there will be a		
				minimum separation between the invert of the		
				proposed infiltration trenches and the seasonal		
				high groundwater levels. From the preliminary		
				groundwater data provided it is uncertain that		
				this will be achieved.		
Н9				The stormwater management report appears		
				to be for the Starlish development. Please		
				provide a functional servicing		
				report/stormwater management report that		
				addresses the Orchid Trail development.		
H10				Please provide drawings and cross sections of		
				proposed LID facilities. Include all dimensions,		
				materials used, current and proposed profile		
				and demonstrate that there is a minimum 1 m		
				separation between the invert of the facility		
				and the seasonal high groundwater elevation.		
H11				Provide calculations demonstrating that the		
				proposed LID facilities are adequately sized for		
				volume and that draw down will be complete		
				within the preferred 24-48 hour timeframe.		

Submission Resubmission Requirements:

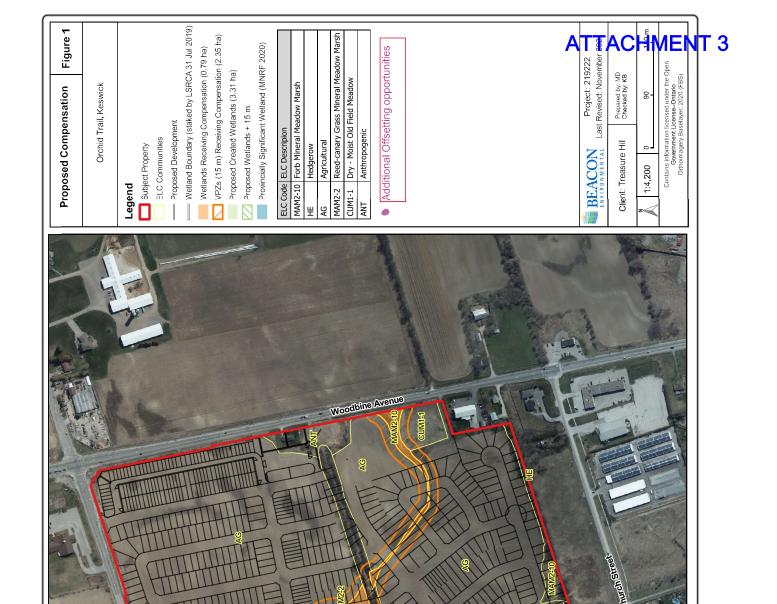
- A completed response matrix including detailed response outlining how each of the comments above have been addressed with reference to applicable reports and drawings.
- The response matrix is to also include a summary of any additional changes to the design and/or analysis. This includes changes to reports, drawings, details, facility design and changes not identified in the detailed response to comments.
 - Reports and engineering drawings and details are to be signed and sealed by a Professional Engineer. All submissions and reports are to include a digital copy of applicable models. œ.
 - 4.



All submission and reports are to include applicable technical components which achieve the minimum requirements outlined in the Lake Simcoe Region Conservation Authority Technical Guidelines for Stormwater Management Submission, April 2022.

Important Notes and References:

- Please contact the Lake Simcoe Region Conservation Authority (LSRCA) to scope any required Environmental Impact Study or Natural Heritage Evaluation.
- The stormwater management submission is required to be prepared in accordance with LSRCA Technical Guidelines for Stormwater Management Submissions. Technical-Guidelines-for-Stormwater-Management-
- Submissions are to be in accordance with the LSRCA Watershed Development Guidelines. Ontario Regulation 179/06 Implementation Guidelines
- The hydrogeological analysis is required to be prepared in accordance with "Hydrological Assessment Submissions: Conservation Authority" Guidelines for Development Applications." Hydrogeological Guidelines -Hydrological Assessment 2013
 - Where the LSPOP applies, submissions are to be in accordance with the LSPOP found here: Watershed Phosphorus Offsetting Policy July 2021
- Low Impact Development Treatment Training tool can be found here: LID Treatment Training Tool April 2018
- Lake Simcoe Region Conservation Authority Review Fees can be found here: Planning Application and Permit-fees January 2022
- Please note that the review fees cover two rounds of reviews; third and subsequent submissions will be subject to additional fees per the fee schedule.



Report No. DS-2024-0052 Attachment 6 Page 32 of 39



October 17, 2022

Anna Geniole Planning Clerk Town of Georgina

Dear Anna:

Re: 01.160 & 03.1169 – 24996 Woodbine Ave (the "Subdivision")

Rogers Communications Canada Inc. ("**Rogers**") has reviewed the application for the above Subdivision and has determined that it intends to offer its communications services to residents of the Subdivision. Accordingly, we request that municipal approval for the Subdivision be granted subject to the following conditions:

- (1) The Owner shall agree in the Subdivision Agreement to (a) permit all CRTC-licensed telecommunications companies intending to serve the Subdivision (the "Communications Service Providers") to install their facilities within the Subdivision, and (b) provide joint trenches for such purpose.
- (2) The Owner shall agree in the Subdivision Agreement to grant, at its own cost, all easements required by the Communications Service Providers to serve the Subdivision, and will cause the registration of all such easements on title to the property.
- (3) The Owner shall agree in the Subdivision Agreement to coordinate construction activities with the Communications Service Providers and other utilities, and prepare an overall composite utility plan that shows the locations of all utility infrastructure for the Subdivision, as well as the timing and phasing of installation.
- (4) The Owner shall agree in the Subdivision Agreement that, if the Owner requires any existing Rogers facilities to be relocated, the Owner shall be responsible for the relocation of such facilities and provide where applicable, an easement to Rogers to accommodate the relocated facilities.

Report No. DS-2024-0052 Attachment 6 Page 33 of 39

Page 2

In addition, we kindly request to, where possible, receive copies of the following documents:

- (1) the comments received from any of the Communications Service Providers during circulation;
- (2) the proposed conditions of draft approval as prepared by municipal planners prior to their consideration by Council or any of its committees; and
- (3) the municipal planners' report recommending draft approval before it goes to Council or any of its committees.

Should you require further information or have any questions, please do not hesitate to contact me at yorkcirculations@rci.rogers.com

Yours truly,

York Circulations 244 Newkirk Rd Richmond Hill,, ON L4C 3S5



Corporate Services

Local File Nos.: 03.1169 (ZBA) & 01.160 (SUB) Reg. File No.: SUBP.22.G.0042 & ZBA.22.G.0123

Refer To: Asif Abbas

December 16, 2022

Mr. Harold Lenters
Director of Development Services
Town of Georgina
26557 Civic Centre Road
Keswick, ON L4P 3G1

Attention: Connor McBride, Senior Planner

Re: Request for Comments – 1st Submission - Zoning By-law Amendment 03.1169&

Draft Plan of Subdivision 01.160

York Region File Nos.: SUBP.22.G.0042 & ZBA.22.G.0123

24996 Woodbine Avenue

Part Lot 14 & Part Lot 15, Concession 3 (Orchidtrail Buildings Corp. Phase 2)

Town of Georgina

York Region is in receipt of the above noted draft plan of subdivision and zoning by-law amendment (ZBA) application. York Region has reviewed the draft plan of subdivision application, prepared by Michael Smith, Drawing No. 1224-00 dated June 12, 2021. The subject site is located west of Woodbine Avenue, on the south side of Old Homestead Road, in the Town of Georgina. These applications will buildout the future development blocks 250 and 251 on the related draft plan of subdivision application 19T20G01 (Regional file No.: SUBP.20.G.0005). The subdivision will facilitate a residential development consisting of 223 residential units, within a 11.39ha site. It is our understanding the related draft plan of subdivision 19T20G01 is pending approval.

Planning Policy Context

The subject lands are located within the "Urban Area" as shown on Map 1 of the York Region Official Plan, 2010 (YROP-2010). The 2022 York Region Official Plan (YROP-2022) was recently approved with modifications on November 4th, 2022 by the Ministry of Municipal Affairs and Housing. Similar to YROP-2010, the site is within the "Urban Area" as shown on Map 1 YROP-2022.

Internet: www.vork.ca

Regional Technical Review Comments

This proposed ZBA and subdivision applications were considered by staff from various Regional Departments. The attached preliminary technical comments have been provided with respect to these applications.

Transportation Planning

Transportation Planning, and Sustainable Mobility have reviewed the draft plan of subdivision, and accompanying Transportation Demand Management Plan, prepared by Mark Engineering, dated March 31, 2022. The following comments are provided:

Transportation Planning

- No private vehicular access will be permitted to Old Homestead Road or Woodbine Avenue. This includes all blocks that front Old Homestead Road and/or Woodbine Avenue.
- In previous subdivision applications it has been noted that the intersections of Street 'E' / Old Homestead Road and Danny Wheeler Boulevard / Woodbine Avenue will be required to provide exclusive turn lanes on the Regional road. The intersections and lanes shall be designed according to Regional standards, a design drawing shall be provided.
- 3. The applicant is advised that an updated transportation study is required to determine the storage requirements at Street 'E' / Old Homestead Road and Danny Wheeler Boulevard / Woodbine Avenue. The study shall also demonstrate the access arrangements and how the mixed-use blocks, blocks 252 and 253 on the related draft plan of subdivision application 19T20G01, will operate without direct vehicular access to Old Homestead Road or Woodbine Avenue. It is recommended that the applicant's Transportation Consultant prepare a Terms of Reference to submit to the Region to review prior to initiating the Study.

Sustainable Mobility

- 1. The applicant shall agree to construct a minimum 3.0 meters asphalt multi use pathway (MUP) along the south side of Old Homestead Road, from the southwest corner of Woodbine Avenue to the west limit of the Draft Plan.
- At the intersection of Woodbine Avenue and Old Homestead Road, the proposed MUP needs to connect with the existing on-street bike lanes via combined crossride as per York Region design standards DS-413.
- 3. The minimum clearance from the face of curb shall be 0.5m.
- 4. At the unsignalized intersections and driveways along Old Homestead Road, shared crossrides shall be implemented as per DS- 414 and DS-415.
- 5. At the intersection of Woodbine Avenue and Danny Wheeler Boulevard pavement marking for the existing on street bike lanes shall be implemented as per York Region's Pedestrian and Cycling Planning and Design Guidelines ex.6-17.
- 6. There are no comments on the proposed TDM report.

Infrastructure Asset Management (IAM)

IAM has reviewed the subject draft plan of subdivision in conjunction with Servicing Drawings G-1, G-2 and G-3 as well as the Stormwater Management and Functional Servicing Report dated November 24, 2021 prepared by A.M. Candaras Associates, which was submitted through the draft plan application for Orchid Trail Phase 1 and includes consideration of Orchid Trail Phase 2. IAM reviewed and provided comments on the FSR through the draft plan of subdivision application for Orchid Trail Phase 1. Those comments are largely applicable to the Phase 2 development as well and are provided below with additional comments.

Municipal Servicing

- 1. The FSR indicates that sanitary servicing to the proposed development will be through connections to the recently constructed 300mm sanitary sewer on Danny Wheeler Boulevard and will also require a forcemain and grinder pumps to service the northwest portion of the proposed subdivision.
 - IAM recommends that the detailed design of the proposed grinder pumps consider backup power to ensure that continuity of sanitary services can be maintained.
- 2. Water servicing is planned through extension of the recently constructed 250mm watermain on Danny Wheeler Boulevard eastward to Woodbine Avenue. The FSR states that further analysis of the water system will be undertaken to assess impact of the Orchid Trail development on system performance and confirm adequacy of the system to support the proposed Orchid Trail development.
 - It is IAM's understanding that the FSR will be further revised with the results of the water system analysis as well as further information on the proposed grinder pumps and forcemain as the detailed design advances. A copy of the updated FSR shall be forwarded to the Region for review and comment.
- 3. IAM acknowledges that Block 252 and 253 on the related draft plan of subdivision application 19T20G01 have been identified as future development wherein land use is not yet specified. IAM notes that when the future land use is determined, servicing plans may need to be revisited to ensure that water and wastewater services are appropriate to support the proposed use.
- 4. Keswick Sewage Pumping Station currently has capacity constraints and a capital project is underway to resolve the issue (estimated completion 2023). To this end, please be advised that the Region has required the Town to restrict occupancy of new units prior to commissioning of the upgrade works.

Servicing Capacity Allocation

5. Residential development in the Town of Georgina requires servicing capacity allocation prior to final approval. If the Town of Georgina does not grant this development allocation from the existing capacity assignments to date, then the development may require additional Regional infrastructure based on conditions of future capacity assignment.

Proximity to Regional Infrastructure

- 6. As noted in the servicing drawings, the Region's 750mm watermain and 400mm twin forcemains are located in the Woodbine Avenue right-of-way. The proposed 200mm watermain along Woodbine will be in close proximity to the Region's infrastructure. To ensure that the integrity of Regional infrastructure is protected throughout construction works, the Owner shall submit for Region's review and approval, a detailed engineering drawing showing plan and profile views of the proposed infrastructure including but not limited to the following details: location, depths, and horizontal separation between the proposed watermain and the Region's watermain and twinned forcemain.
- 7. IAM also requests that the Region's 750mm watermain be clearly labeled on Servicing Drawing G-1.
- 8. The Region's construction inspection staff (ENVassetapprovals@york.ca) shall be invited to pre-construction meetings and to inspect the construction site during works performed in close proximity of the Region's infrastructure. A minimum two weeks notice is required.

Development Engineering

The Owner shall convey the following lands to York Region for public highway purposes.

- a) A widening across the full frontage of the site where it abuts Old Homestead Road of sufficient width to provide a minimum of 18.0 metres from the centreline of construction of Old Homestead Road, and
- b) A 15 metre by 15 metre daylight triangle at the southeast and southwest corners of Street E and Old Homestead Road, and
- c) A 0.3 metre reserve across the full frontage of the site, except at the approved access location, adjacent to the above noted widening, where it abuts Old Homestead Road and adjacent to the above noted widening(s).

Summary

York Region staff have reviewed the information provided in support of this proposal. Transportation Planning and Infrastructure Asset Management comments are required to be addressed in the next submission, at which time the Region will be in a position to issue conditions of draft plan approval.

ATTACHMENT 5
Page 5

SUBP.22.G.0042 (01.160) ZBA.22.G.0123 (03.1169) (1376389 Ontario Ltd)

York Region staff are available to provide assistance throughout this application process should it be required. Should you have any questions or require further information, please contact Asif Abbas, Planner, at extension 77271, or by e-mail at asif.abbas@york.ca.

Sincerely,

Duncan MacAskill, MCIP, RPP

Manager, Development Planning

YORK-#14463622

SECOND SUBMISSION COMMENTS

Lake Simcoe Region Conservation Authority Technical Review - Hydrogeology



Site Address: 24996 Woodbine Ave	Date: April 10, 2024	LSRCA File #: OPZSD-42068-101722	Municipal Ref #: 01.160 / 03.1169
Application Type: OPA + ZBA + Subdivision/Condominium	APID: 42068	Submission #: SECOND	Municipality: Georgina

Documents Reviewed:

- Detailed Design Stormwater Management and Functional Servicing Report; a.m. candaras associates inc.; February 5, 2024
- Hydrogeological Assessment Report; Soil Engineers Ltd.; February 23, 2024
- In-Situ Guelph Permeameter Infiltration Testing; Soil Engineers Ltd.; September 2, 2021
- Memo: Mitigated Pre- and Post- Water Balance Assessment; Soil Engineers Ltd.; September 13, 2023

Documents Previously Reviewed:

- Memo: Mitigated Pre- and Post- Water Balance Assessment; Soil Engineers Ltd.; March 22, 2023
- Feature-Based Water Balance Assessment; Terrapex; December 15, 2021
- Detailed Design Stormwater Management and Functional Servicing Report; a.m. candaras; December 21, 2022

Background Information:

- Orchid Trail Development
- Phase 1 144,800 m²
- Due to the submission structure Technical staff have reviewed the hydrogeology reports as a complete site (Phase 1 to 3), however we understand the developer is only processeding with the registration of Phase 1 at this time.

Comment #	Item	Section	Page #	1st LSRCA Comments on May 15, 2023	1st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024	2 nd Applicant Response on Date
H1	Limited Hydro-g			Please provide a figure that clearly illustrates the proposed Orchid Trail development. Clearly define, on the figure, each proposed phase of the development. It is my understanding that the Phase I lands occupy 144800 m2 and include Phase 1: 104,200 m2, pond block, 26700 m2 and Park/Open space 13,900 m2. Please do not include the EPA floodplain undevelopable area in the water balance. Please update the water balance as appropriate.	SEL: Noted. The Hydrogeological Assessment Report dated Sep. 2021 will be revised to address the comments. Additionally, the pre-and post- development water balance has already been updated on Sep. 13, 2023.	Partially addressed: An updated water balance was completed for the Phase 1 lands (144,800 m²), encompassing development area (104,200 m²), pond block (26,700 m²) and park (13,900 m²). Please include a figure that clearly illustrates the proposed Orchid Trail development including Phase 1, Phase 2 and Phase 3 lands. Please also include figures for the water balance that show Phase 1 predevelopment and post-development permeable vs. impermeable land areas.	
H2	Limited Hydro-g			A groundwater monitoring program is required for the Orchid Trail Subdivision. Monitoring is required between 1 March and 30 June on, at a minimum, a monthly basis. Monthly monitoring is preferred for a 12-month period.	SEL: Noted. Groundwater monitoring was completed between April and June 2020. The findings are presented in the existing Hydrogeological Assessment Report issued in Sep. 2021. No further monitoring will be required as discussed with and confirmed with Dave Ruggle on Jan 31 2024.	Addressed. Seasonal high groundwater levels recorded in April 2, 2020. Water levels range from 0.19 mbgs to 5.9 mbgs. Please note LIDs may be limited due to groundwater separation requirements of 1 m.	

Report No. DS-2024-0052 Attachment 7 Page 1 of 18





Comment #	Item	Section	Page #	1 st LSRCA Comments on May 15, 2023	1 st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024	2 nd Applicant Response on Date
				From the data provided in June 2019			
				the groundwater levels ranged between			
				0.36 m bgs and >6.1 m bgs. It is			
				anticipated that groundwater levels will			
				be higher during the spring freshet.			
H3	Limited			A more detailed dewatering assessment	SEL: Noted. The existing	Partially addressed.	
	Hydro-g			is required for the Orchid Trail	Hydrogeological Assessment Report	a. Groundwater flow rates for the	
				development.	issued in Sep. 2021, will be revised	dewatering calculations are	
					considering the latest design drawings.	estimated using one singular K-test	
						(BH/MW3). This rate was applied to	
						all eight conceptual dewatering	
						areas. It is recommended to	
						complete at minimum two	
						additional K-tests to confirm/	
						average the range of hydraulic	
						conductivity rates within the sandy	
						silt till.	
						b. Currently Phase 2 and Phase 3	
						dewatering are estimated. The final	
						development design will need to be	
						incorporated into the updated	
						hydrogeological assessment and	
						dewatering calculations as	
						necessary. Please show updated	
						dewatering calculations in a table	
						format. The requirement for a dewatering permit (PTTW/EASR)	
						through the MECP and potential	
						dewatering discharge to the sewers	
						(sanitary/storm) with the Town or	
						Region will need to be reevaluated.	
						c. The site is located within an	
						Ecologically Significant Recharge	
						Area, as such, LSPP 6.40-DP applies.	
						Groundwater quality and quantity	
						should be maintained. Please note	
						any dewatering should be treated	
						for PWQO and returned to the	
						environment.	
						d. Please provide a figure of the	
						calculated Zone of Influence in	
						relation to water supply well users.	
			1			relation to water supply well users.	

Report No. DS-2024-0052 Attachment 7 Page 2 of 18





Comment #	Item	Section	Page #	1st LSRCA Comments on May 15, 2023	1 st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024	2 nd Applicant Response on Date
						e. Section 16 indicates a Baseline	
						Hydrogeological Assessment and	
						Well Monitoring study was prepared	
						in July 2023. Please provide the	
						report.	
H4	Limited			<i>In-situ</i> infiltration testing is to be	SEL: Noted. An in-situ Infiltration	Partially addressed.	
	Hydro-g			undertaken in the vicinity of and at the	Testing report was issued on Sep. 2,	<i>In-situ</i> infiltration testing was	
	", " " "			base of any proposed infiltration	2021.	completed. Infiltration rates range from	
				facilities		12 mm/hr to 73 mm/hr. Generally, Test	
						Pit 5, 6, 7, 8 and 12 <i>in-situ</i> infiltration	
						rates are functionally feasible. Test Pit 9	
						and 10 are mapped as an area suitable	
						for infiltration (Drawing 2), however, in-	
						situ tests were not successful and	
						estimated rates are below the 15	
						mm/hr requirement. Thus, not	
						functionally feasible.	
						Tarrettoriany reastste.	
						a. Please provide a figure of the Test	
						Pit locations in relation to the	
						proposed infiltration trenches and	
						provide the proposed infiltration	
						facility invert elevations. In-situ tests	
						are required in the vicinity and at	
						the base of any proposed infiltration	
						facilities. Please note additional <i>in</i> -	
						situ testing may be required.	
						b. Table 3: Please indicate the date	
						used to interpret the high	
						groundwater elevation. Please plot	
						the test pit locations on the	
						groundwater flow map.	
H5	Water			Please provide the groundwater	SEL: Noted. As per responses for	Addressed.	
	Balance			monitoring data that was to have been	comment H2. Hydrogeological	Spring 2020 data included. Please note	
				acquired in the spring of 2020.	Assessment Report dated Sep. 2021	future submissions require a	
				and are an eric spring of Edeo.	presents the groundwater monitoring	comprehensive, one document report	
					data collected between April and June	consisting of the complete	
					2020.	Hydrogeological Assessment and Water	
					2020.	Balance.	
H6	Water			Pre-development infiltration is	SEL: Noted. The pre- and post-	Partially addressed.	
110	Balance			calculated to be 55,627.67 m ³	development water balance has already	a. A water balance assessment was	
	Dalatice			Calculated to be 33,027.07	development water balance has already	completed for Phase 1 (144,800 m ²),	
			1			completed for Phase 1 (144,800 m²),	

Report No. DS-2024-0052 Attachment 7 Page 3 of 18





Comment #	Item	Section	Page #	1st LSRCA Comments on May 15, 2023	1 st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024 2 nd Applicant Response on Date
				Post-development infiltration volume is calculated to be: 33498.03 m³ The post-development infiltration deficit is calculated to be 26115.20 m³ The post development infiltration deficit is calculated to be 7382.83 m³ Please calculate a separate water balance for each phase of the Orchid trail development. And demonstrate how the infiltration deficit will be mitigated within each phase of development. Please do not include the EPA/Floodplain area in the water balance.	been updated and issued on Sep. 13, 2023.	excluding the Phase 1 fire block (15, 000 m²). The pre-development infiltration is calculated to be 21,148.04 m³/yr The post-development infiltration is calculated to be 13,765.21 m³/yr The post-development infiltration with mitigation is 15,258.41 m³/yr The post-development infiltration with mitigation deficit is 5,889.63 m³/yr. Please demonstrate how the remaining deficit will be mitigated. b. Appendix B page 1 shows total area of the entire site (410,460 m²). Please provide the pre-development table for Phase 1 c. Table 5 implies that the pond has been credited as a pervious area. Please note surface water features are not credited for infiltration. d. Appendix B page 2 and 3, please separate the areas for the various pervious and impervious surfaces as identified in Table 5. e. Please calculate a separate water balance for Phase 2 and Phase 3 of the Orchid Trail development. Demonstrate how the infiltration deficit will be mitigated within each phase of development. f. As noted in H1, please also include figures for the water balance that show Phase 1 pre-development and post-development permeable vs. impermeable land areas.
H7	Water Balance			As per the TRCA/CVC guidelines between 25% and 50% of rooftop runoff directed to a minimum 5 m long flow path over a permeable surface will be credited for infiltration. The volume credited is dependent on the classification of the underlying native	SEL: Noted. The pre- and post- development water balance has already been updated and issued on Sep. 13, 2023.	Partially addressed. It is noted that 45% is accepted over the 5 m flow path. Please identify the infiltration rates of the soils, soil group and slope to determine the feasibility of the rooftop runoff to permeable surface.

Report No. DS-2024-0052 Attachment 7 Page 4 of 18





Comment #	Item	Section	Page #	1 st LSRCA Comments on May 15, 2023	1 st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024	2 nd Applicant Response on Date
				soil (A/B or C/D) and the slope of the			
				permeable surface. Please provide			
				these details. And reassess the volume			
				that may be infiltrated through this			
				method.			
Н8	Drawings			Please demonstrate that there will be a	SEL: Please refer to the Hydrogeological	Partially addressed.	
				minimum separation between the	Assessment Report dated Sep. 2021	The functional feasibility of the	
				invert of the proposed infiltration	which presents the groundwater	proposed infiltration trenches needs to	
				trenches and the seasonal high	monitoring data collected between April	be demonstrated. Please show the	
				groundwater levels. From the	and June 2020. No further monitoring	location of the test pits on Drawings C5	
				preliminary groundwater data provided	will be required as discussed with and	and C6. Please complete an analysis	
				it is uncertain that this will be achieved.	confirmed with Dave Ruggle on Jan 31	showing the tested in-situ infiltration	
					2024.	elevation, bottom elevation of the	
						proposed infiltration trenches and the	
					A minimum separation of 1.0m will be	seasonal high groundwater levels.	
					provided for all proposed infiltration	Please note additional in-situ testing	
					trenches. Additional details have been	may be required.	
					provided on Plans C5 and C6. These		
					plans now include the proposed grading		
					design and groundwater contours.		
H9	SWM			The stormwater management report	The December 21, 2022 report submit is	Addressed.	
				appears to be for the Starlish	for Orchid Trail. Please note that some		
				development. Please provide a	figures and draft plans show both		
				functional servicing report/stormwater	developments (Orchid Trail and Starlish		
				management report that addresses the	Ph 3), as they were submitted as one		
				Orchid Trail development.	draft plan application.		
H10	Drawings			Please provide drawings and cross	Typical cross section details of the	Partially addressed.	
				sections of proposed LID facilities.	proposed infiltration trenches are	Drawing C5 and C6 groundwater	
				Include all dimensions, materials used,	provided on Plans C5 and C6. They	contours suggest there may be a 1 m	
				current and proposed profile and	include dimensions, materials used, as	separation between the infiltration	
				demonstrate that there is a minimum 1	well as proposed grading design and	trench invert and groundwater	
				m separation between the invert of the	groundwater contours to demonstrate	contours. However, please provide a	
				facility and the seasonal high	that there is a minimum 1m separation	brief table showing the LID invert and	
				groundwater elevation.	between the bottom of the trenches to	interpreted seasonal high groundwater	
					groundwater levels.	level, quantifying the 1 m separation.	
						Please show the frest line on the mark	
						Please show the frost line on the park infiltration trench. If the invert of the	
						proposed park infiltration trench is above the frost penetration level, the	
						facility will not operate in the colder	
	1			1		winter months. Please reassess the	

Report No. DS-2024-0052 Attachment 7 Page 5 of 18



Comment #	Item	Section	Page #	1 st LSRCA Comments on May 15, 2023	1 st Applicant Response on Date	2 nd LSRCA Comments on April 10, 2024	2 nd Applicant Response on Date
						volume that can be expected to	
						infiltrate through this system.	
						Infiltration will not occur over the	
						vegetated swale in the colder months	
						when the ground is frozen, please	
						reassess the volume of runoff that will	
						infiltrate utilizing precipitation from the	
						warmer months only.	
H11	SWM			Provide calculations demonstrating that	Calculations for the drawdown time	Partially addressed.	
				the proposed LID facilities are	have been provided on Plans C5 and C6.	The current calculations use an	
				adequately sized for volume and that		infiltration rate of 12 mm/hr. The design	
				draw down will be complete within the		infiltration rate suggested by SEL	
				preferred 24-48 hour timeframe.		(including applicable safety factor) was	
						8.75 mm/hr. Please update with the	
						confirmed in-situ rates and factor of	
						safety.	
						The water balance values between the	
						SWM report and SEL Water Balance	
						Memo (December, 2023) differ. Please	
						provide values of the most recent water	
						balance analysis and demonstrate that	
						the proposed facilities are sized to	
						mitigate the infiltration deficit.	
H12						It is recommended to meet with LSRCA	
						Technical Reviewers prior to the next	
						submission.	

Submission Resubmission Requirements:

- 1. A completed response matrix including detailed response outlining how each of the comments above have been addressed with reference to applicable reports and drawings.
- 2. The response matrix is to also include a summary of any additional changes to the design and/or analysis. This includes changes to reports, drawings, details, facility design and changes not identified in the detailed response to comments.
- 3. Reports and engineering drawings and details are to be signed and sealed by a Professional Engineer.
- 4. All submissions and reports are to include a digital copy of applicable models.
- 5. All submission and reports are to include applicable technical components which achieve the minimum requirements outlined in the Lake Simcoe Region Conservation Authority Technical Guidelines for Stormwater Management Submission, April 2022.

Important Notes and References:

1. Please contact the Lake Simcoe Region Conservation Authority (LSRCA) to scope any required Environmental Impact Study or Natural Heritage Evaluation.

Report No. DS-2024-0052 Attachment 7 Page 6 of 18



- 2. The stormwater management submission is required to be prepared in accordance with LSRCA Technical Guidelines for Stormwater Management Submissions. <u>Technical-Guidelines-for-Stormwater-Management-Submissions April 2022</u>
- 3. Submissions are to be in accordance with the LSRCA Watershed Development Guidelines. Ontario Regulation 179/06 Implementation Guidelines
- 4. The hydrogeological analysis is required to be prepared in accordance with "Hydrological Assessment Submissions: Conservation Authority" Guidelines for Development Applications." Hydrogeological Guidelines Hydrological Assessment 2013
- 5. Where the LSPOP applies, submissions are to be in accordance with the LSPOP found here: Watershed Phosphorus Offsetting Policy July 2021
- 6. Low Impact Development Treatment Training tool can be found here: <u>LID Treatment Training Tool April 2018</u>
- 7. Lake Simcoe Region Conservation Authority Review Fees can be found here: Planning Application and Permit-fees January 2022.
- 8. Please note that the review fees cover two rounds of reviews; third and subsequent submissions will be subject to additional fees per the fee schedule.

Report No. DS-2024-0052 Attachment 7 Page 7 of 18





Local File Nos.: 03.1169 (ZBA) & 01.160 (SUB) Reg. File No.: SUBP.22.G.0042 & ZBA.22.G.0123

Refer To: Maryam Ahmed

August 12, 2024

Mr. Denis Beaulieu Director of Development Services Town of Georgina 26557 Civic Centre Road Keswick, ON L4P 3G1

Attention: Sean Lapenna, Senior Planner

Re: Request for Comments – 2nd Submission - Zoning By-law Amendment 03.1169

& Draft Plan of Subdivision 01.160

York Region File Nos.: SUBP.22.G.0042 & ZBA.22.G.0123

24996 Woodbine Avenue

Part Lot 14 & Part Lot 15, Concession 3 (Orchidtrail Buildings Corp. Phase 2)

Town of Georgina

York Region has reviewed the second submission of the Zoning By-Law Amendment (ZBA) and Draft Plan of Subdivision prepared by Michael Smith Drawing No. 1224-00 dated March 25, 2024. The subject site is located west of Woodbine Avenue, on the south side of Old Homestead Road, in the Town of Georgina. These applications will buildout the future development blocks 250 and 251 on the related draft plan of subdivision application 19T20G01 (Regional file No.: SUBP.20.G.0005). It is our understanding the related draft plan of subdivision 19T20G01 is draft approved. The subdivision will facilitate a residential development consisting of 239 residential units, within a 9.94 ha site. York Region provided comments on the first submission in a letter dated December 16, 2022. We now off the following additional comments and attached conditions of draft plan approval on the subdivision application.

Purpose of Zoning By-law Amendment

The Zoning By-Law Amendment (ZBA) application is to rezone the subject land from Rural {RU} to Low Density Urban Residential {R1-XX(H)}, Low Density Residential {R1-YY (H)}, Low Density Residential (R1-ZZ(H)) Medium Density Urban Residential {R3-XX(H)}, and Transitional (T) to facilitate and implement a residential plan of subdivision.

Internet: www.york.ca

Regional Technical Review Comments

The proposed ZBA and subdivision applications were considered by staff from various Regional Departments. The comments below and attached schedule of conditions have been provided with respect to these applications.

Infrastructure Asset Management (IAM)

IAM has reviewed the subject draft plan of subdivision in conjunction with Servicing Drawings G-1, G-2 and G-3 as well as the Detailed Design Stormwater Management and Functional Servicing Report dated February 5, 2024 prepared by A.M. Candaras Associates, which was submitted through the draft plan of subdivision application for Orchid Trail Phase 2.

IAM previously reviewed and provided comments on the FSR through the draft plan of subdivision application for Orchid Trail Phase 1. Those comments and conditions are largely applicable to the Phase 2 development as well and provide the additional comments below. No comment response matrix was included in this submission. IAM's previous comments have not been acknowledged or responded to by the applicant and therefore remain valid.

General

- 1. Please include a comment response matrix for future resubmissions.
- 2. The cover letter notes that this application is in support of the Phase 2 Draft Plan submission for the Orchid Trail Residential Development, however, there are numerous references to Phase 1 throughout the Detailed Design Stormwater Management and Functional Servicing Report, inclusive of the Sanitary Sewer Design Sheets (Appendix G) and the Watermain System Analysis (Appendix H). Please ensure that analysis and subsequent wording in the submitted reports for this application are in support of Phase 2.
- 3. On Figure 3 of the FSR, the future blocks are denoted as Block 248 and Block 249. On Figure 3B of the FSR, the future blocks are denoted as Block 252 and Block 253. Please clarify.

Municipal Water and Wastewater Servicing

- The FSR indicates that sanitary servicing to the proposed development will be through connections to the 300mm sanitary sewer on Danny Wheeler Boulevard that is recently constructed and will also require a forcemain and grinder pumps to provide sanitary service connections for the future Fire Hall block at the north limit of Thomas Smith Street.
- 2. IAM recommends that the detailed design of the proposed grinder pumps consider backup power to ensure that continuity of sanitary services can be maintained. IAM understands that additional details regarding the grinder pump and service connections will be provided as part of the detailed Engineering drawing submission. A copy of the detailed Engineering drawing submission shall be forwarded to the Region for review and comment.
- 3. The FSR indicates that sanitary servicing to the proposed development will be through

(Orchidtrail Buildings Corp. Phase 2) - 2nd Submission

connections to the 300mm sanitary sewer on Danny Wheeler Boulevard that has been recently constructed. Drawing G2 indicates 'Connect to Existing 250mm Sanitary' at the intersection of Danny Wheeler Boulevard and Ken Davie Gate. Please clarify.

- 4. The Sanitary sewer design sheet in Appendix G of the FSR from Old Homestead/Metro to SPS. No. 4 (pages 2047-2048 of 2091) does not appear to be updated. Please submit the updated file for the Region to review and comment.
- 5. Water servicing is planned through extension of the recently constructed 250mm watermain on Danny Wheeler Boulevard eastward to Woodbine Avenue. It will then continue south on Woodbine Avenue with a 200mm watermain, connecting to the existing 400mm stub at the northwest corner of Woodbine Avenue and Church Street. The FSR states that additional analysis of the water supply and distribution system will be completed to evaluate the performance of the system with the addition of Phase 2 and 3 of the Orchid Trail Development. A copy of the additional analysis shall be forwarded to the Region for review and comment.
- 6. It is IAM's understanding that the FSR will be further revised with the results of the water system analysis as well as further information on the proposed grinder pumps and forcemain as the detailed design advances. A copy of the updated FSR shall be forwarded to the Region for review and comment.
- 7. IAM acknowledges that Block 252 and 253 have been identified as future development wherein land use is not yet specified. IAM notes that when the future land use is determined, servicing plans may need to be revisited to ensure that water and wastewater services are appropriate to support the proposed use.
- 8. Following verification of the connection size, the hydraulic modeling analysis should then be updated as needed to reflect actual conditions in order to confirm that the proposed watermain network can support required flows and pressures in Keswick Business Park per the approved Master Servicing Study.
- 9. To minimize disruption to the existing and proposed roadways, it is recommended that the proposed servicing infrastructure be constructed at the time that the subdivision blocks and roads are put in place.

Servicing Capacity Allocation

Residential development in the Town of Georgina requires servicing capacity allocation prior
to final approval. If the Town of Georgina does not grant this development allocation from
the existing capacity assignments to date, then the development may require additional
Regional infrastructure based on conditions of future capacity assignment.

Proximity to Regional Infrastructure

- 1. As noted in the servicing drawings, the Region's 750mm watermain and 400mm twin forcemains are located in the Woodbine Avenue right-of-way. The proposed 200mm watermain along Woodbine will be in close proximity to the Region's infrastructure. To ensure that the integrity of Regional infrastructure is protected throughout construction works, the Owner shall submit for Region's review and approval, a detailed engineering drawing showing plan and profile views of the proposed infrastructure including but not limited to the following details: location, depths, and horizontal separation between the proposed watermain and the Region's watermain and twinned forcemain.
- 2. IAM also requests that the Region's 750mm watermain be clearly labeled on Servicing Drawing G-1.
- 3. The Region's construction inspection staff (ENVassetapprovals@york.ca) shall be invited to pre-construction meetings and to inspect the construction site during works performed in close proximity of the Region's infrastructure. A minimum two weeks notice is required.

Transportation Planning

Transportation Planning and Traffic Safety have reviewed the draft plan of subdivision and accompanying Transportation Study Update, prepared by Trans-Plan, dated February 13, 2023. The following comments are provided:

- 1. The applicant shall provide a Response matrix with future submissions, which includes a brief response explanation along with identifying where in the report/figure/drawings each comment provided below is addressed.
- 2. It should be noted that the subdivision plan and associated land-uses shown in the Traffic Brief is different from the submitted Draft Plan of Subdivision (MSP, revised March 25, 2024). Based on the MSP Draft Plan, the total number of units appear to be similar and the Orchidtrail Phase 2 boundary is shifted south of Old Homestead Road. No update to the traffic study required at this time.
- 3. Clarification is required to why the vehicular interconnection between Street B and the future Block 252 (future commercial) has been removed, which is shown in the Traffic Brief and previous Draft Plan. Protection for this future interconnection with Block 252 should be provided with the subdivision. The applicant is advised that the Region does not support any direct private vehicular access to Block 252 and 253 (Orchidtrail Phase 3) from Woodbine Avenue or Old Homestead Road.
- 4. Revise the Functional design drawing FP-1 to provide an Eastbound Left minimum storage length of 23-metres at Danny Wheeler Blvd/Woodbine Avenue as recommended in the traffic impact brief. This shall be reflected in the Engineering Application design for Orchidtrail Development Phase 1 (Region file: ENG.22.G.0038), which includes facilitation of the internal road connections to adjacent Regional roads.

Report No. DS-2024-0052 Attachment 7 Page 11 of 18

Sustainable Transportation

 It is understood that a platform for future 3.0m MUP along Old Homestead Road, between Woodbine Avenue and Street 'I' (Thomas Smith Street) is being constructed as part of the engineering works associated with Orchid Trail Phase 1 (ENG.22.G.0038 - S.9.209). The Draft Plan of Subdivision and relevant drawings for Phase 2 shall be revised to demonstrate the alignment of the MUP platform adjacent to the site and labelled accordingly.

Lapsing Provision

York Region requests that the Town of Georgina apply a lapsing provision to the draft plan, pursuant to Section 51(32) of the Ontario Planning Act, and that York Region be provided an opportunity to comment on any proposed extensions of the approval.

Summary

York Region has no objection to approval of the draft plan of subdivision and zoning by-law amendment subject to the attached Schedule of Conditions for the plan of subdivision. Regional staff do not have any objections on the ZBA. We request a copy of the notice of decision, draft approved plan, and the conditions of draft approval should the plan be approved. Should you have any questions or require further information, please contact Maryam Ahmed, Planner, by e-mail at maryam.ahmed@york.ca.

Sincerely,

Duncan MacAskill, MCIP, RPP

Manager, Development Planning

Attachments (1) Schedule of Conditions

YORK-#16284997

Schedule of Conditions 01.160 (SUBP.22.G.0042) Part Lot 14 & Part Lot 15, Concession 3, (Orchidtrail Buildings Corp. Phase 2) Town of Georgina

Re: Michael Smith (Drawing dated March 25th, 2024)

- 1. The Owner shall agree in the subdivision agreement that the Owner shall save harmless the Town of Georgina and York Region from any claim or action as a result of water or sanitary sewer service not being available when anticipated.
- 2. The Owner agrees in the subdivision agreement that they shall not apply for occupancy permits for the new units until the Region confirms to the town that the on-going capital work at the Keswick Sewage Pumping Station are completed.
- 3. The Owner shall agree in the Subdivision Agreement to implement the recommendations of the Transportation Study (and addenda), including TDM measures and incentives, as approved by the Region.
- 4. The Owner shall agree in the subdivision agreement where enhanced landscape features beyond street tree planting, sod and concrete walkways are proposed in the York Region Right-Of-Way by the Owner or the area municipality, these features must be approved by Development Engineering and shall be maintained by the area municipality. Failure to maintain these landscape features to York Region's satisfaction will result in the area municipality incurring the cost of maintenance and/or removal undertaken by the Region.
- 5. The Owner shall agree in the subdivision agreement that prior to the development approval of Block 252 and 253 that access to Block 252 and 253 shall be via the internal road network) and direct access to Regional Road will not be permitted.
- 6. The Owner shall agree in the subdivision agreement that where berm, noise wall, window and/or oversized forced air mechanical systems are required, these features shall be certified by a professional engineer to have been installed as specified by the approved Noise Study and in conformance with the Ministry of Environment guidelines and the York Region Noise Policy.
- 7. The following warning clause shall be included with respect to the lots or blocks affected:
 - "Purchasers are advised that despite the inclusion of noise attenuation features within the development area and within the individual building units, noise levels will continue to increase, occasionally interfering with some activities of the building's occupants".
- 8. The Owner shall agree in the subdivision agreement to be responsible for determining the location of all utility plants within York Region Right-Of-Way and for the cost of relocating, replacing, repairing and restoring any appurtenances damaged during construction of the proposed site works. The Owner must review, or ensure that any consultants retained by the

(Orchidtrail Buildings Corp. Phase 2) - 2nd Submission

Owner, review, at an early stage, the applicable authority's minimum vertical clearances for aerial cable systems and their minimum spacing and cover requirements. The Owner shall be entirely responsible for making any adjustments or relocations, if necessary, prior to the commencement of any construction.

- 9. The road allowance included within the draft plan of subdivision shall be named to the satisfaction of the Town of Georgina and York Region. Prior to final approval the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the subject development and have been allocated by the Town of Georgina:
 - a. a copy of the Council resolution confirming that the Town of Georgina has allocated servicing capacity, specifying the specific source of the capacity, to the development proposed within this site plan.
 - b. a copy of an email confirmation by Town of Georgina staff stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition.
- 10. Prior to final approval the Owner shall submit an updated FSR and Site Servicing Plan to the satisfaction of York Region.
- 11. Prior to final approval the Owner shall provide an electronic set of final engineering drawings showing the watermains and sewers for the proposed development to the Economic and Development Services Branch and the Infrastructure Asset Management Branch for record.
- 12. Prior to final approval and concurrent with the submission of the subdivision servicing application (MOE) to the area municipality, the Owner shall provide a set of engineering drawings, for any works to be constructed on or adjacent to the York Region road, to Development Engineering, Attention: Manager, Development Engineering, that includes the following drawings:
 - a. Plan and Profile for the York Region road and intersections;
 - b. Grading and Servicing;
 - c. Intersection/Road Improvements, including the recommendations of the Traffic Report;
 - d. Construction Access Design;
 - e. Utility and underground services Location Plans;
 - f. Signalization and Illumination Designs;
 - g. Line Painting;
 - h. Traffic Control/Management Plans;
 - i. Erosion and Siltation Control Plans;
 - j. Landscaping Plans, including tree preservation, relocation and removals;
 - k. Sidewalk locations, concrete pedestrian access to existing and future transit services and transit stop locations as required by York Region Transit/Viva
 - I. Functional Servicing Report (water, sanitary and storm services)
 - m. Water supply and distribution report;
 - n. Engineering drawings showing plan and profile views of proposed works related

(Orchidtrail Buildings Corp. Phase 2) - 2nd Submission

to connections to or crossing of Regional watermain or sewer, including the following, as applicable:

- o. Disinfection Plan
- p. MOECC Form 1- Record of Watermains Authorized as a Future Alteration
- q. Engineering drawings showing plan and profile views of proposed sewers and watermains and appurtenances, including manholes, watermains, valves, hydrants, etc. proposed within the subdivision.
- 13. Prior to final approval the Owner shall provide drawings for the proposed servicing of the site to be reviewed by the Engineering Department of the area municipality. Three (3) sets of engineering drawings (stamped and signed by a professional engineer), and MOE forms together with any supporting information shall be submitted to Development Engineering, Attention: Ms. Cynthia Tam, P.Eng.
- 14. Prior to final approval the location and design of the construction access for the subdivision work shall be completed to the satisfaction of Development Engineering and illustrated on the Engineering Drawings.
- 15. Prior to final approval the Owner shall demonstrate, to the satisfaction of Development Engineering, that all existing driveway(s) along the Regional road frontage of this subdivision will be removed as part of the subdivision work, at no cost to York Region.
- 16. Prior to final approval the Owner shall demonstrate, to the satisfaction of Development Engineering that elevations along the street line shall be 0.2 metres above the centreline elevations of the York Region roadway, unless otherwise specified by Development Engineering.
- 17. Prior to final approval the Owner shall have prepared, by a qualified Tree Professional, a Tree Inventory and Preservation / Removals Plan and Arborist Report identifying all existing woody vegetation within the York Region Right-Of-Way to be removed, preserved or relocated. The report / plan, submitted to Development Engineering for review and approval, shall adhere to the requirements outlined in the York Region Street Tree and Forest Preservation Guidelines and shall be to the satisfaction of York Region Natural Heritage and Forestry Staff.
- 18. Prior to final approval the Owner shall have prepared, by a qualified professional Landscape Architect, landscape design plans detailing landscape works and street tree planting in the York Region Right-Of-Way as required by any and/or all of the following, York Region's Streetscaping Policy, York Region's Street Tree Preservation and Planting Design Guidelines, any prevailing Streetscape Masterplan or Secondary Plan or as required by Urban and Architectural Design Guidelines.
- 19. Prior to final approval the Owner shall engage the services of a consultant to prepare and submit for review and approval, a noise study to the satisfaction of Development Engineering recommending noise attenuation features.
- 20. Prior to final approval the Owner shall implement the noise attenuation features as recommended by the noise study and to the satisfaction of Development Engineering.

- 21. Where noise attenuation features will abut a York Region Right-Of-Way, the Owner shall agree in wording satisfactory to York Region's Development Engineering, as follows:
 - a. That no part of any noise attenuation feature shall be constructed on or within the York Region Right-Of-Way;
 - b. That noise fences adjacent to York Region roads may be constructed on the private side of the 0.3 metre reserve and may be a maximum 2.5 metres in height, subject to the area municipality's concurrence;
 - c. That maintenance of the noise barriers and fences bordering on York Region Right-Of-Way's shall not be the responsibility of York Region.
- 22. The Region requires the Owner submit a Phase One Environmental Site Assessment ("ESA") in general accordance with the requirements of the Environmental Protection Act and O. Reg. 153/04 Records of Site Condition, as amended ("O. Reg. 153/04"). The Phase One ESA must be for the Owner's property that is the subject of the application and include the lands to be conveyed to the Region (the "Conveyance Lands"). The Phase One ESA cannot be more than two (2) years old at: (a) the date of submission to the Region; and (b) the date title to the Conveyance Lands is transferred to the Region. If the originally submitted Phase One ESA is or would be more than two (2) years old at the actual date title of the Conveyance Lands is transferred to the Region, the Phase One ESA will need to be either updated or a new Phase One ESA submitted by the Owner. Any update or new Phase One ESA must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. The Region, at its discretion, may require further study, investigation, assessment, delineation and preparation of reports to determine whether any action is required regardless of the findings or conclusions of the submitted Phase One ESA. The further study, investigation, assessment, delineation and subsequent reports or documentation must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. Reliance on the Phase One ESA and any subsequent reports or documentation must be provided to the Region in the Region's standard format and/or contain terms and conditions satisfactory to the Region.

The Region requires a certified written statement from the Owner that, as of the date title to the Conveyance Lands is transferred to the Region: (i) there are no contaminants of concern, within the meaning of O. Reg. 153/04, which are present at, in, on, or under the property, or emanating or migrating from the property to the Conveyance Lands at levels that exceed the MOECC full depth site condition standards applicable to the property; (ii) no pollutant, waste of any nature, hazardous substance, toxic substance, dangerous goods, or other substance or material defined or regulated under applicable environmental laws is present at, in, on or under the Conveyance Lands; and (iii) there are no underground or aboveground tanks, related piping, equipment and appurtenances located at, in, on or under the Conveyance Lands.

The Owner shall be responsible for all costs associated with the preparation and delivery of the Phase One ESA, any subsequent environmental work, reports or other documentation, reliance and the Owner's certified written statement.

(Orchidtrail Buildings Corp. Phase 2) - 2nd Submission

- 23. Upon registration of the plan, the Owner shall convey the following lands to York Region for public highway purposes, free of all costs and encumbrances, to the satisfaction of the Regional Solicitor:
 - A widening across the full frontage of the site where it abuts Old Homestead Road
 of sufficient width to provide a minimum of 18.0 metres from the centreline of
 construction of Old Homestead Road, and
 - d. A 15 metre by 15 metre daylight triangle at the southeast and southwest corners of Street E and Old Homestead Road, and
 - e. A 0.3 metre reserve across the full frontage of the site, except at the approved access location, adjacent to the above noted widening, where it abuts Old Homestead Road and adjacent to the above noted widening(s).
- 24. The Owner shall provide a solicitor's certificate of title in a form satisfactory to York Region Solicitor, at no cost to York Region with respect to the conveyance of the above noted lands to York Region.
- 25. The Owner shall demonstrate, to the satisfaction of Development Engineering that Street E shall be designed to intersect Old Homestead Road at a right angle, or on a common tangent.
- 26. The Owner shall demonstrate, to the satisfaction of Development Engineering, that the throat width of Street E shall be designed to accommodate the recommendations of the transportation report approved by York Region.
- 27. The intersection of Street E and Old Homestead Road shall be designed to the satisfaction of Development Engineering with any interim or permanent intersection works including turning lanes, profile adjustments, illumination and/or signalization as deemed necessary by Development Engineering.
- 28. The Owner shall demonstrate, to the satisfaction of Development Engineering, that all local underground services will be installed within the area of the development lands and not within York Region's road allowance. If a buffer or easement is needed to accommodate the local services adjacent to York Region's Right-of-Way, then the Owner shall provide a satisfactory buffer or easement to the Area Municipality, at no cost to the Region.
- 29. The Owner shall provide an executed copy of the subdivision agreement with the local municipality.
- 30. The Owner shall enter into a Development Charge Rate Freezing Agreement with York Region to freeze/lock in the Development Charge rate at the time the site plan application or Zoning By-law Amendment is deemed a complete submission, satisfy all conditions, financial and otherwise, and confirm the date at which Regional development charge rates are frozen; Regional Development Charges are payable in accordance with Regional Development Charges By-law in effect at the time that Regional development charges, or any part thereof, are payable. Please contact Fabrizio Filippazzo, Manager, Development Financing Administration to initiate a Development Charge Agreement with Report No. DS-

Report No. DS-2024-0052 Attachment 7 Page 17 of 18 31. The Regional Corporate Services Department shall advise that Conditions 1 to 30 inclusive, have been satisfied.

Report No. DS-2024-0052 Attachment 7 Page 18 of 18

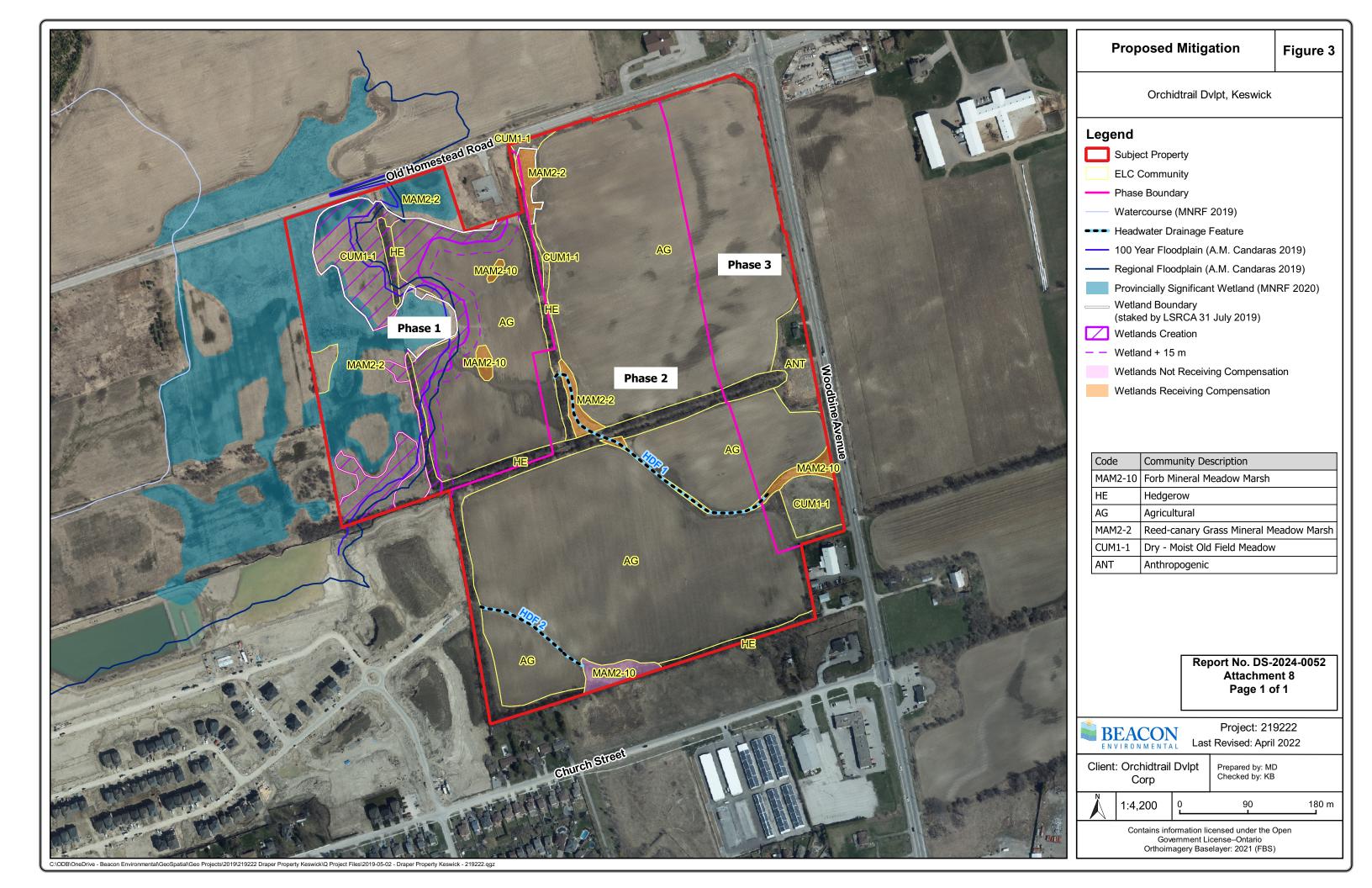


Table 5. Summary of Recommendations

Type of Mitigation	Recommendation				
Wetland Compensation	Provide wetland compensation for wetland loss through Offsetting Policy	ugh the Ecological			
 Headwater Drainage Feature Mgt. 	Application of the mitigation techniques of replicating maintenance of flow to the downstream feature	g function through			
3. Fencing	Permanent fencing is installed between the SWM and Park Blocks and the EPA				
4. Lighting	Lighting is minimized and directed down and away from the EPA				
5. Bat Boxes	Installation of bat boxes in the PSW				
6. Timing of Removals	All vegetation removal between September and early March; Barn removal between November and middle of March; and Crayfish habitat removal between November and early March				
7. ESC Plan	Establish ESC plan to ensure that sediment does not migrate into the sensitive areas adjacent to or within the PSW				
8. LIDs and Hydrology	Mitigate the reduction in infiltration through implementation of infiltration galleries to infiltrate roof top drainage and direct surface flows to the SWM pond to outlet to the PSW to maintain the existing hydrology of the PSW and crayfish habitat post-development.				
Habitat Monitoring	Habitat Monitoring Three years of wetland monitoring, Monitoring Plan to be developed				
10. Crayfish Salvage Plan	Development of a salvage plan and Licence to Colle 2023)	ect Fish (completed May			
		Report No. DS-2024-0052 Attachment 9			

Page 1 of 1