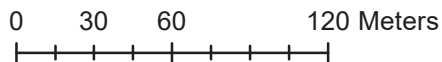


LOCATION MAP



SUBJECT LAND

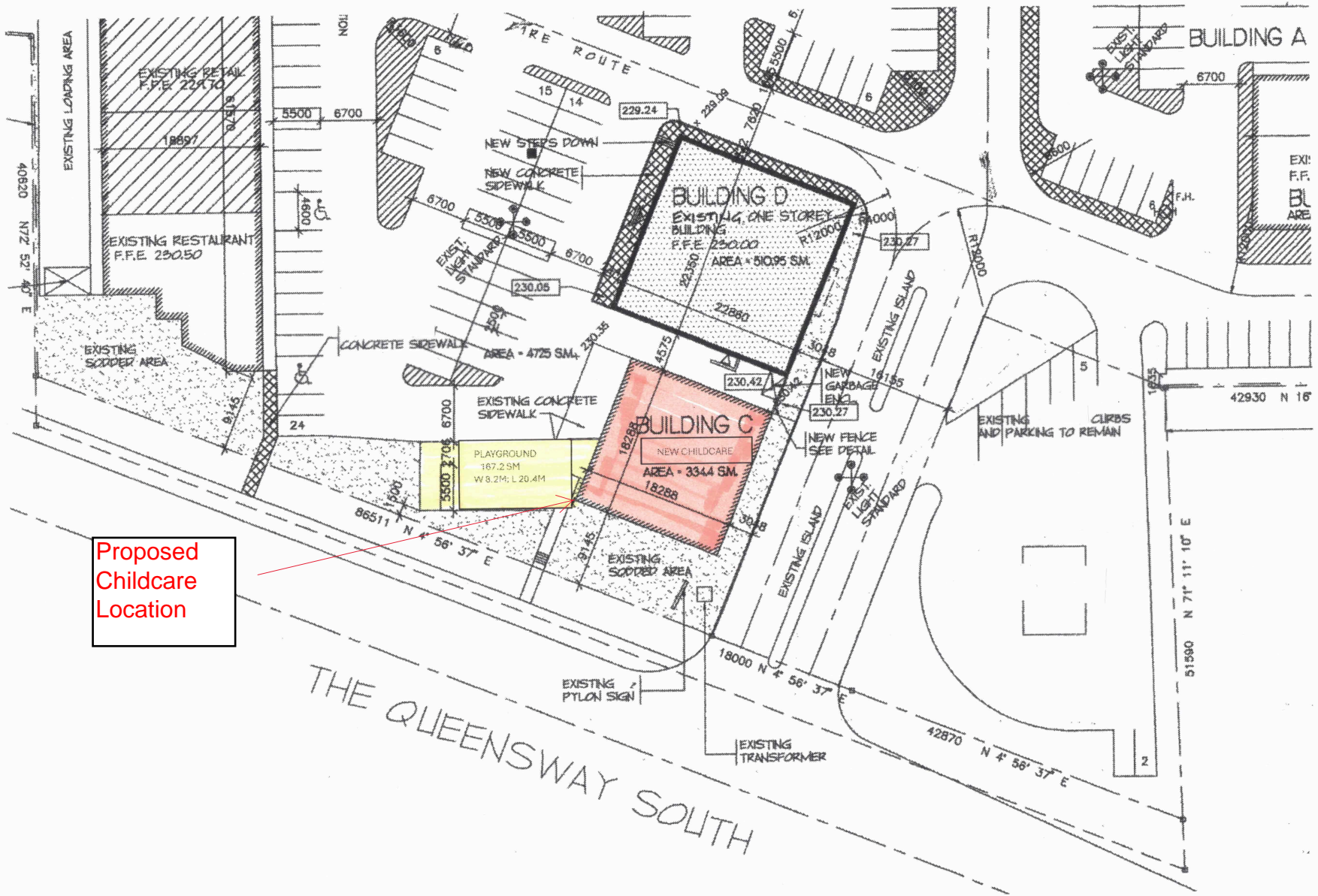


Proposed Childcare Location

N

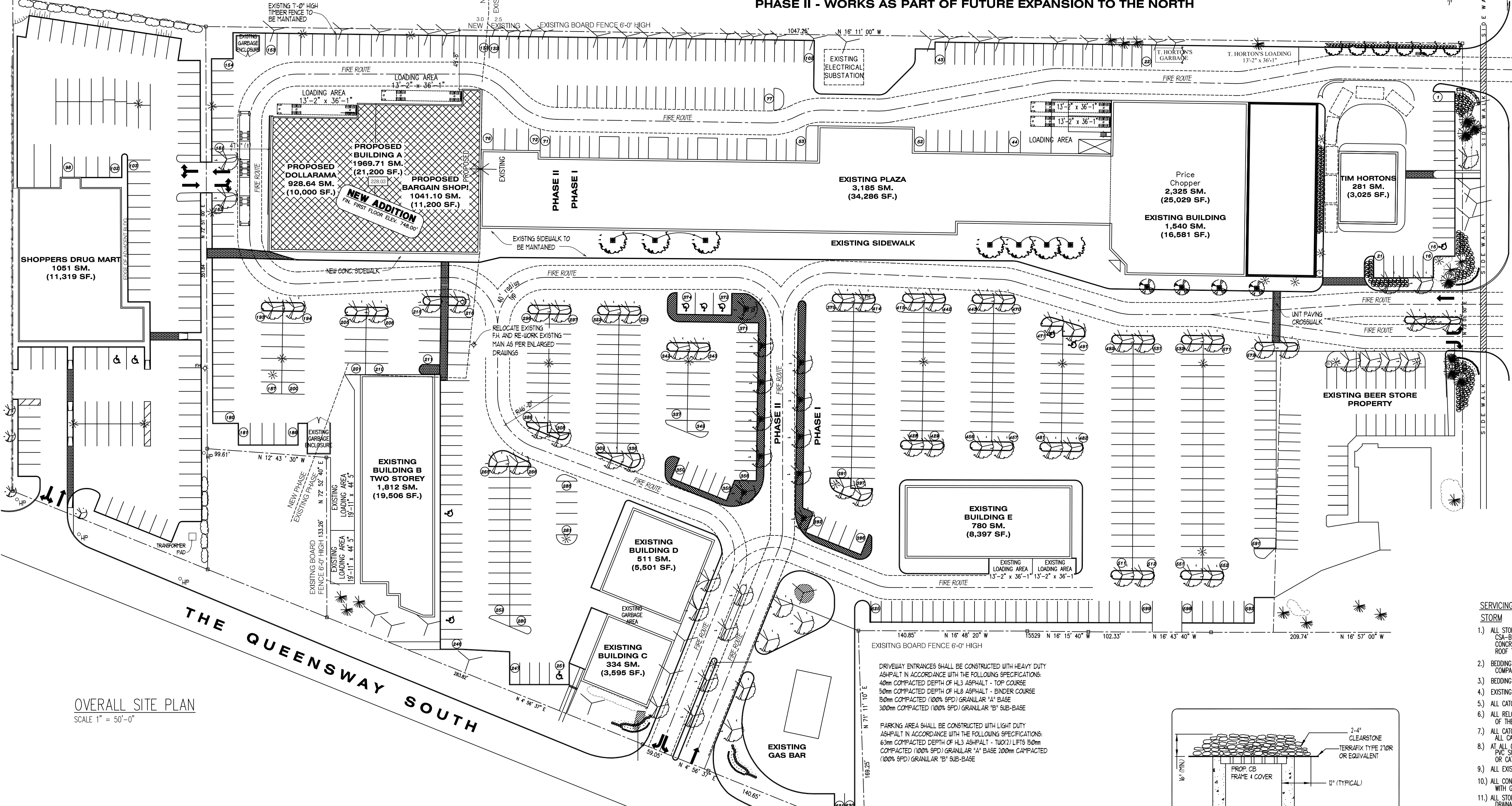


SITE PLAN

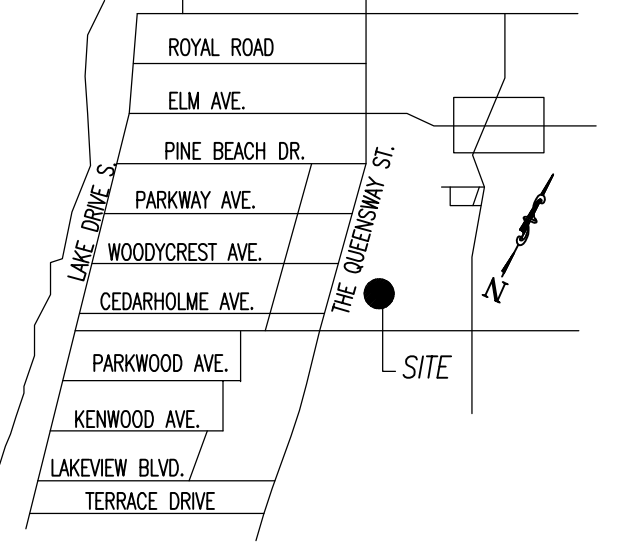


Proposed
Childcare
Location

SITE PLAN S.5.9



LOCATION KEY MAP



PHASE I - WORKS AS PART OF PRICE CHOPPER ADDITION
PHASE II - WORKS AS PART OF FUTURE EXPANSION TO THE NORTH

SITE DATA			
SITE AREA:	49,130SM	12,141 ACRES	
EXISTING SUPERMARKET AREA:	1,540 SM	16,581 SF	
EXISTING BUILDING "B" AREA:	1,812 SM	19,506 SF	
EXISTING BUILDING "C" AREA:	334 SM	3,595 SF	
EXISTING BUILDING "D" AREA:	511 SM	5,501 SF	
EXISTING BUILDING "E" AREA:	780 SM	8,397 SF	
EXISTING TIM HORTONS "F" AREA:	281 SM	3,025 SF	
EXISTING PLAZA AREA:	3,185 SM	34,286 SF	
EXISTING BUILDING AREA:	8,443 SM	90,883 SF	
LESS 10%:	844 SM	9,083 SF	
TOTAL EXISTING BUILDING AREA:	7,599 SM	81,800 SF	
EXISTING PARKING (2.5M X 5.5M) REQUIRED BEFORE ADDITION:		469 SPACES	
(6.72 / 1000SF RATIO PROVIDED)			
PROPOSED PRICE CHOPPER ADDITION AREA:	785 SM	8,450 SF	
PROPOSED PRICE CHOPPER TOTAL AREA:	2,325 SM	25,029 SF	
PROPOSED BUILDING "A" ADDITION:	1,989 SM	21,200 SF	
TOTAL ADDITION AREA:	2,754 SM	29,654 SF	
LESS 10%:	275 SM	2,964 SF	
TOTAL ADDITION AREA:	2,479 SM	26,687 SF	
NEW TOTAL BUILDING AREA:	10,078 SM	108,482 SF	
PARKING (3.0M X 5.7M) REQUIRED AFTER ADDITION:		569 SPACES	
(5.50 / 1000 SF RATIO PROVIDED)			
PARKING PROVIDED AFTER ADDITION:		625 SPACES	
LOADING AREA PROVIDED (4.0M X 11M MIN.)		9 SPACES	

No.	Date	Revision / Issued	D'	Ch'd
E	08/26/06	WORKED DRAWING TO 40'	GD	RED
D	07/26/06	GENERAL REVISIONS	GD	RED
C	01/30/06	GENERAL REVISIONS	GP	RED
B	09/15/05	FOR BUILDING PERMIT	GP	RED
A	09/11/05	FOR CLIENT REVIEW	GP	RED

GENERAL NOTES :
 THIS DRAWING SHALL BE USED ONLY FOR:
 PRELIMINARY PERMIT TENDER CONSTRUCTION

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All designs, concepts, and other information shown on this drawing, are for use on this project only, and shall not be used otherwise without written permission.

- Notes:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 1. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
 2. VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.
 3. DETERMINE LOCATIONS OF EXISTING SERVICES.



PROJECT
THE BARGAIN! SHOP
 1551 CATERPILLAR ROAD
 SUITE #202
 MISSISSAUGA ON L4X-2Z6
 (905) 949-5252
 (905) 949-5233
PROPOSED BUILDING
EXPANSION AT
GLENNWOOD PLAZA
FOR AVIADUS ENTERPRISES
 KESWICK, ONTARIO

Overall Site Plan and Specifications

Robert E. Dale Limited
 Amended
 consulting engineers
 Sarina, Ontario
 Licensed to Practice in Ontario, New Brunswick, Saskatchewan, Alberta, Manitoba and British Columbia
 1003-1146 Vanebo Road Phone: 518.337.2711
 Sarina, Ontario, Canada Toll Free: 866.638.2701
 rdale@redale.ca

Date Drawn: July 26, 2006
 Scale: 1"=50'-0"
 Drawn By: G. Dale
 Design By: G. Dale
 Checked By: R. Dale
 R.E. Dale Limited Project Number
 06-0686
 Drawing Number:
Sp-1

- GENERAL NOTES**
- DRAWINGS ARE NOT TO BE SCALED.
 - DO NOT SITE BUILDINGS WITH THIS DRAWING.
 - ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.
 - UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD MUNICIPALITY, REGION (OR COUNTY), MTO AND OPS DRAWINGS AND OPS ARE TO CONSTITUTE PART OF THIS CONTRACT AND SITE PLAN DRAWINGS.
 - REFER TO O.B.C. - 1997 STANDARDS AND SPECIFICATIONS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.
 - EXISTING STRUCTURES ARE TO NOT BE DISTURBED, NOR ENCROACHMENT ON ADJACENT PROPERTIES UNLESS INSTRUCTED BY THE ENGINEER.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS, ROAD CUTS, CULVERT PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.
 - PRIOR TO CONSTRUCTION, THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE MUNICIPALITY, BUILDING AND PLUMBING OFFICIALS ARE TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE SITE PLAN, LANDSCAPE PLAN, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH DEPICT WORKS THAT ARE PROPOSED FOR THIS SITE.
 - ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE O.B.C. - 1997 STANDARDS AND SPECIFICATIONS, AS WELL AS ANY APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ONTARIO.
 - THE CONTRACTOR SHALL ENDEAVOUR TO PREVENT MUD TRACKING ONTO EXISTING RIGHT-OF-WAYS AND SHALL PROVIDE FOR CLEANUP AT HIS OWN EXPENSE AS DIRECTED BY THE MUNICIPALITY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL MUD ON THE PROJECT AND HE SHALL PROVIDE AT HIS OWN EXPENSE, CONTROLLING MEASURES AS ORDERED BY THE MUNICIPALITY.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES TO BE VERIFIED IN THE FIELD.
 - THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE MUNICIPALITY.
 - THE CONTRACTOR IS TO OBTAIN AND PAY FOR ANY NECESSARY PERMITS FOR ROAD CUTS FOR THE INSTALLATION OF SANITARY, STORM AND WATER SERVICE CONNECTIONS. ROAD CUTS TO BE RESTORED AS PER MUNICIPALITY SATISFACTION.
 - BLASTING WILL NOT BE ALLOWED UNLESS AUTHORIZED BY THE MUNICIPALITY.
 - ANY UTILITY RELOCATIONS TO BE UNDERTAKEN BY THE CONTRACTOR AT THE EXPENSE OF THE OWNER/DEVELOPER.
 - ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.
 - DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0 m. FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
 - CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 - CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN. OF 450mm THICK CRUSHED STONE BASE FROM MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE TO THE SATISFACTION OF THE MUNICIPALITY.
 - ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
 - MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVE GROUND SERVICES AND UTILITIES.

CONSTRUCTION SPECIFICATIONS

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH O.P.S.S. AND O.P.S.D. REQUIREMENTS AND TO THE REQUIREMENTS OF THE TOWN OF KINCARDINE ENGINEERING STANDARD SPECIFICATIONS.

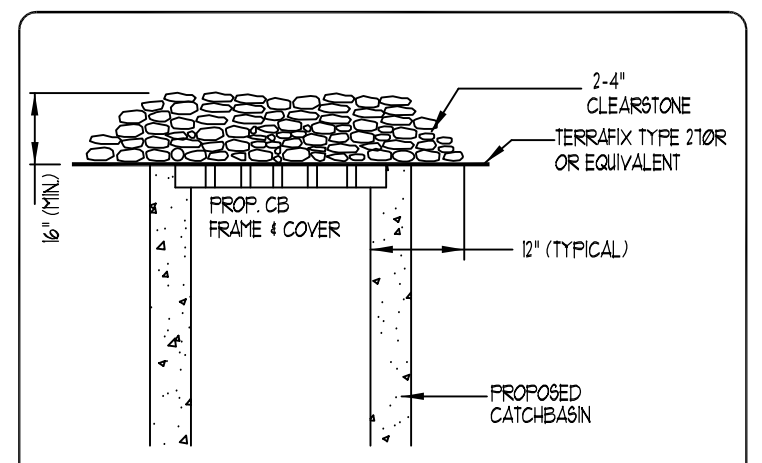
OPS DRAWINGS:

201, 205, 212, 310, 313, 314, 351, 353, 405, 407, 410, 501, 504, 506, 507, 514, 516, 517, 538, 570, 571, 701, 904, 905, 1002	OPSD 310.010
CONCRETE SIDEWALK	OPSD 350.010
URBAN ENTRANCE	OPSD 400.100
CATCHBASIN GRATE AND FRAME	OPSD 401.010
MANHOLE COVER AND FRAME	OPSD 401.010
CONC. BARRIER CURB WITH NARROW GUTTER	OPSD 600.800
PRECAST CATCHBASIN - SINGLE	OPSD 705.010
PRECAST CATCHBASIN - DOUBLE	OPSD 705.020
BEDDING FOR STORM SEWER	OPSD 802.010

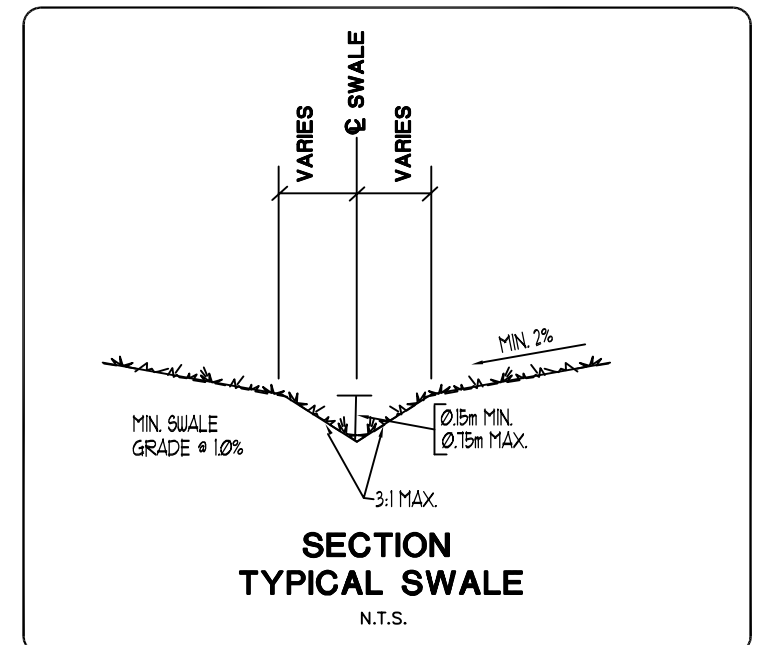
- CURBING/SIDEWALKS/ASPHALT/DRIVEWAYS:**
- ALL PROPOSED INTERNAL CURBING TO BE BARRIER TYPE AS PER OPSD-600.110
 - ALL TOPS OF CURBS TO BE 150mm ABOVE PROPOSED GUTTER LINE, UNLESS OTHERWISE NOTED.
 - ALL REQUIRED CURB CUTTING AT ENTRANCE AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE MUNICIPALITY AND AS PER MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - CURB CUTS WITHIN THE PUBLIC R.O.W. TO BE PERFORMED BY CITY FORCES UPON APPLICATION.
 - ALL PROPOSED ROAD CUTS TO BE PERFORMED AND RESTORED TO THE SATISFACTION OF CITY FORCES UPON APPLICATION.
 - ALL CONCRETE SIDEWALKS TO BE MINIMUM 140mm THICK (175mm THROUGH ENTRANCES) AND HAVE 100mm GRANULAR "A" BEDDING (100% SPD).
 - DRIVEWAY CURBS MUST BE FLUSH ON EITHER SIDE OF THE SIDEWALK FOR A MINIMUM OF 0.3m
 - CONCRETE SIDEWALKS AND SIDEWALK RAMPAS AS PER OPSD 310.010, AND OPSD 310.030 MUNICIPAL SIDEWALK TO BE 140mm THICK, 100mm GRANULAR "A" BASE, 100% SPD, WITH 30 MPa CONCRETE, 7% AIR, AND NO. 9 GAUGE MESH AT ENTRANCES, WITH AS PER EXISTING.
 - EXISTING SIDEWALKS TO BE REMOVED AND REPLACED AS REQUIRED TO MATCH PROPOSED DRIVEWAY GRADES INCLUDING ADDITIONAL PANELS ON EACH SIDE OF DRIVEWAY TO PROVIDE A SMOOTH TRANSITION (0.5 TO 4.0%).
 - ALL CONCRETE CURB FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB AS PER OPSD 600.110. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm UNLESS OTHERWISE NOTED. DRIVEWAY CURB TO BE DISCONTINUED AT SIDEWALK AND TAPERED BACK 0.30m MINIMUM.
 - RETAINING WALLS HIGHER THAN 0.6m TO BE DESIGNED BY OTHERS.
 - ALL CONNECTIONS WITH PAVED PORTIONS OF EXISTING ROADS TO BE BACKFILLED WITH GRANULAR "A" MATERIAL OR LATEST CITY SPECIFICATIONS.
 - CONCRETE CURB WITHIN CITY RIGHT-OF-WAY TO HAVE 100mm GRANULAR "A" (100% SPD) WITH 30 MPa CONCRETE AND 7% AIR.

- GRADING**
- THE GRADING PLAN IS TO BE READ WITH THE SITE SERVICES DRAWING AND THE SITE PLAN FOR BUILDING DETAILS REFER TO THE LATEST REVISION OF THE SITE PLAN.
 - CONTRACTOR TO RESTORE AREAS ON PUBLIC R.O.W. OR ADJACENT LANDS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION TO A PREVIOUS OR BETTER CONDITION.
 - ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - ALL FILL WITHIN THE SITE TO BE COMPACTED TO A MIN. OF 95% SLD PROCTOR DRY DENSITY. THE SUIABILITY OF ALL FILL MATERIALS ARE TO BE CONFIRMED BY THE ENGINEER.
 - LANDSCAPE SHALL NOT ENCROACH ON BOUNDARY NOR SHALL BOUNDARY GRADES BE ALTERED.
 - THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE ENGINEER.
 - ALL LANDSCAPING TO BE INSTALLED AS SOON AS POSSIBLE OR PRIOR TO THE END OF THE FIRST GROWING SEASON. LANDSCAPING TO BE MAINTAINED UNTIL IT IS ESTABLISHED.
 - ALL CONNECTIONS WITH PAVED PORTIONS OF EXISTING ROADS TO BE BACKFILLED WITH GRANULAR "A" MATERIAL OR LATEST CITY SPECIFICATIONS.
 - CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN. OF 450mm THICK CRUSHED STONE BASE FROM MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE TO THE SATISFACTION OF THE CITY.
 - ALL CURBS ARE TO BE 150mm ABOVE THE PROPOSED GUTTER LINE (G/L) UNLESS NOTED OTHERWISE.
 - PAVEMENT GRADE (MIN. 1.0%, MAX. 5%).
 - GRASS SWALES WITH GRADES (MIN. 1%, MAX. 7%).
 - SLOPES IN LANDSCAPE AREAS AND ON BERMS SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.

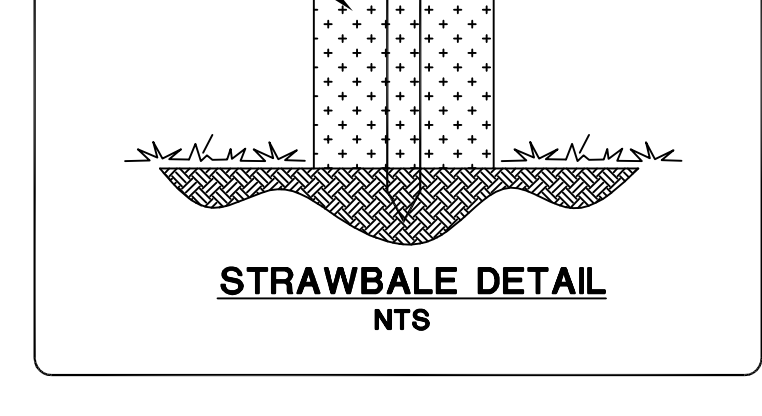
- UTILITY / SERVICE ISOLATION**
- ALL SERVICES AND/OR UTILITIES LOCATED ON CONCRETE SIDEWALKS OR CURBS TO BE ISOLATED FROM THE SIDEWALK OR CURB AS PER OPSD 310.040
- UTILITY SUPPORTS AND TRENCHES**
- ALL SERVICES, UTILITIES AND TRENCHES LEADS ARE TO BE SUPPORTED AS PER OPSD 1007.01 AND 1007.02.
 - ALL UTILITIES SHALL BE LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.



TEMPORARY SILTATION CONTROL FOR CATCHBASINS
NTS



SECTION TYPICAL SWALE
NTS



STRAWBALE DETAIL
NTS

Site Photos

443 The Queensway S
Facing East



443 The Queensway S
Facing South-East



443 The Queensway S
Facing South -West



443 The Queensway S
Facing West



Department/Agency	Date Received	Response:
Building Division	May 3, 2024	A building permit for a change of use is required. A full review will take place at the time of building permit submission
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	May 2, 2024	See Attached
Policy Planning	May 2, 2024	See Attached
Economic Development	April 21, 2024	No Objection, Economic Development and Tourism
Georgina Fire Department	April 25, 2024	The Georgina Fire Department has no objections to this minor variance.
Municipal Law		
Operations & Infrastructure		
Tax & Revenue	April 22, 2024	No Tax Concerns
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)		
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board		
York Region - Community Planning & Development Services	May 1, 2024	<p>Comment:</p> <p>The fenced playground as proposed appears to be located within the 18 metres setback York Region is protecting for this section of The Queensway South. The playground needs to be located approximately 1.5-2 metres to the east of the existing property line so that is out of the protected setbacks.</p> <p>Condition of Approval</p> <p>The property is located on The Queensway South which is a Regional Road as identified on Map 11 of the YROP-2022 and protects for a road widening of up to 36 metres right-of-way. All setbacks will need to be measured from 18 meters offset from centreline of construction of The Queensway South.</p>
York Region District School Board		
York Regional Police		

To: Matthew Ka, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Iampietro, Manager, Development Engineering
Cory Repath, Sr. Development Inspector
Vikum Wegiriya, Jr. Development Technologist
Matthew DeLuca, Jr. Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: April 30th, 2023

Re: MINOR VARIANCE A02-24
443 The Queensway South
Plan Concession 3, Lot 6, Part 5 of RS65R8344 Parts 4-8 of RS65412426
ROLL NO.: 146-659

The Development Engineering Division has no objection to Minor Variance Application No. A02-24, subject to the following **condition(s)** being fulfilled to the Engineering Development Division's satisfaction:

1. The Owner will be required to enter into a Development Agreement including but not limited to:
 - a. Amending the existing approved site plan agreement S.5.9.
 - b. A record of site conditionAll to the satisfaction of the Town's Development Engineering Division.



Interoffice Memorandum

GEORGINA

DEVELOPMENT DIVISION

To: **Monika Sadler**
Planner I, Development Services

From: **Justine Burns**
Senior Landscape Architect
Development Services Department

cc:

Date: May 2, 2024

Re: A02-24

I have reviewed the application and my comments are as follows;

General:

1. I am not in support of this application as it is.

Urban Design:

2. If the application is to be approved however, the following requirements apply;
 - The location of the playground should be one with the building design, currently it is represented separately. This request is due to safety concerns, primarily as the current playground is proposed next to a parking lot which is frequented by many users separate to that of the child care. The other major concern is with the constraints with the actual site. The proposed location would require the children and staff to exit the building cross a public walkway to enter the playground.

Recommendation:

A circulation plan with gate locations as well as buffers, playground locations and the like must be provided. The ideal relocation for the playground area would be closer to the building, possibly repurpose the front entry concrete area and enclose it, or put it on the south side of the current pathway right next to the

building on the west side. Children should not be crossing a public path or a public parking to get to play areas. Sloping can be incorporated into the play elements such as balance challenges and retaining that double as play features. If the playground stayed on the south side of the pathway and right against the building it would allow for easy access for children from building to play elements and keep them tucked away from the parking lot so long as adequate height fencing was implemented along the entrance of the Plaza and The Queensway. The applicant would also have to exhibit that all playground standards have been met. (see attached photos)





- A landscaping buffer is not proposed in the current plan between the parking lot and the playground area, or on the east side of the Queensway. There is only 1500mm suggested in this location. Landscape buffers should be 2000mm minimum.

Recommendation:

The recommendation would again be to move the playground to the building, the way the space is programmed should be evaluated through a site plan.