



LOCATION MAP

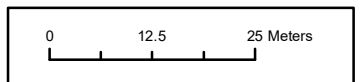
451 & 453 The Queensway South

Legend

-  Subject Property
-  Parcel Fabric



Attachment 1
Pg 1 of 1
Report # DS-2024-0025
03.1160



SITE PHOTOS

451 & 453 The Queensway South
Facing East

443 The Queensway South
(Glenwoods Centre to the East)



451 The Queensway South

453 The Queensway South

455 The Queensway South

451 & 453 The Queensway South
Facing East



Attachment 2
Pg 1 of 2
Report # DS-2024-0025
03.1160

451 & 453 The Queensway South
Facing South East



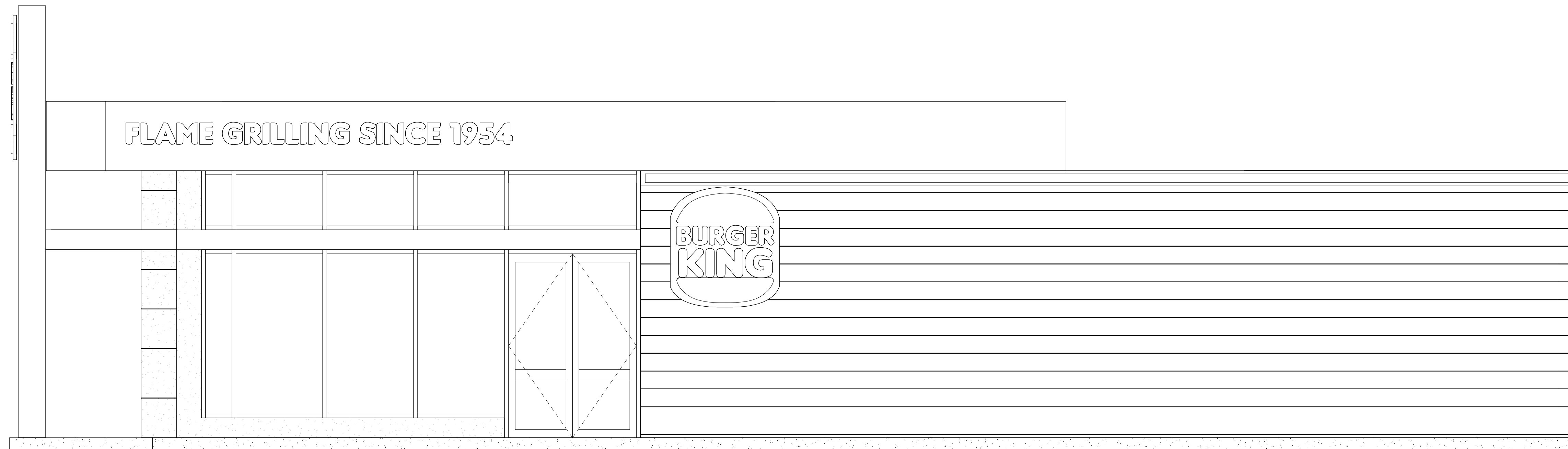
451 & 453 The Queensway South
Facing North West



New Restaurant Development Town of Georgina

451 AND 453 THE QUEENSWAY S,
KESWICK, ON. L4P 2E1

Submitted by: Blueprint2build
Submission for: Site Plan Application #5
Town of Georgina



DRAWING LIST	
Street Number	Sheet Name
A000	TITLE PAGE
	TOPO SURVEY
SP01	SITE PLAN
SP02	EARTH BINS DETAILS
LP01	LANDSCAPE PLAN
A100	FLOOR PLAN
A300	ELEVATION
C01	SITE GRADING PLAN
C02.1	SITE SERVICING PLAN
C02.2	SITE SERVICING PLAN
C03	NOTES AND DETAILS
C04	EROSION AND SEDIMENT CONTROL

**BLUEPRINT2BUILD
CONSULTING ENGINEERS**
PLAN - DESIGN - MANAGE
14 CARDICO DRIVE
STOUFFVILLE, ONTARIO L4A2G5

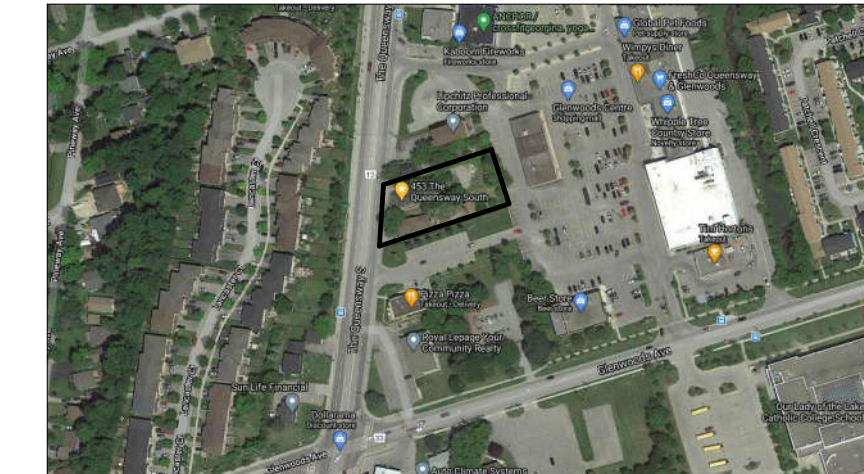
SIMON D. JONES P.ENG
SJONES@BLUEPRINT2BUILD.COM

JOE E. FLEMMING P.ENG
JFLEMMING@BLUEPRINT2BUILD.COM

SERGEY KISELYOV P.ENG
SKISELYOV@BLUEPRINT2BUILD.COM




JAYMIN NATHANI (Arch. Tech)
JNATHANI@BLUEPRINT2BUILD.COM

Attachment 3
Pg 1 of 12
Report # DS-2024-0025
03.1160



MUNICIPAL ADDRESS	LEGAL ADDRESS	PROJECT NORTH	TRUE NORTH
451 AND 453 THE QUEENSWAY S, KESWICK, ON L4P 2E1			

KEYPLAN
N.T.S.

Drawn By: JN	Date: 2024-02-27	1905-245-00
Reviewed By: SDJ	2024-02-29 1:36:33 PM	A000
DWG Scale: 1:40		
File No.		
 Value Centres Inc. Development • Construction • Management • Leasing		
 blueprint2build		
 LICENSED PROFESSIONAL ENGINEER S. D. JONES 2024-02-13 PROVINCE OF ONTARIO		
TITLE PAGE 451 AND 453 THE QUEENSWAY S, KESWICK, ON. L4P 2E1		
Rev	Date	Description
1	21.05.15	ISSUED FOR CLIENT REVIEW
3	21.08.16	ISSUED FOR ZBA
4	22.03.03	ISSUED FOR SPA
5	23.06.09	ISSUED FOR SPA #2
6	24.02.13	ISSUED FOR SPA #5
Apr		
File No.	1905-245-00	
A000		

PLAN OF SURVEY AND TOPOGRAPHIC SKETCH

OF PART OF
LOT 6
CONCESSION 3

IN THE
GEOGRAPHIC TOWNSHIP OF NORTH GWILLIMBURY

NOW THE
TOWN OF GEORGINA
REGIONAL MUNICIPALITY OF YORK

SCALE: 1 : 400 METRIC



NA GEOMATICS LTD.
ONTARIO LAND SURVEYORS
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 21st DAY OF OCTOBER 2020.

DATE APL 1/21
DAVID J. RATHBY,
ONTARIO LAND SURVEYOR

NOTES

BENCHMARK:
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CANSEL CAN-NET REAL TIME NETWORK UTM ZONE 17 NAD83 CSRS-2010.

SITE BENCHMARK #1:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT. HAVING AN ELEVATION OF 228.29m

SITE BENCHMARK #2:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT OFF OF THE QUEENSWAY SOUTH. HAVING AN ELEVATION OF 232.00m

CONTOUR INTERVALS:
CONTOURS OCCUR AT 0.25m INTERVALS

BEARINGS ARE GRID, UTM ZONE 17 NAD83 (CSRS-2010) FROM THE CANSEL CAN-NET REAL TIME NETWORK, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, SHOWN HEREON.

INVERTS UNAVAILABLE ON ROADS DUE TO TRAFFIC. ALL INVERTS, WATERMAIN AND SANITARY CONNECTIONS ARE APPROXIMATE DERIVED FROM PLAN RECEIVED FROM GEORGINA CLERK'S OFFICE.

OBSERVED REFERENCE POINTS ARE DERIVED FROM GPS OBSERVATIONS USING THE CANSEL CAN-NET VRS NETWORK AND ARE REFERRED TO UTM ZONE 17 (81°00' LONGITUDE WEST) NAD83 (CSRS 2010)

COORDINATES TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10

POINT ID	NORTHING	EASTING
ORP A	4896802.04	622710.44
ORP B	4896784.35	622661.65

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

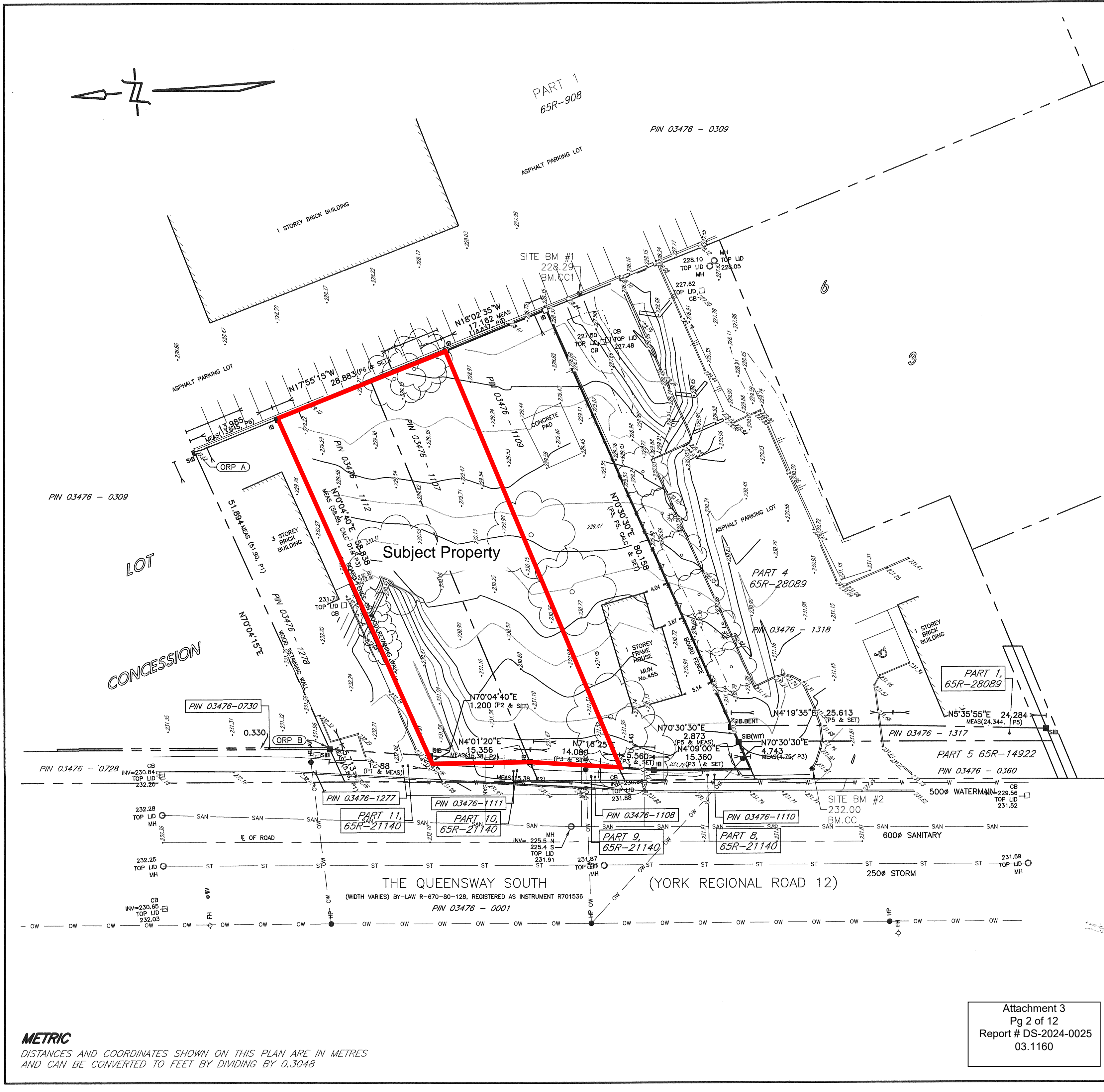
- ⊕ DENOTES FOUND SURVEY MONUMENT
- ⊕ DENOTES PLANTED SURVEY MONUMENT
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- RIB DENOTES ROUND IRON BAR
- CC DENOTES CONCRETE PIN
- CP DENOTES CONCRETE PIN
- WIT. DENOTES WITNESS
- P1 DENOTES DEPOSITED PLAN 65R-8344
- P2 DENOTES DEPOSITED PLAN 65R-21649
- P3 DENOTES DEPOSITED PLAN 65R-21140
- P4 DENOTES DEPOSITED PLAN 65R-14922
- P5 DENOTES DEPOSITED PLAN 65R-28089
- P6 DENOTES DEPOSITED PLAN 65R-908
- D1 DENOTES INSTRUMENT R685775
- LS DENOTES LIGHT STANDARD
- HP DENOTES HYDRO POLE
- AW DENOTES ANCHOR WIRE
- CB DENOTES CATCH BASIN
- MH DENOTES MANHOLE
- FH DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- GM DENOTES GAS METER
- HM DENOTES HYDRO METER
- TD DENOTES TREE-DECIDUOUS
- ∅ DENOTES DIAMETER
- X- DENOTES FENCE
- O- DENOTES OVERHEAD WIRE
- T/O DENOTES TOP OF

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PROJECT SUBMISSION FORM
2177770

THIS PROJECT IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1028, Section 29(3).

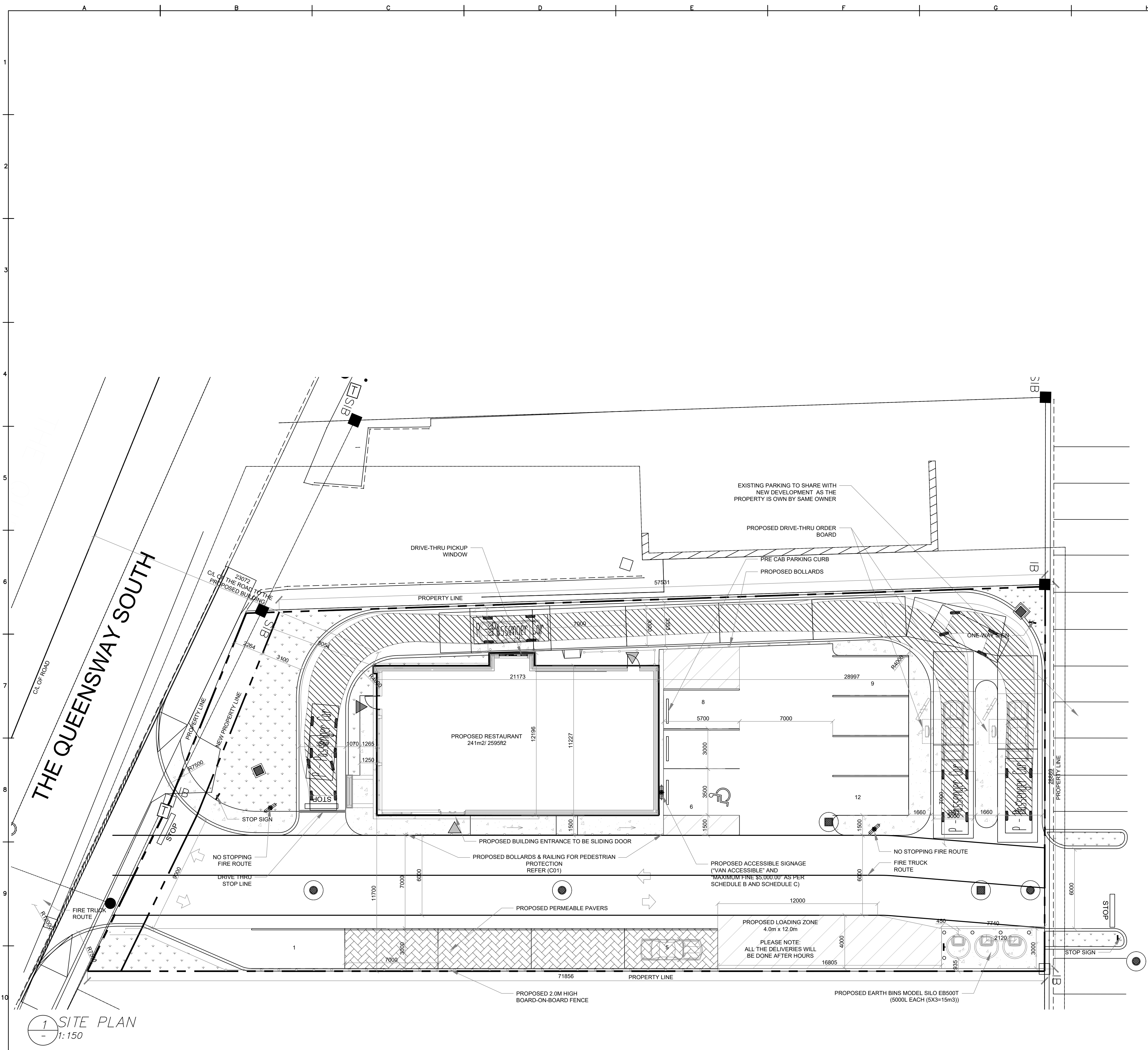
NA GEOMATICS LTD.
ONTARIO LAND SURVEYORS
107 ERIE STREET, STRATFORD, ON., N5A 2M5
TEL: 519-273-3205
871 DUNDAS ST., WOODSTOCK, ON., N4S 1G8
TEL: 519-537-6212

Date: 10-Mar-22 Cad File: 20-6050_Topo_Da.dwg
Drawn By: DJS Checked By: D. Rathby File No.: 20-6050



METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Attachment 3
Pg 2 of 12
Report # DS-2024-0025
03.1160



KEY PLAN



MUNICIPAL ADDRESS
451 AND 453 THE QUEENSWAY S, KESWICK, ON. L4P 2E1

LEGAL DESCRIPTION
PART OF LOT 6, CONCESSION 3, TOWNSHIP OF NORTH GWILLIMBURY, TOWN OF GEORGINA

PROJECT NORTH

TRUE NORTH

GENERAL NOTES:
 1. ALL SITE FEATURES ARE TO BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
 2. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
 4. OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
 5. OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
 6. CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 7. ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
 8. DO NOT SCALE DRAWINGS.

SITE PLAN BUILDING STATISTICS			
DEVELOPMENT PROPOSAL USAGE	NEW DEVELOPMENT		
SITE ADDRESS	451 AND 453 THE QUEENSWAY S, KESWICK, ON. L4P 2E1		
LEGAL DESCRIPTION	PART OF LOT 6, CONCESSION 3, TOWNSHIP OF NORTH GWILLIMBURY, TOWN OF GEORGINA		
SURVEYOR	JOE FLEMMING & SIMON JONES (blueprint2build)		
OWNER	JOE FLEMMING & SIMON JONES (blueprint2build)		
AGENT REPRESENTATIVE	ZONING & ZONING BY-LAW		
NO.	CATEGORY	REQUIRED	PROVIDED
	Lot Area	Nil	1823.7m ² 1757.0m ² with the new P/L
	Lot Frontage West	Nil	29.4m
	Building Area	Nil	Proposed Restaurant 241m ² /2595ft ²
	Front Yard Setback West	Restaurant 15.0m FROM C/L OF THE ROAD	23.2m, 8.2m from new P/L
	Side Yard Setback North	Restaurant	N/A 3.9m
	Side Yard Setback South	Restaurant	N/A 10.8m
	Rear Yard Setback East	Restaurant	N/A 28.2m
	Lot Coverage	Nil	507m ² , 25.0%
	Landscaped Area	Nil	226m ² , 11.03%
	Building Height	6.0m & 2 Storeys	TBC
	Parking Spaces Calculation	Restaurant- 1/9.5m ² 29 req.	12 Provided, Existing parking from plaza to use for proposed development as the property owns by same owner
	Parking Spaces Barrier Free	1-1to25	1 Provided
	Width of Accessible Parking Space Type A (Include 1.5m Transfer Aisle)	5.0m	5.0m
	Length of Accessible Parking Space Type A	5.7m	5.7m
	Width of Parking Spaces	3.0m	3.0m
	Width of Parallel Parking Spaces	3.0m	3.0m
	Length of Parking Spaces	5.7m	5.7m
	Length of Parallel Parking Spaces	7.0m	7.0m
	Loading Space 4.0m x 11.0m	185sq/m not req., 1- 550sq/m above	1 Provided
	Snow Storage	N/A	Snow removal and storage will be handled by the same contractor as the East property (Glenwoods Centre Plaza)
	Landscape Buffer (min)	N/A	3.0m Front Yard
	Drive Thru Stacking Lane (Restaurant)	7 spaces req	11 Provided
	Entrance Width (Combined)	MIN 9.0m	9.0m Provided

Attachment 3
Pg 3 of 12
Report # DS-2024-0025
03.1160

Date: 2024-04-24
Date:
Drawn By: JN
Reviewed By: JEF/SDJ
DWG Scale: AS SHOWN
File No. 1905-228-00

value Centres Inc.
Development • Construction • Management • Leasing

blueprint2build

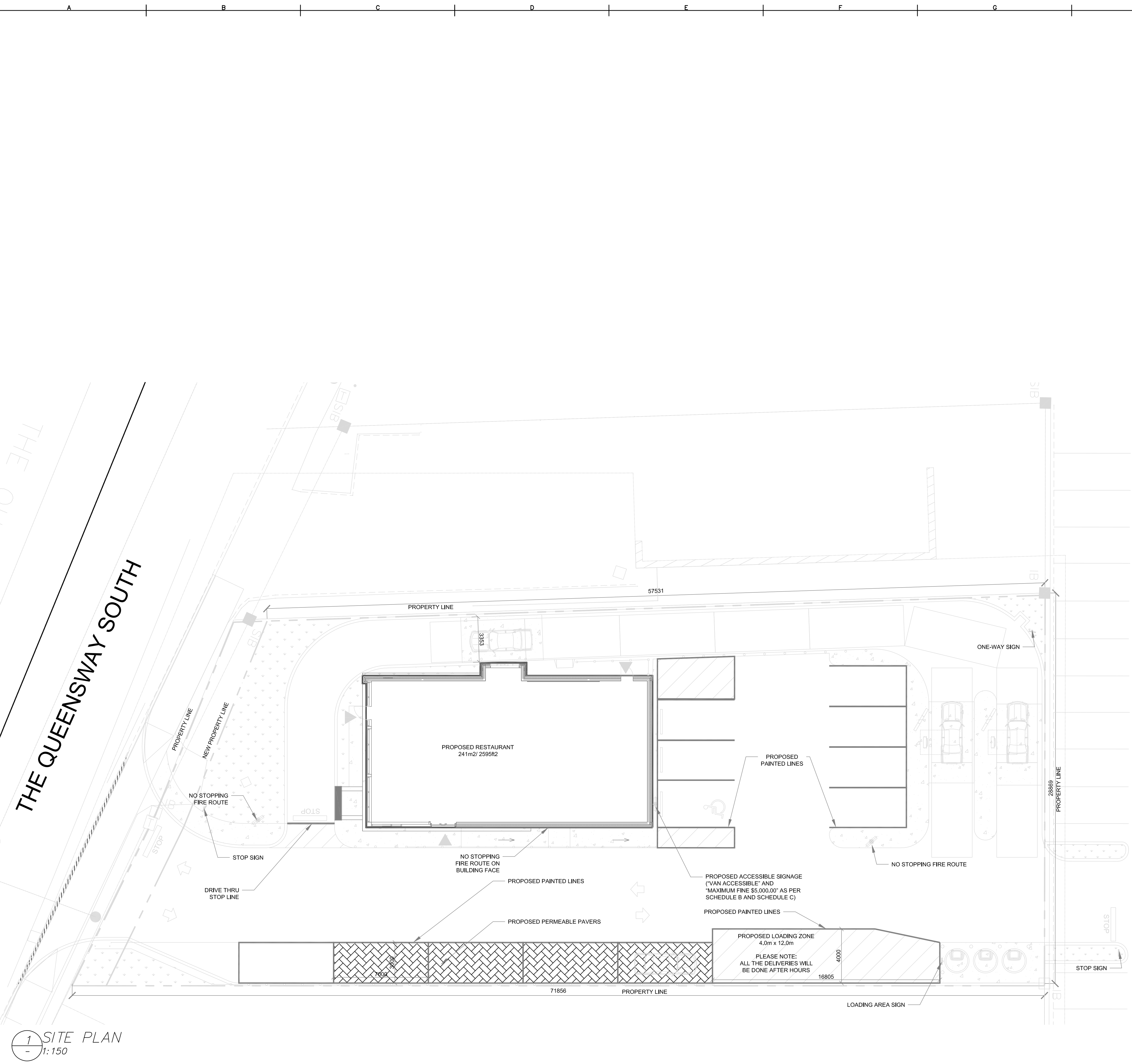
LICENSED PROFESSIONAL ENGINEER
S. D. JONES
2024.04.25
PROVINCE OF ONTARIO

SITE PLAN
451 AND 453 THE QUEENSWAY S,
KESWICK, ON. L4P 2E1

REV	Date	Description	APRD
9	23.06.09	ISSUED FOR SPA #2	SDJ
10	23.08.22	ISSUED FOR SPA #3	SDJ
11	23.10.11	ISSUED FOR SPA #4	SDJ
12	24.02.12	ISSUED FOR SPA #5	SDJ
13	24.04.24	REISSUED FOR SPA #5	SDJ

File No. 1905-245-00

SP01



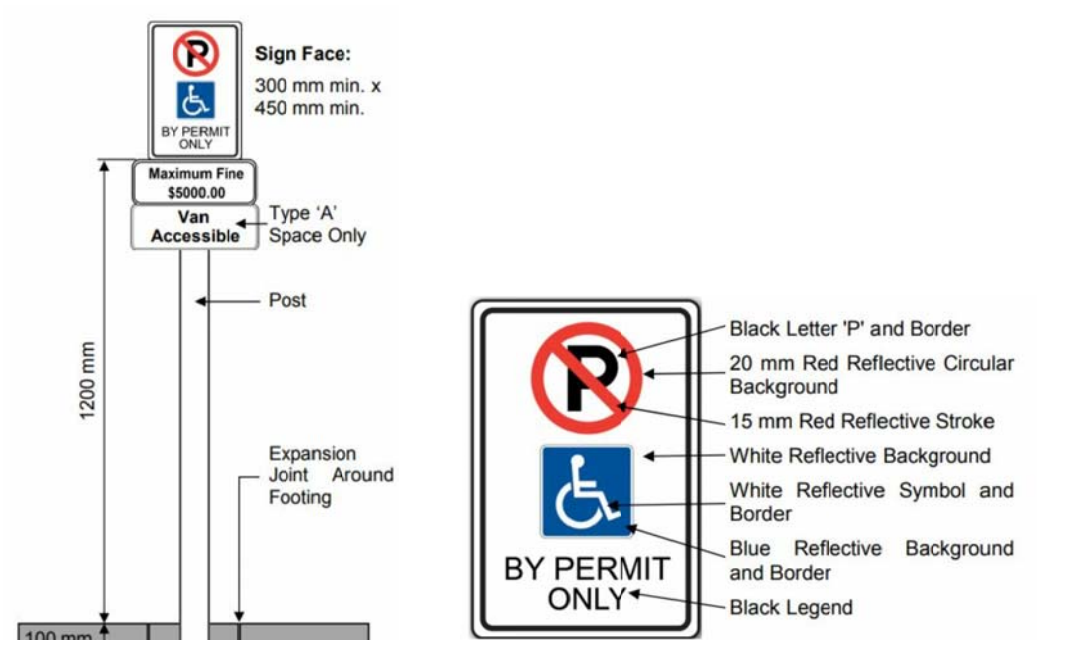
KEY PLAN



MUNICIPAL ADDRESS 451 AND 453 THE QUEENSWAY S, KESWICK, ON, L4P 2E1	LEGAL DESCRIPTION PART OF LOT 6, CONCESSION 3, TOWNSHIP OF NORTH GWILLIMBURY, TOWN OF GEORGINA	PROJECT NORTH	TRUE NORTH
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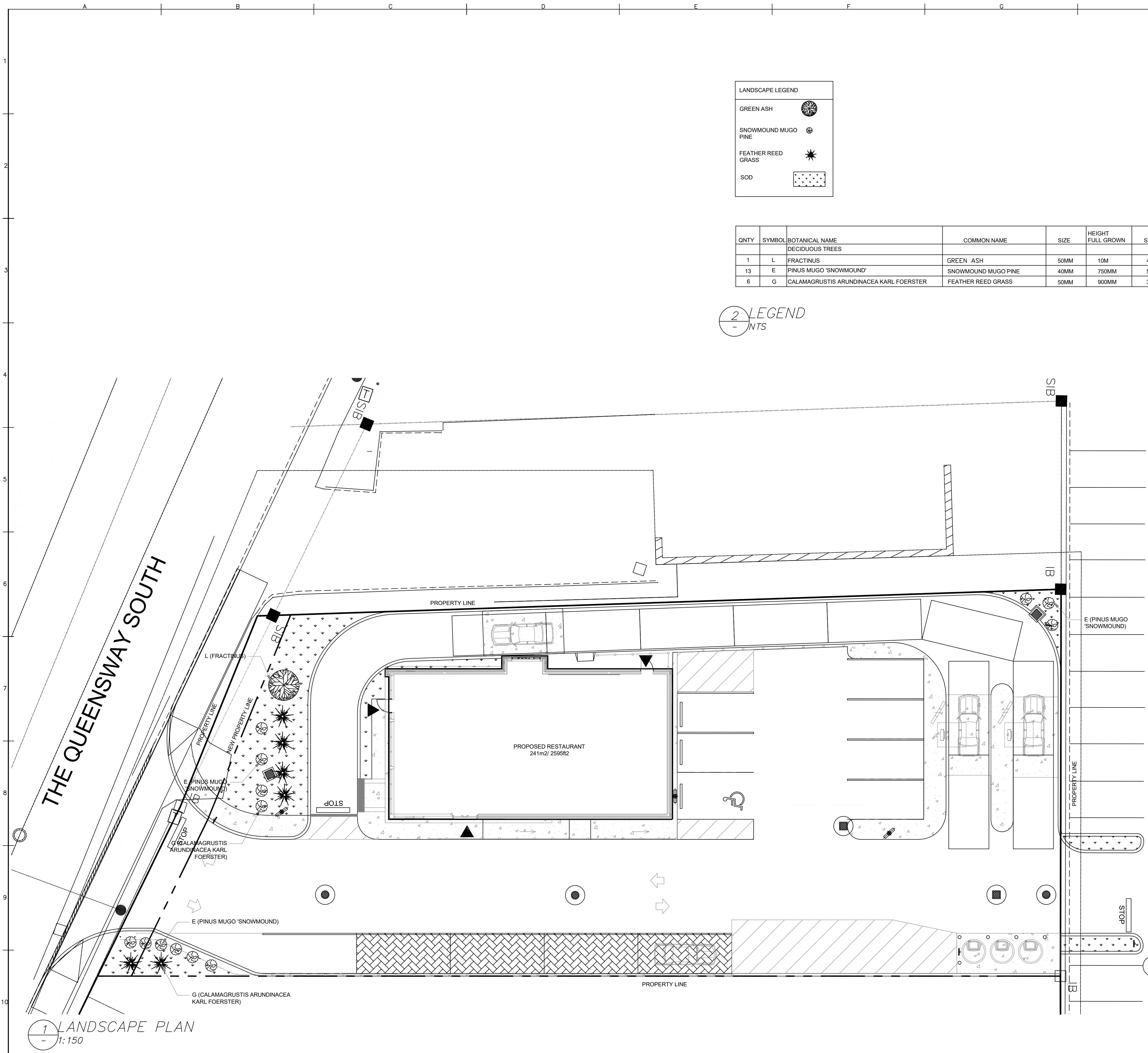
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- DO NOT SCALE DRAWINGS.



Attachment 3
Pg 4 of 12
Report # DS-2024-0025
03.1160

Date: 2019-07-24	Drawn By: JN	Reviewed By: JEF/SDU	Date: 2019-07-24	File No. 1905-228-00
PAVEMENT AND SIGNAGE PLAN 451 AND 453 THE QUEENSWAY S, KESWICK, ON, L4P 2E1				
REV	Date	Description	APR/ID	SDU
1	23.10.11	ISSUED FOR SPA #4	SDU	SDU
2	24.02.12	ISSUED FOR SPA #5	SDU	SDU
File No. 1905-245-00 SP02				



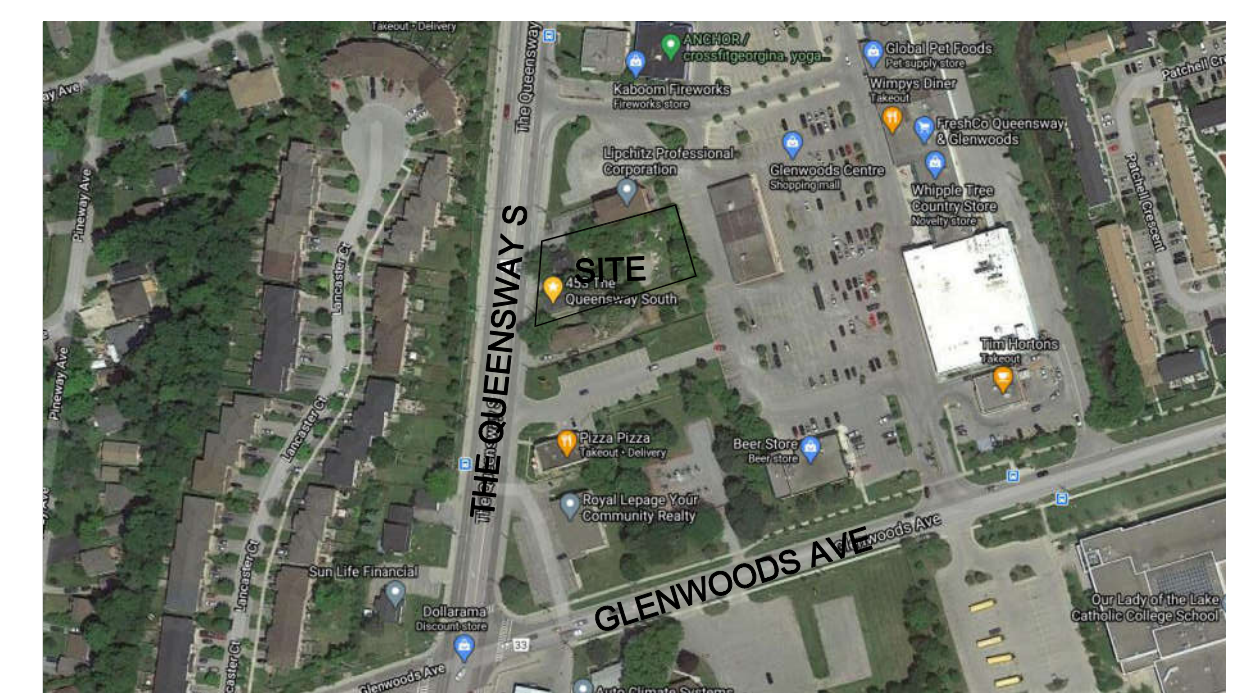
LANDSCAPE LEGEND

GREEN ASH	
SNOWMOUND MUGO PINE	
FEATHER REED GRASS	
SOD	

QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT FULL GROWN	SPREAD
		DECIDUOUS TREES				
1	L	FRACTINUS	GREEN ASH	50MM	10M	4.5M
13	E	PINUS MUGO 'SNOWMOUND'	SNOWMOUND MUGO PINE	40MM	750MM	500MM
6	G	CALAMAGRUSTIS ARUNDINACEA KARL FOERSTER	FEATHER REED GRASS	50MM	900MM	300MM

2
-
LEGEND
-
NTS

KEY PLAN



MUNICIPAL ADDRESS
451 AND 453 THE QUEENSWAY S, KESWICK, ON. L4P 2E1

LEGAL DESCRIPTION
PART OF LOT 6, CONCESSION 3, TOWNSHIP OF NORTH GWILLIMBURY, TOWN OF GEORGINA

PROJECT NORTH

TRUE NORTH

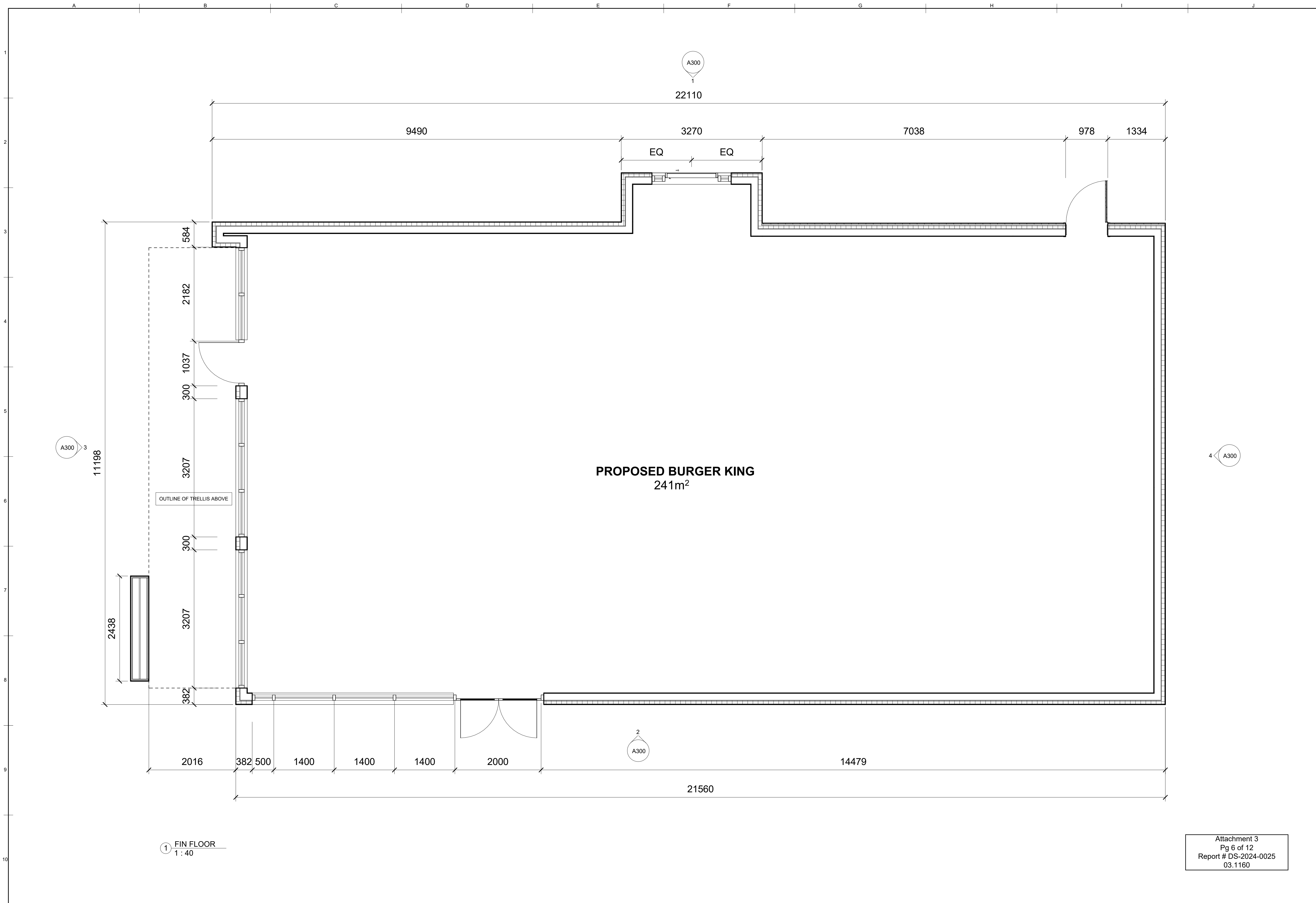
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1
-
LANDSCAPE PLAN
-
1:150

Attachment 3
Pg 5 of 12
Report # DS-2024-0025
03.1160


Drawn By: JN	Date: 2019-07-24	<p>Development • Construction • Management • Landscaping</p>	<p>1905-245-00</p> <p>LP01</p>																						
Reviewed By: JEF/SDJ	Date: 2019-07-24																								
DWG Scale: AS SHOWN	File No:																								
<p>LANDSCAPE PLAN</p> <p>451 AND 453 THE QUEENSWAY S, KESWICK, ON. L4P 2E1</p>																									
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th> <th>Date</th> <th>Description</th> <th>APRVD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>22.03.03</td> <td>ISSUED FOR SPA</td> <td>SDJ</td> </tr> <tr> <td>2</td> <td>22.09.26</td> <td>ISSUED FOR SPA REVIEW</td> <td>SDJ</td> </tr> <tr> <td>3</td> <td>23.06.09</td> <td>ISSUED FOR SPA #2</td> <td>SDJ</td> </tr> <tr> <td>4</td> <td>23.10.11</td> <td>ISSUED FOR SPA #3</td> <td>SDJ</td> </tr> <tr> <td>5</td> <td>24.02.12</td> <td>ISSUED FOR SPA #5</td> <td>SDJ</td> </tr> </tbody> </table>				REV	Date	Description	APRVD	1	22.03.03	ISSUED FOR SPA	SDJ	2	22.09.26	ISSUED FOR SPA REVIEW	SDJ	3	23.06.09	ISSUED FOR SPA #2	SDJ	4	23.10.11	ISSUED FOR SPA #3	SDJ	5	24.02.12
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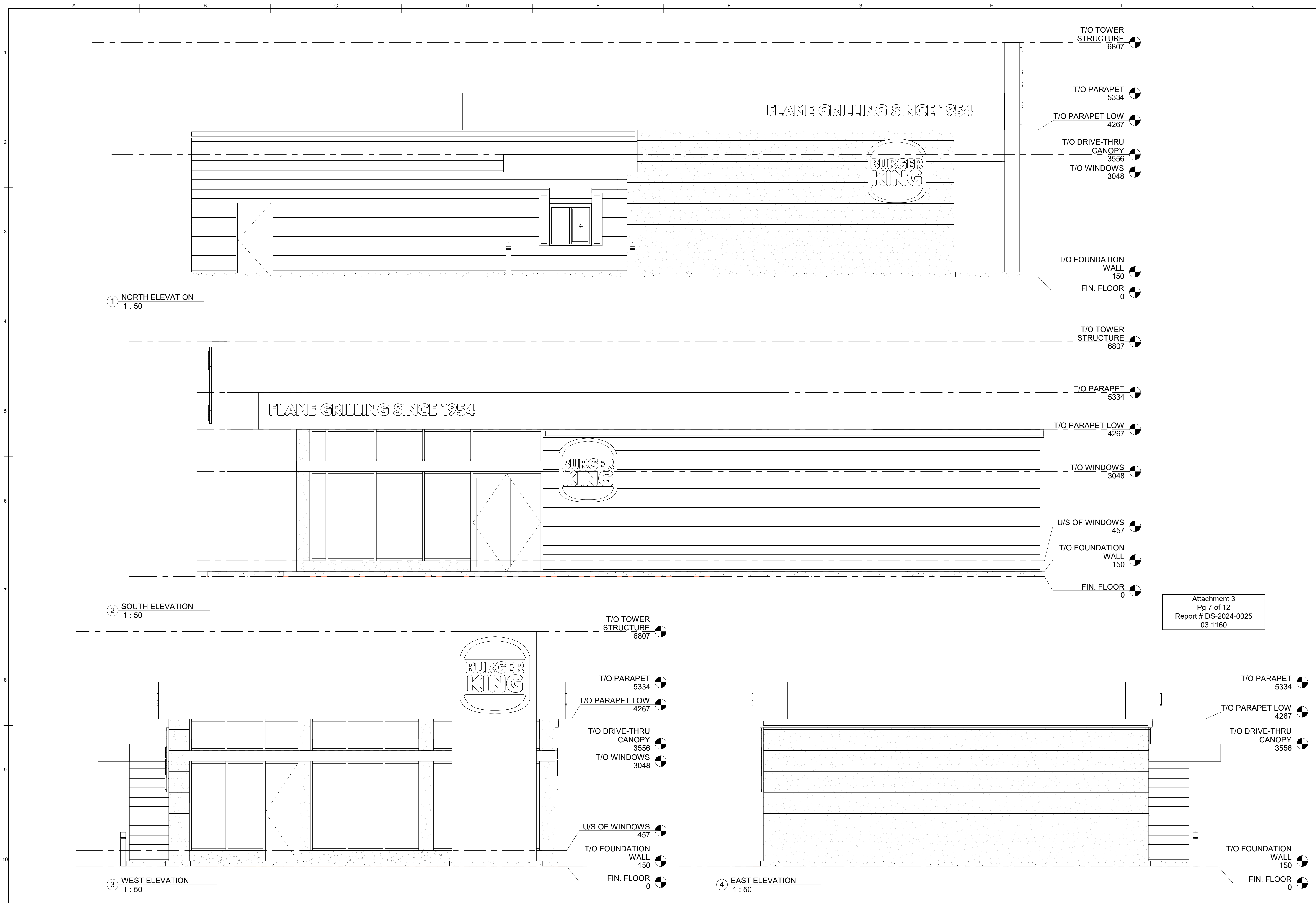


PROPOSED BURGER KING
241m²

① FIN FLOOR
1:40

Attachment 3
Pg 6 of 12
Report # DS-2024-0025
03.1160

		Drawn By: JN Reviewed By: SDJ DWG Scale: 1:40 File No.: 1905-245-00																								
		Date: 2024-02-27 2024-02-29 11:40:20 AM 1905-245-00 A100																								
																										
FLOOR PLAN 451 AND 463 THE QUEENSWAY S, KESWICK, ON, L4P 2E1																										
Revisions	<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> <th>Appr</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>21.05.15</td> <td>ISSUED FOR CLIENT REVIEW</td> <td></td> </tr> <tr> <td>2</td> <td>21.05.26</td> <td>ISSUED FOR SPA</td> <td></td> </tr> <tr> <td>4</td> <td>22.03.03</td> <td>ISSUED FOR SPA</td> <td></td> </tr> <tr> <td>5</td> <td>23.06.09</td> <td>ISSUED FOR SPA #2</td> <td></td> </tr> <tr> <td>6</td> <td>24.02.13</td> <td>ISSUED FOR SPA #5</td> <td></td> </tr> </tbody> </table>	Rev	Date	Description	Appr	1	21.05.15	ISSUED FOR CLIENT REVIEW		2	21.05.26	ISSUED FOR SPA		4	22.03.03	ISSUED FOR SPA		5	23.06.09	ISSUED FOR SPA #2		6	24.02.13	ISSUED FOR SPA #5		
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① NORTH ELEVATION
1 : 50

② SOUTH ELEVATION
1 : 50

③ WEST ELEVATION
1 : 50

④ EAST ELEVATION
1 : 50

Attachment 3
Pg 7 of 12
Report # DS-2024-0025
03.1160

Drawn By:	JN	Date:	2024-02-27
Reviewed By:	SDJ	Date:	2024-02-29 1:25:02 PM
DWG Scale:	1 : 50	File No.:	1905-245-00



blueprint2build



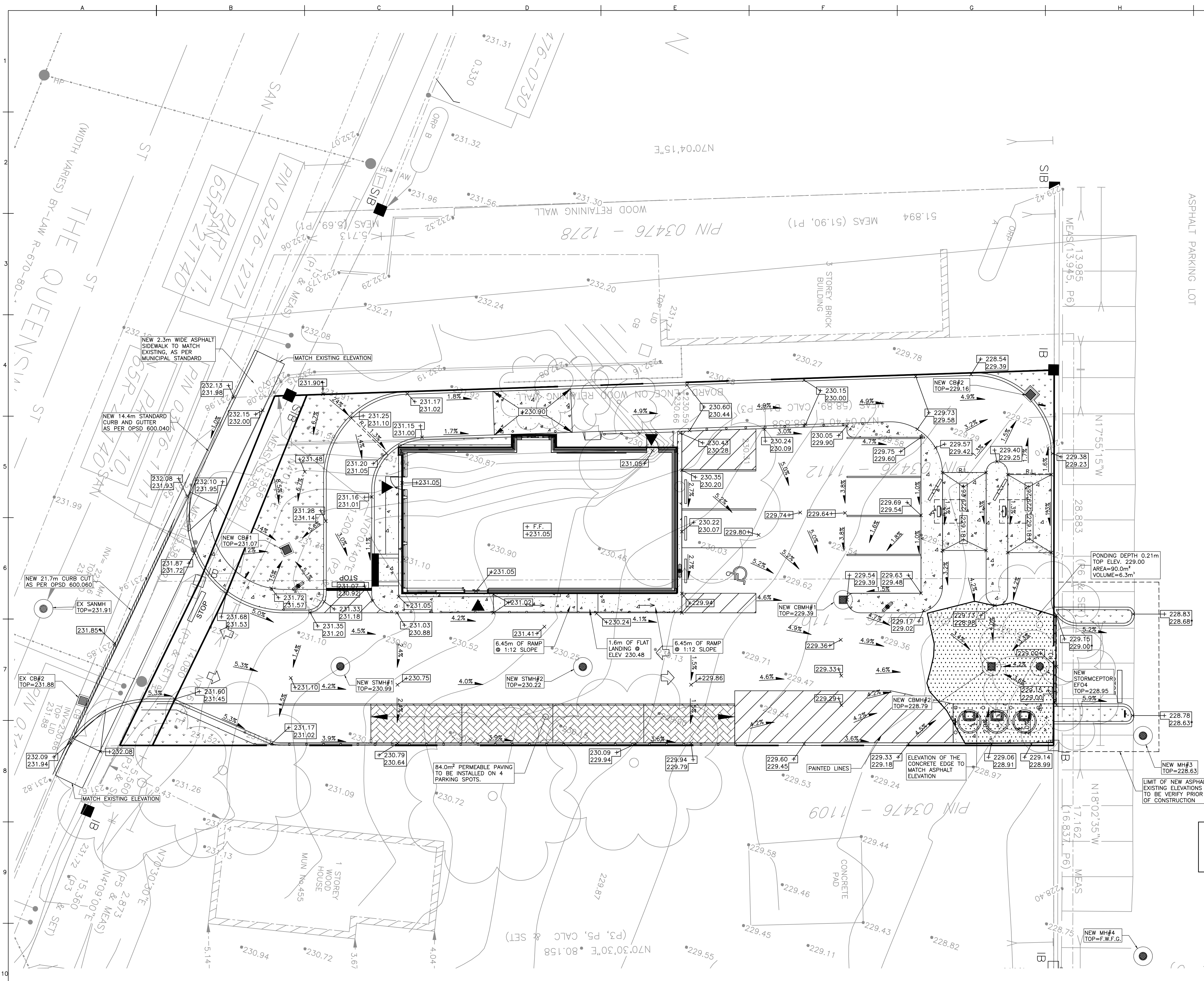
ELEVATIONS

451 AND 463 THE QUEENSWAY S,
KESWICK, ON, L4P 2E1

Rev	Date	Description	Apr
1	21.05.15	ISSUED FOR CLIENT REVIEW	
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File No. 1905-245-00

A300



KEY PLAN
N.T.S.

MUNICIPAL ADDRESS:
451 AND 453 THE QUEENSWAY STREET
KESWICK, ONTARIO

LEGAL DESCRIPTION:
LOT 6, CONCESSION 3
TOWN OF GEORGINA,
REGION MUNICIPALITY
OF YORK

OWNER OF PROPERTY:
675626 CANADA INC. &
6792715 CANADA INC.
CONSTRUCTION NORTH

KEY PLAN
N.T.S.

LOT 6, CONCESSION 3 TOWN OF GEORGINA, REGION MUNICIPALITY OF YORK, PROVINCE OF ONTARIO

BEARING NOTES

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SITE BENCHMARK #1:
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SITE BENCHMARK #2:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT OFF OF THE QUEENSWAY SOUTH, HAVING AN ELEVATION OF 232.00M

- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

GENERAL NOTES:

- LEGAL BOUNDARY SURVEY AND TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PLAN BY NA GEOMATICS LTD., DATED MARCH 19, 2021 PROJECT NO 20-6050.
- THE SERVICES INFORMATION FOR THE WATERMAIN, STORM & SANITARY SEWERS WAS TAKEN FROM THE AS CONSTRUCTED PLAN AND PROFILES 4801-1-12 BY PROJECT PLANNING ASSOCIATES LTD DATED 30 MARCH 76 ALL SITE FEATURES ARE TO BE CONSIDERED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
- OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
- OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
- CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.

LEGEND:

- 100.00 STANDARD IRON BAR
- ◻ EXISTING ELEVATION
- ▨ EXISTING CATCHBASIN
- EXISTING C.B./M.H.
- EXISTING MANHOLE
- R.L. RIDGE LINE
- ↘ 2.0% SLOPE
- STREET LIGHT
- F.W.F.G. FLUSH WITH FINISH GRADE
- A.F.G. ABOVE FINISH GRADE
- + 100.00 PROPOSED ELEVATION
- + 100.15 PROP. ELE. (CURB TOP)
- + 100.00 PROP. ELE. (CURB BOTTOM)
- + 100.00* EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN
- NEW C.B./M.H.
- NEW MANHOLE
- NEW GAS LINE
- NEW WATER LINE
- SS NEW SANITARY LINE
- ST NEW STORM LINE

Attachment 3
Pg 8 of 12
Report # DS-2024-0025
03.1160

SITE GRADING PLAN
1:150

Date: 2021-03-19
Drawn By: SK
Reviewed By: JEF/BSU

Date: 2021-03-19
DWG Scale: 1:150
File No. 1905-245-00

Value Centres Inc.
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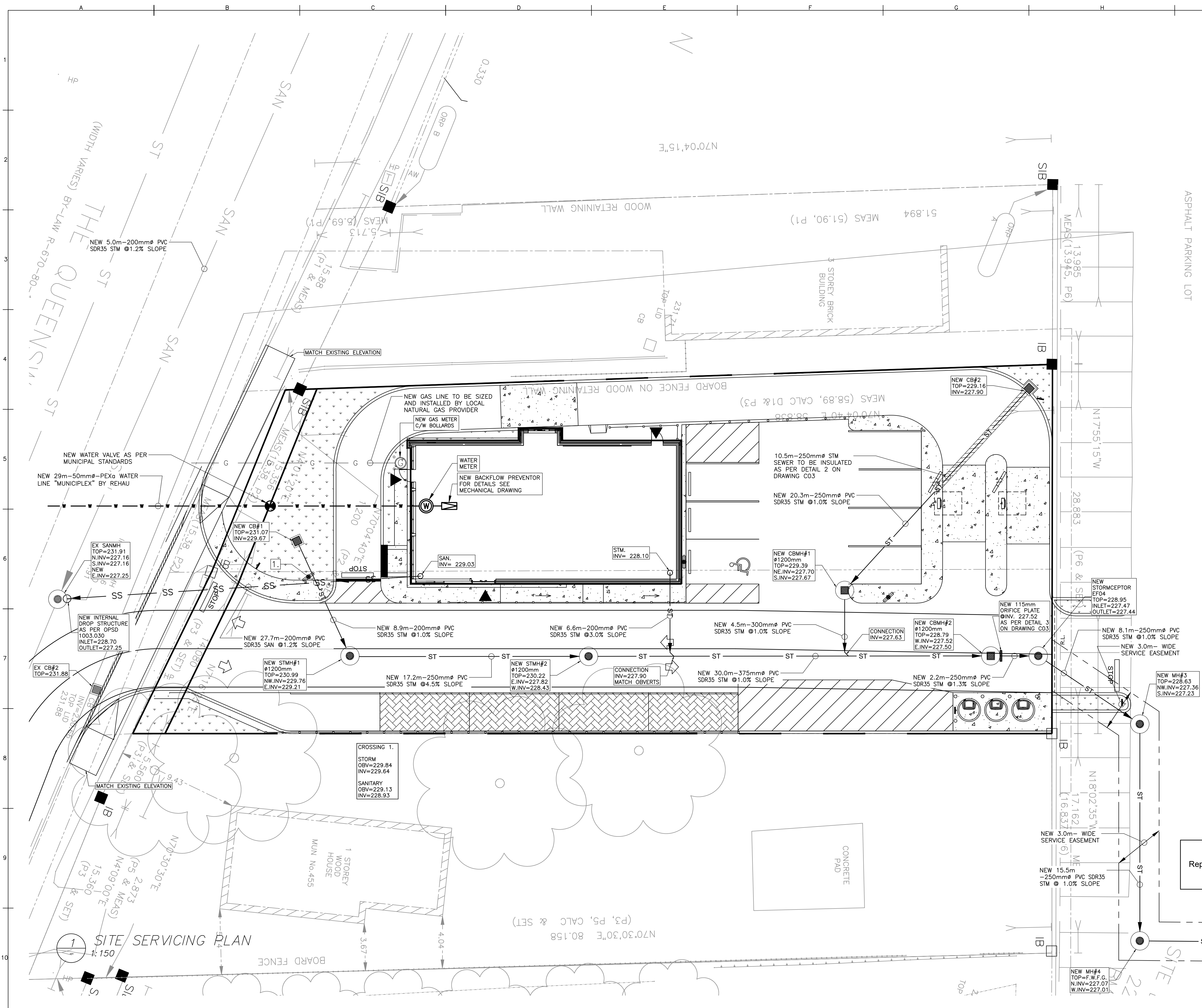
LICENCED PROFESSIONAL ENGINEER
16 Feb 24
S. KISELYOV
1001041208
PROVINCE OF ONTARIO

SITE GRADING PLAN

451 AND 453 THE QUEENSWAY STREET,
KESWICK, ONTARIO

REV	Date	Description	APPRV
01	21.03.19	ISSUED FOR CLIENT REVIEW	
02	22.01.19	UPDATED AS PER NEW SITE PLAN	
03	23.03.22	UPDATED AS PER NEW SITE PLAN	
04	23.05.19	UPDATED AS PER CITY COMMENTS	
05	24.02.13	ISSUED FOR SPA #5	

File No. 1905-245-00
C01



KEY PLAN N.T.S.

MUNICIPAL ADDRESS: 451 AND 453 THE QUEENSWAY STREET KESWICK, ONTARIO

LEGAL DESCRIPTION: LOT 6, CONCESSION 3 TOWN OF GEORGINA, REGION MUNICIPALITY OF YORK

OWNER OF PROPERTY: 675626 CANADA INC. & 6792715 CANADA INC. CONSTRUCTION NORTH

KEY PLAN N.T.S.

LOT 6, CONCESSION 3 TOWN OF GEORGINA, REGION MUNICIPALITY OF YORK, PROVINCE OF ONTARIO

BEARING NOTES

- BEARINGS ARE GRID, UTM, ZONE 17 NAD83 (CSRS-2010) FROM THE CANSEL CAN-NET REAL TIME NETWORK, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, SHOWN HEREON.

POINT ID	NORTHING	EASTING
ORP A	4896802.04	622710.44
ORP B	4896784.35	622661.65

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ELEVATION NOTES

- ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CANSEL CAN-NET REAL TIME NETWORK UTM ZONE 17 NAD83 CSRS-2010.

SITE BENCHMARK #1:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT, HAVING AN ELEVATION OF 228.29M

SITE BENCHMARK #2:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT OFF OF THE QUEENSWAY STREET, HAVING AN ELEVATION OF 232.00M

- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

GENERAL NOTES:

- LEGAL BOUNDARY SURVEY AND TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PLAN BY NA GEOMATICS LTD. DATED MARCH 19, 2021 PROJECT NO 20-6050.
- THE SERVICING INFORMATION FOR THE WATERMAIN, STORM & SANITARY SEWERS WAS TAKEN FROM THE AS CONSTRUCTED PLAN AND PROFILES 4801-1-12 BY PROJECT PLANNING ASSOCIATES LTD DATED 30 MARCH 76 ALL SITE FEATURES ARE TO BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
- OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
- OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
- CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.

LEGEND:

- STANDARD IRON BAR
- EXISTING ELEVATION
- EXISTING CATCHBASIN
- EXISTING C.B./M.H.
- EXISTING MANHOLE
- R.L. RIDGE LINE
- SLOPE
- STREET LIGHT
- F.W.F.G. FLUSH WITH FINISH GRADE
- A.F.G. ABOVE FINISH GRADE
- PROPOSED ELEVATION
- PROP. ELE. (CURB TOP)
- PROP. ELE. (CURB BOTTOM)
- EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN
- NEW C.B./M.H.
- NEW MANHOLE
- NEW GAS LINE
- NEW WATER LINE
- NEW SANITARY LINE
- NEW STORM LINE

Attachment 3
Pg 9 of 12
Report # DS-2024-0025
03.1160

Drawn By: SK
Reviewed By: JEF/SDU
Date: 2021-03-19
DWG Scale: 1:150
File No.: 1905-245-00

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PROFESSIONAL ENGINEER
16 Feb 24
S. KISELYOV
100104128
PROVINCE OF ONTARIO

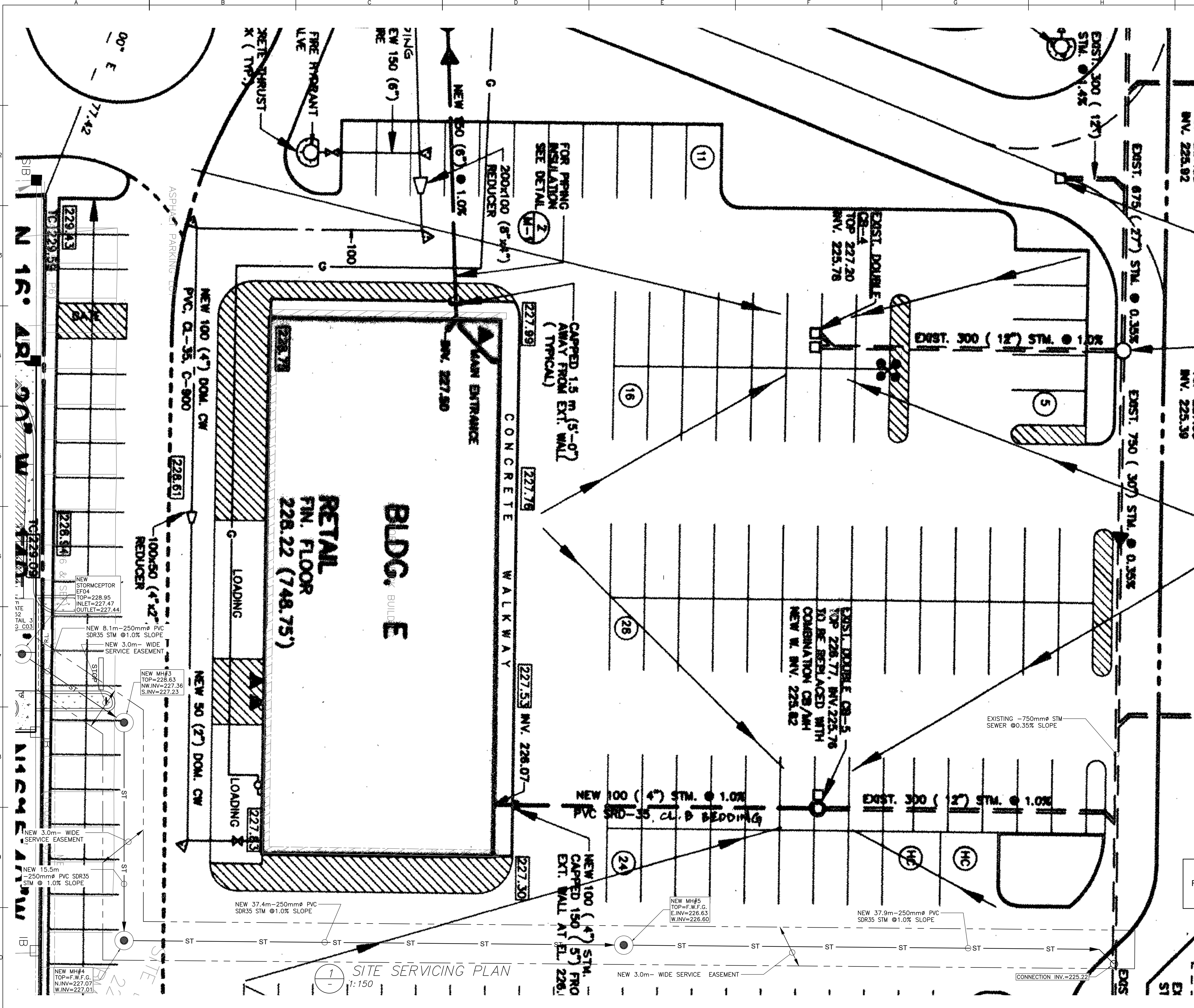
SITE SERVICING PLAN
WEST PORTION OF PROPERTY
451 AND 453 THE QUEENSWAY STREET,
KESWICK, ONTARIO

REV	Date	Description	APPROV
01	21.03.19	ISSUED FOR CLIENT REVIEW	
02	22.01.21	UPDATED AS PER NEW SITE PLAN	
03	23.03.22	UPDATED AS PER NEW SITE PLAN	
04	23.05.23	UPDATED AS PER NEW SITE PLAN	
05	24.02.13	ISSUED FOR SPA #5	

File No.: 1905-245-00

C02.1

C02.1



KEY PLAN
N.T.S.

MUNICIPAL ADDRESS:
451 AND 453 THE QUEENSWAY STREET
KESWICK, ONTARIO

LEGAL DESCRIPTION:
LOT 6, CONCESSION 3
TOWN OF GEORGINA,
REGION MUNICIPALITY
OF YORK

OWNER OF PROPERTY:
678626 CANADA INC. &
6792715 CANADA INC.
CONSTRUCTION NORTH

TRUE NORTH

KEY PLAN
N.T.S.

LOT 6, CONCESSION 3 TOWN OF GEORGINA, REGION MUNICIPALITY OF YORK, PROVINCE OF ONTARIO

BEARING NOTES

1. BEARINGS ARE GRID, UTM, ZONE 17 NAD83 (CSRS-2010) FROM THE CANCEL CAN-NET REAL TIME NETWORK, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, SHOWN HEREON.

2. OBSERVED REFERENCE POINTS ARE DERIVED FROM GPS OBSERVATIONS USING THE CANCEL CAN-NET VRS NETWORK AND ARE REFERRED TO UTM ZONE 17 (8100' LONGITUDE WEST) NAD83 (CSRS 2010) COORDINATES TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF OREG 216/10

POINT ID	NORTHING	EASTING
ORP A	4896802.04	622710.44
ORP B	4896784.35	622661.65

3. COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ELEVATION NOTES

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- OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
- CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.

LEGEND:

- 100.00: STANDARD IRON BAR
- EXISTING ELEVATION: EXISTING ELEVATION
- EXISTING CATCHBASIN: EXISTING CATCHBASIN
- EXISTING C.B./M.H.: EXISTING C.B./M.H.
- EXISTING MANHOLE: EXISTING MANHOLE
- R.L.: RIDGE LINE
- 2.0%: SLOPE
- STREET LIGHT: STREET LIGHT
- F.W.F.G.: FLUSH WITH FINISH GRADE
- A.F.G.: ABOVE FINISH GRADE
- + 100.00: PROPOSED ELEVATION
- + 100.15: PROP. ELE. (CURB TOP)
- + 100.00: PROP. ELE. (CURB BOTTOM)
- + 100.00: EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN: NEW CATCHBASIN
- NEW C.B./M.H.: NEW C.B./M.H.
- NEW MANHOLE: NEW MANHOLE
- NEW GAS LINE: NEW GAS LINE
- NEW WATER LINE: NEW WATER LINE
- NEW SANITARY LINE: NEW SANITARY LINE
- NEW STORM LINE: NEW STORM LINE

Attachment 3
Pg 10 of 12
Report # DS-2024-0025
03.1160

SITE SERVICING PLAN
1:150

Date: 2024-03-19
Drawn By: SK
Reviewed By: JEF/SDU
DWG Scale: 1:150
File No.: 1905-245-00

Value Centres Inc.
Development • Construction • Management • Leasing

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LICENCED PROFESSIONAL ENGINEER
16 Feb 24
S. KISELYOV
100104128
PROVINCE OF ONTARIO

SITE SERVICING PLAN
EAST PORTION OF PROPERTY
451 AND 453 THE QUEENSWAY STREET,
KESWICK, ONTARIO

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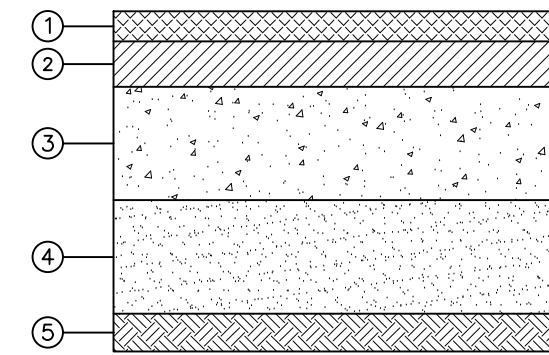
File No.: 1905-245-00

- GRADING NOTES**
- ALL DIMENSIONS AND ELEVATIONS ARE METRIC, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS AND DESIGN ELEVATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER OR ARCHITECT WHERE APPLICABLE.
 - THE CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION FOR ANY EXISTING CONDITION DISTURBED DURING THE CONSTRUCTION AT CONTRACTOR'S EXPENSE.
 - CONTROL MANHOLES ARE TO BE BENCHED TO THE OBVERTS.
 - LANDSCAPING SHALL NOT ENCR OACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
 - STANDARD DRAWINGS OF THE CITY CONSTITUTE PART OF THE PLANS OF THE CONTRACT.
 - ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AS PER CITY'S REQUIREMENTS.
 - MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE INVERTS OF THE SEWER AND A CROWN OF A WATER MAIN SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS AT ALL CROSSINGS.
 - CONSTRUCT PAVEMENT AS SPECIFIED. SEE PAVEMENT STRUCTURE DETAILS ON THIS DRAWING.
 - ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB TO TOWN STANDARDS. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm ABOVE FINISHED GRADE (A.F.G.) UNLESS OTHERWISE NOTED. DRIVEWAY CURBS ARE TO BE DISCONTINUOUS AT SIDEWALKS AND TAPERED BACK MINIMUM OF 300mm OR TO THE APPROVAL OF DESIGN ENGINEER.
 - ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE APPROVAL OF THE DESIGN ENGINEER.
 - A MINIMUM CLEARANCE OF 1000mm FROM ALL ABOVE GROUND SERVICES AND UTILITIES IS REQUIRED.
 - INSTALLATION OF WATER MAIN IN PRIVATE PROPERTY SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. BELL, HYDRO, GAS, OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINE MUST BE LOCATED AND VERIFIED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - ALL SANITARY SEWER, STORM SEWER, AND WATER MAIN ON PRIVATE PROPERTY ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVINCIAL BUILDING CODE.
 - ALL WATER MAIN AND HYDRANT INSTALLATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST PLANS, STANDARDS, AND SPECIFICATIONS OF THE LOCAL UTILITIES COMMISSION.
 - NO BLASTING IS PERMITTED ON THE CITY RIGHT-OF-WAY AND NEAR ANY ADJACENT BUILDING.
 - THE PROPERTY IS TO BE GRADED AND SELF-CONTAINED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
 - THE OWNER AND/OR CONTRACTOR IS REQUIRED TO OBTAIN A "ROAD CUT PERMIT" FROM THE CITY BEFORE COMMENCING ANY WORK ON THE CITY'S ROAD

- EROSION AND SEDIMENT CONTROL NOTES:**
- ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE WITH A SEED AND MULCH APPLICATION AS DIRECTED BY THE ENGINEER.
 - NO CONSTRUCTION ACTIVITY OR MACHINERY SHALL INTRUDE BEYOND THE SILT/SNOW FENCE OR LIMIT OF CONSTRUCTION AREA.
 - ALL CONSTRUCTION VEHICLES SHALL LEAVE THE SITE AT DESIGNATED LOCATIONS AS SHOWN ON THE PLANS.
 - STOCKPILES OF SOIL SHALL BE SET BACK FROM ANY WATERCOURSE AND STABILIZED AGAINST EROSION AS SOON AS POSSIBLE. A SET BACK OF AT LEAST 15M FROM ANY TOP-OF-BANK, WATERCOURSE OR POND IS REQUIRED.
 - CLEANING AND REPAIRS OF MUD-MATS AND ANY OTHER TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE COMPLETED AS DEEMED NECESSARY THROUGH REGULAR INSPECTION.
 - SEDIMENT/SILT SHALL BE REMOVED FROM THE SEDIMENT CONTROL DEVICES AFTER STORM EVENTS AND DEPOSITED IN AREAS AS APPROVED BY THE ENGINEER.
 - ALL RE-GRADED AREAS WITHIN THE DEVELOPMENT WHICH ARE NOT OCCUPIED BY BUILDINGS, ROADWAYS, SIDEWALKS, OR DRIVEWAYS SHALL BE TOP-SOILED AND SODDED/SEEDED IMMEDIATELY AFTER COMPLETION OF FINAL GRADING OPERATIONS AS DIRECTED BY THE ENGINEER.
 - PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
 - MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - ALL COLLECTED SEDIMENT MUST BE DISPOSED OFF AT AN APPROVED LOCATION.
 - MINIMIZE AREA DISTURBED DURING CONSTRUCTION. ALL DEWATERING MUST BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
 - PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270R).
 - KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
 - PREVENT WIND-BLOWN DUST.
 - ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
 - ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

- SERVICES NOTES**
- CONTACT LOCAL UTILITY AGENCIES (GAS, HYDRO & TELEPHONE) TO LOCATE THE EXISTING INCOMING SERVICES, AND USE THE SAME TO SERVE NEW INSTALLATIONS (IF APPLICABLE).
 - ALL STORM/SANITARY, AND WATERMAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN EAST GWILLIMBYRY AND YORK REGION STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
 - WATER SERVICE TO BE PEXα "MUNICIPLEX" BY REHAU AND TO BE INSTALLED AT DEPTH OF 1.7-1.9m COVER FROM FINISHED GROUND.
 - THE MINIMUM UNINSULATED DEPTH FOR SEWER TO BE 1.2m AND THE MINIMUM UNINSULATED DEPTH FOR WATERMAINS TO BE 1.7m. SHOULD THE LATTER BECOME SHALLOWER THAN THE STANDARD DEPTHS, INSULATION WILL BE REQUIRED AS PER DETAIL SHOWN ON THIS DRAWING. ALL SEWER AND WATERMAIN MATERIAL CONFORM TO THE CURRENT TOWN EAST GWILLIMBYRY AND YORK REGION STANDARDS AND SPECIFICATIONS.
 - WATERMAIN CROSSINGS TO BE IN ACCORDANCE WITH MOE PROCEDURE F-6-1 LOCAL GAS COMPANY TO DETERMINE THE SIZE OF NEW INCOMING GAS SERVICE.
 - WATER LINE MUST HAVE NITRILE GASKETS INSTALLED (NEOPRENE GASKETS ARE NOT ACCEPTABLE).
 - CONTRACTOR IS TO SUPPLY AND INSTALL THE COMPLETE SITE IRRIGATION SYSTEM INCLUDING ELECTRICAL AND WATER SUPPLY CONNECTIONS.
 - CONTROL MANHOLES TO BE BENCHED TO OBVERT.

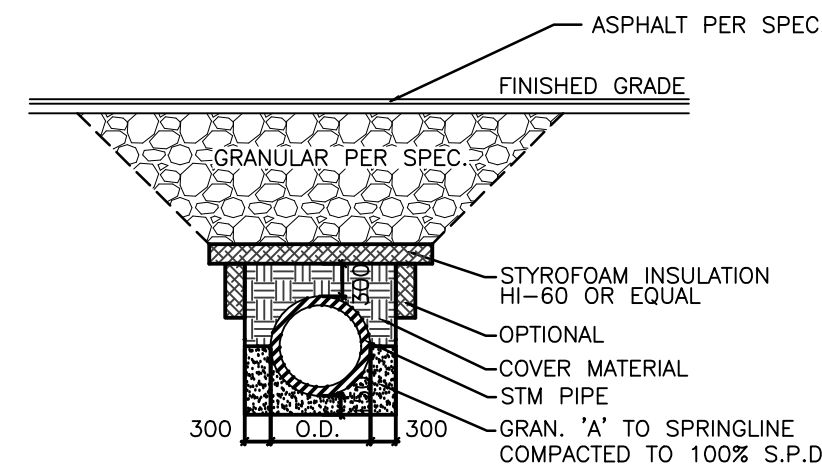
- SPECIFICATIONS FOR C.B'S AND M.H.'S**
- STORM:**
- DROP STRUCTURE IF REQUIRED AS PER OPSD 1003.010.
 - 600x600 PRECAST CB AS PER OPSD 705.010 c/w RELATED GRATING AS PER OPSD 400.020. GOSS TRAP AND SUBDRAINS AS PER TOWN EAST GWILLIMBYRY STANDARDS AND SPECIFICATION.
 - 1200Ø PRECAST MH AS PER OPSD 701.010 c/w RELATED GRATING AS PER OPSD 401.020 U.N.O.
 - 1500Ø PRECAST MH AS PER OPSD 701.011 c/w RELATED GRATING AS PER OPSD 401.020 U.N.O.
 - BENCHING AS PER OPSD 701.021.
 - ADJUSTMENT UNITS AND CAPS AS PER OPSD
 - SEWER COVER-GRANULAR 'A' CONFORMING TO OPSD 802.03.
 - PIPE-PVC SDR35 UNLESS NOTED OTHERWISE.
 - CB CONNECTIONS AS PER OPSD 708.030
 - ALL EX. STORM AND SANITARY ABANDONED SHOWN ON THE PLAN OR ENCOUNTERED DURING CONSTRUCTION ARE TO BE EXCAVATED AT THE STREET LINE AND SEALED TO TOWN EAST GWILLIMBYRY STD.
 - WHEN THE DEPTH OF THE COVER OVER THE PROP. SANITARY OR STORM SEWERS IS LESS THAN THE FROST DEPTH ARE TO BE INSULATED AS PER TOWN EAST GWILLIMBYRY STANDARDS. THE INSULATION TO BE STYROFOAM BRAND H.I. TYPE IV OR EQUAL.
- SANITARY:**
- 1200Ø PRECAST M.H.'S AS PER OPSD 701.01 C/W RELATED GRATING AS PER OPSD 401.030.
 - DROP STRUCTURE IF REQUIRED AS PER OPSD 1003.010.
 - BENCHING AS PER OPSD 701.021.
 - SANITARY PIPES TO BE PVC SDR35.
- WATERMAINS:**
- ALL NEW WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST TOWN OF CALEDON STDARDS.
 - WATERMAIN AND/OR WATER SERVICES TO HAVE A MINIMUM OF 2.5m HORIZONTAL SEPARATION FROM OTHER UTILITIES.
 - WHERE WATERMAIN AND/OR WATER SERVICES CROSSES UNDER SANITARY OR STORM SEWER A CLEARANCE OF 0.5m SHOULD BE PROVIDED, AS PER MOE PROCEDURE F-6-1.
 - BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER CITY STANDARD WITH GRANULAR "A" FOR BOTH BEDDING AND COVER.
 - WATER SERVICE TO HAVE MIN. 1.7m-1.9m COVER AS PER YORK REGION REQUIREMENT.
 - WATER SERVICE CONNECTIONS SHALL BE A MINIMUM OF 19mmØ AND CONFORM TO ASTM B88-03 (ASTM 88M-05 FOR METRIC SIZES) PEXα "MUNICIPLEX" BY REHAU AS PER YORK REGION STANDARDS.



SECTION THROUGH PAVEMENT WITHIN PROPERTY

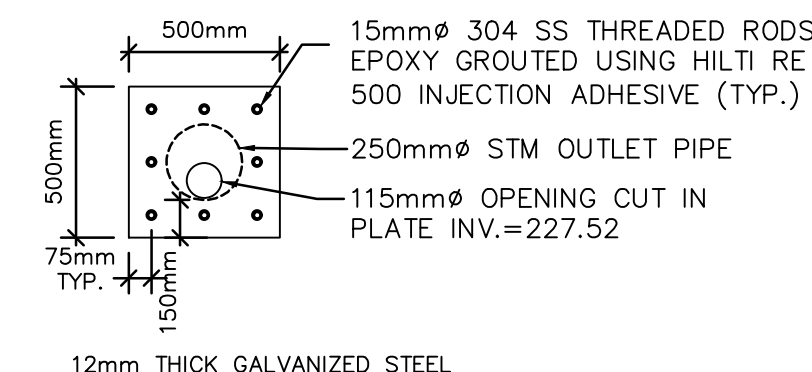
LAYER	MATERIAL	PAVEMENT THICKNESS LIGHT DUTY	PAVEMENT THICKNESS HEAVY DUTY	COMPACTION REQUIREMENT
①	ASPHALT HL-3 (WEARING COARSE)	40 mm	60 mm	AS PER OPSS 310
②	ASPHALT HL-8 (BINDING COARSE)	50 mm	60 mm	AS PER OPSS 310
③	BASE-20mmØ GRANULAR 'A'	150 mm	150 mm	> 100 % (SPMDD)
④	SUB-BASE-50mmØ GRANULAR 'B'	350 mm	500 mm	> 100 % (SPMDD)
⑤	SUBGRADE (TO BE RESHAPED)	VARIES	VARIES	> 95 % (SPMDD)

MBD: MARSHALL BULK DENSITY
 SPMDD: STANDARD PROCTOR MAXIMUM DRY DENSITY
 NOTE: FOR EXACT ASPHALT MIX AND SUBGRADE DESINE, THICKNESS AND COMPACTION REFER TO GEO REPORT PREPARED BY PETO MACCALLUM Ltd. REF.:2188F005 REPORT 1. MARCH 2021.



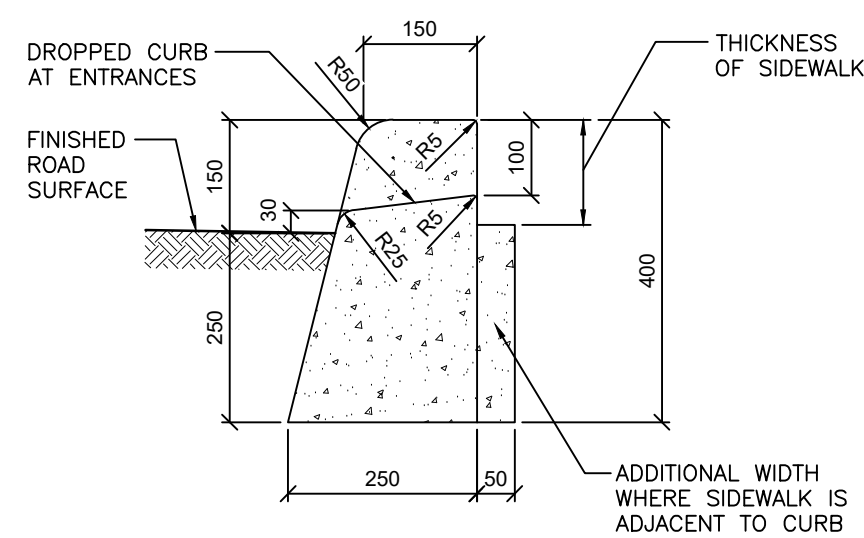
2 - STORM INSULATION DETAIL 1.
 - FOR PIPE COVER 0.6m TO 1.2m

Scale: NTS

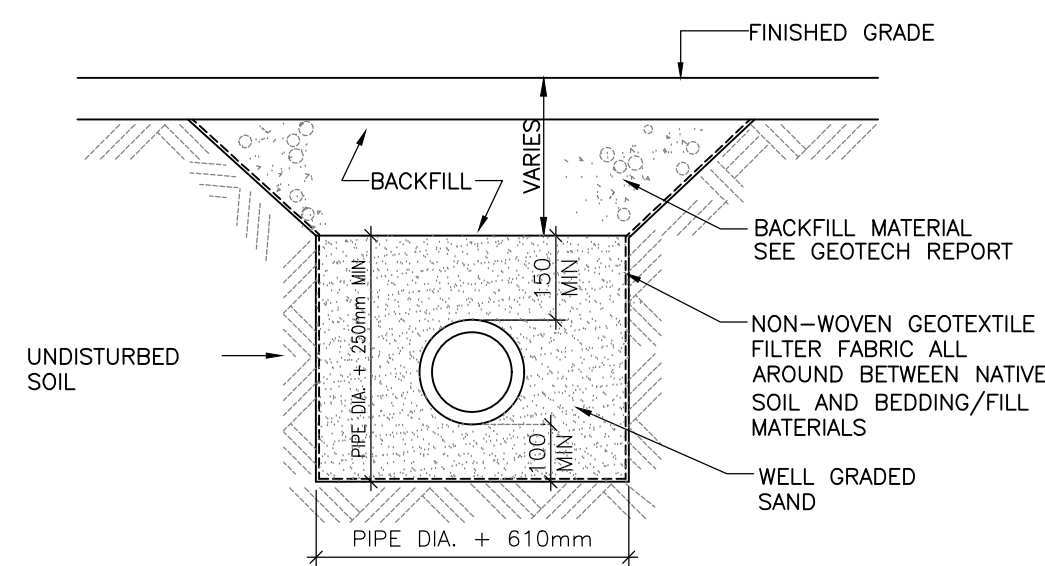


3 - ORIFICE PLATE INSTALLATION

Scale: NTS



STANDARD CONCRETE BARRIER CURB.
 OPSD 600.110



1 - PIPE BEDDING DETAIL

Scale: NTS

Attachment 3
 Pg 11 of 12
 Report # DS-2024-0025
 03.1160

Date: 2021-03-19
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 Reviewed By: JEFBSU
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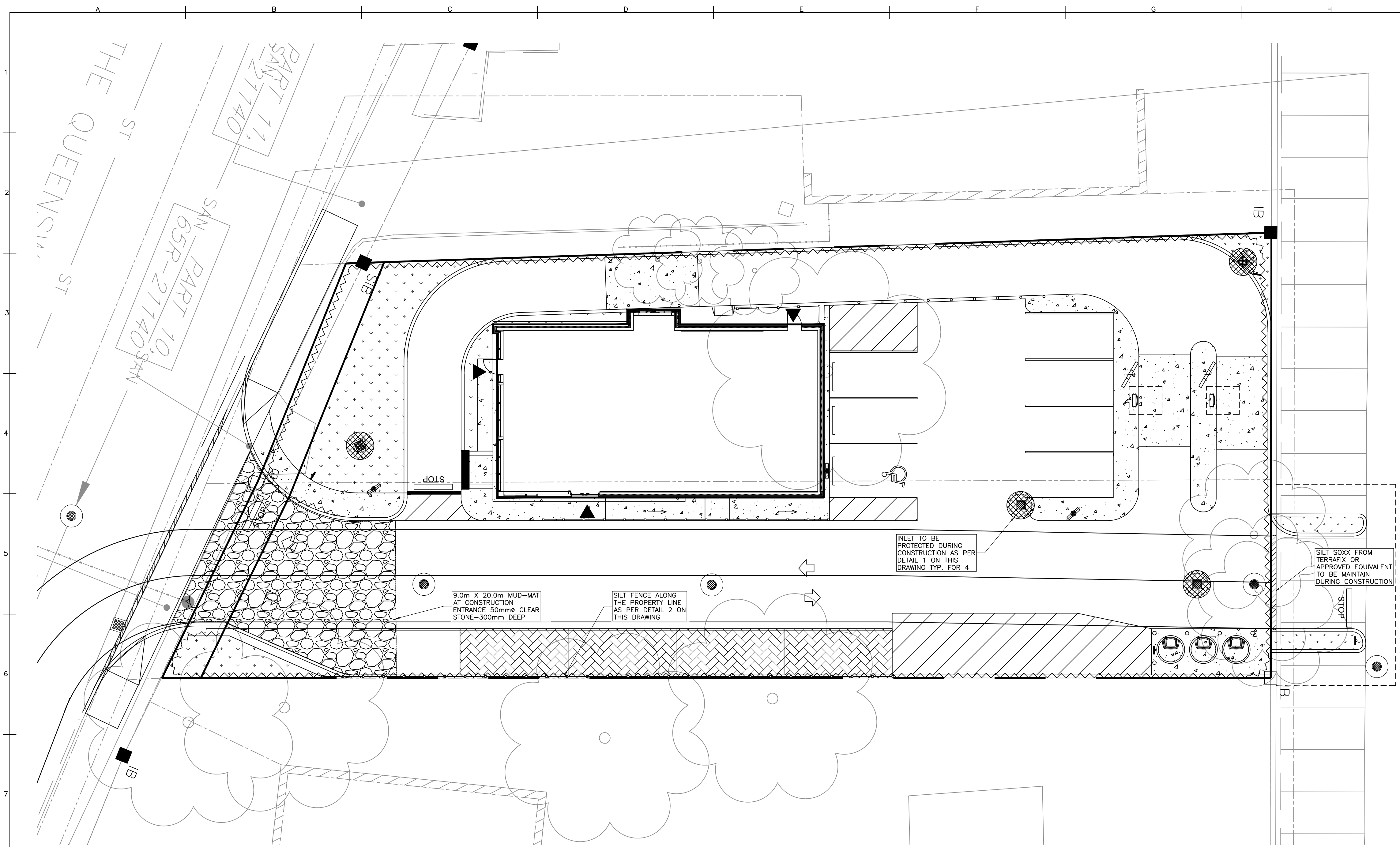
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 100104128
 PROVINCE OF ONTARIO

NOTES AND DETAILS
 451 AND 453 THE QUEENSWAY STREET,
 KESWICK, ONTARIO

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File No. 1905-245-00

C03



KEY PLAN
N.T.S.

MUNICIPAL ADDRESS:
451 AND 453 THE QUEENSWAY STREET
KESWICK, ONTARIO

LEGAL DESCRIPTION:
LOT 6, CONCESSION 3
TOWN OF GEORGINA,
REGION MUNICIPALITY
OF YORK

OWNER OF PROPERTY:
675626 CANADA INC. &
6792715 CANADA INC.
CONSTRUCTION NORTH

KEY PLAN
N.T.S.

LOT 6, CONCESSION 3 TOWN OF GEORGINA, REGION MUNICIPALITY OF YORK, PROVINCE OF ONTARIO

BEARING NOTES
1. BEARINGS ARE GRID, UTM, ZONE 17 NAD83 (CSRS-2010) FROM THE CANSEL CAN-NET REAL TIME NETWORK, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, SHOWN HEREON.

OBSERVED REFERENCE POINTS ARE DERIVED FROM GPS OBSERVATIONS USING THE CANSEL CAN-NET VRS NETWORK AND ARE REFERRED TO UTM ZONE 17 (8100' LONGITUDE WEST) NAD83 (CSRS 2010) COORDINATES TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF OREGS 216/10

POINT ID	NORTHING	EASTING
ORP A	4896802.04	622710.44
ORP B	4896784.35	622661.65

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ELEVATION NOTES
1. ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CANSEL CAN-NET REAL TIME NETWORK UTM ZONE 17 NAD83 CSRS-2010.

SITE BENCHMARK #1:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT, HAVING AN ELEVATION OF 228.29M

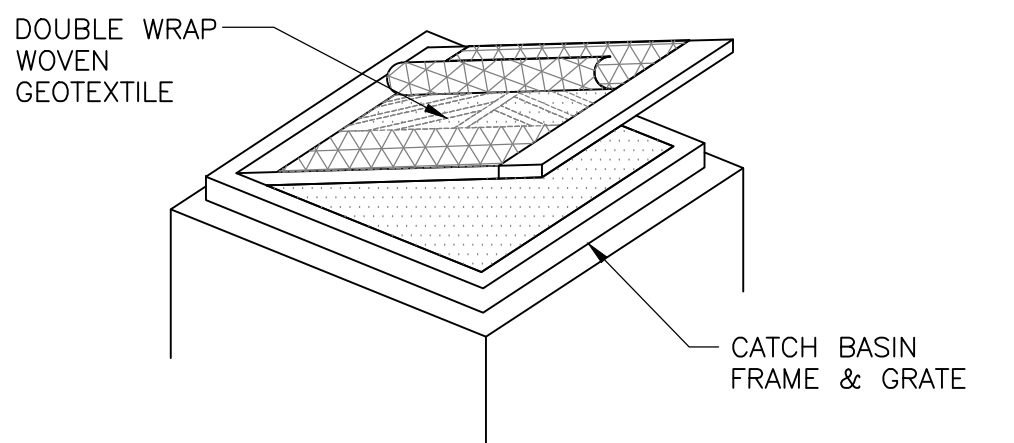
SITE BENCHMARK #2:
ELEVATIONS ARE RELATED TO THE CUT CROSS IN THE CURB OF THE PARKING LOT OFF OF THE QUEENSWAY SOUTH, HAVING AN ELEVATION OF 232.00M

2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT IT'S RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

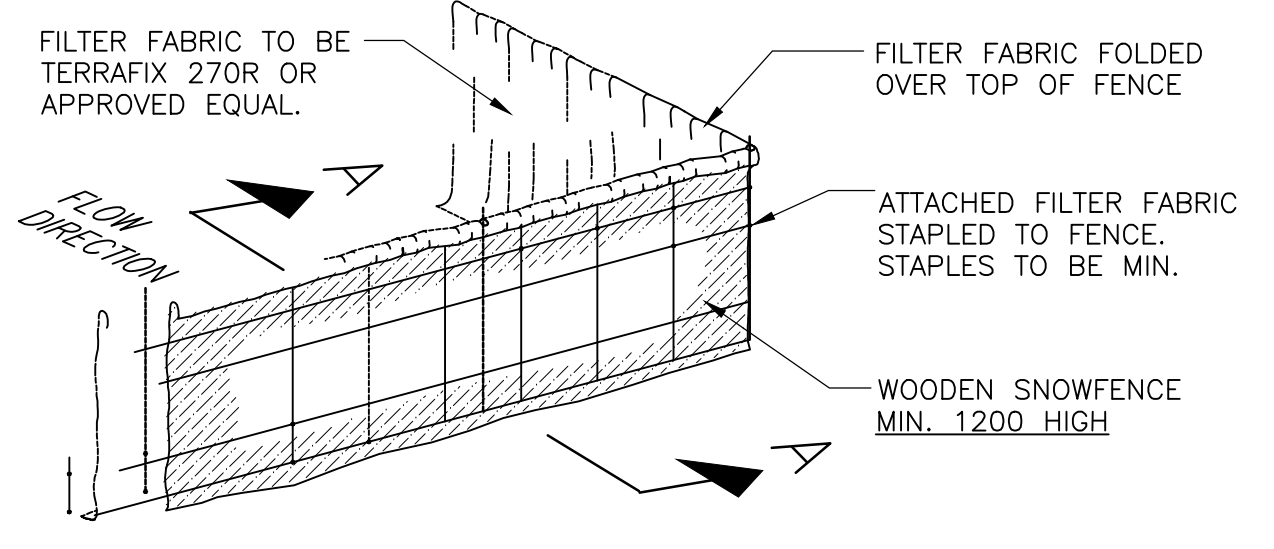
GENERAL NOTES:

- LEGAL BOUNDARY SURVEY AND TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PLAN BY NA GEOMATICS LTD. DATED MARCH 19, 2021 PROJECT NO 20-6050.
- THE SERVICING INFORMATION FOR THE WATERMAIN, STORM & SANITARY SEWERS WAS TAKEN FROM THE AS CONSTRUCTED PLAN AND PROFILES 4801-1-12 BY PROJECT PLANING ASSOCIATES LTD DATED 30 MARCH 76 ALL SITE FEATURES ARE TO BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
- OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
- OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
- CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.

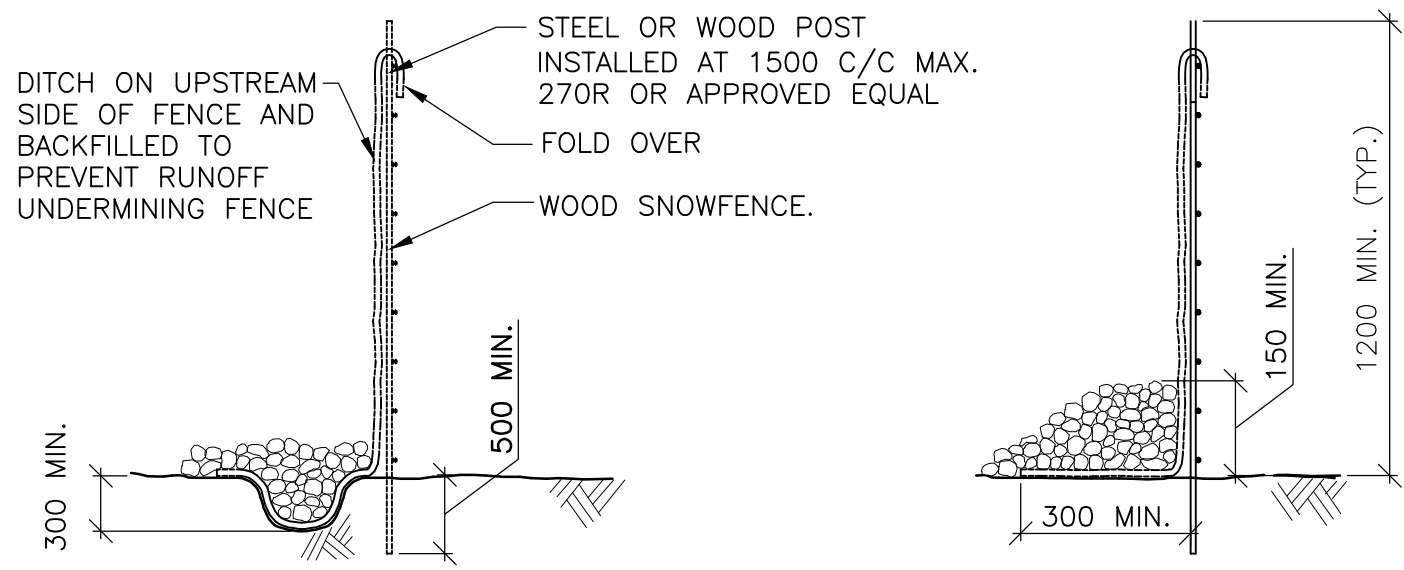
1 EROSION AND SEDIMENT CONTROL PLAN
1:150



1 CB SEDIMENT PROTECTION DETAIL TYP.
SCALE: NTS



2 SEDIMENT PROTECTION FENCE TYP.
SCALE: NTS



SECTION 'A'-'A'
FROZEN CONDITION

LEGEND:

■	STANDARD IRON BAR
□	EXISTING ELEVATION
▨	EXISTING CATCHBASIN
○	EXISTING C.B./M.H.
●	EXISTING MANHOLE
↘	2.0% SLOPE
⊙	STREET LIGHT
—	F.W.F.G. FLUSH WITH FINISH GRADE
—	A.F.G. ABOVE FINISH GRADE
+ 100.00	PROPOSED ELEVATION
+ 100.15	PROP. ELE. (CURB TOP)
+ 100.00	PROP. ELE. (CURB BOTTOM)
+ 100.00*	EXISTING ELEVATION TO REMAIN
■	NEW CATCHBASIN
■	NEW C.B./M.H.
●	NEW MANHOLE
—	NEW GAS LINE
—	NEW WATER LINE
—	NEW SANITARY LINE
—	NEW STORM LINE

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REFER TO DWG C3 FOR EROSION AND SILTATION CONTROL NOTES AND DETAILS

Drawn By: SK Date: 2021-03-19
Reviewed By: JEF/SDJ Date: 2021-03-19
DWG Scale: 1:150
File No. 1905-245-00

Value Centres Inc.
Development • Construction • Management • Leasing

blueprint2build

EROSION AND SEDIMENT CONTROL PLAN
451 AND 453 THE QUEENSWAY STREET,
KESWICK, ONTARIO

PROVINCE OF ONTARIO
LICENSED PROFESSIONAL ENGINEER
16 Feb 21
S. KISELYOV
100104128

Date	Description	APPRD
01 21.03.19	ISSUED FOR CLIENT REVIEW	
02 22.01.19	UPDATED AS PER NEW SITE PLAN	
03 23.03.22	UPDATED AS PER NEW SITE PLAN	
04 23.05.23	UPDATED AS PER NEW SITE PLAN	
05 24.02.13	ISSUED FOR SPA #5	

File No. 1905-245-00

C04

C04

Department/Agency	Date Received	Comment:
Building	January 6, 2023 April 23, 2024	<p><u>2nd Submission Response:</u> No concerns or comments. Once application for a building permit is received, a full review of the documents to confirm compliance with the Ontario Building Code will be undertaken.</p> <p><u>3rd Submission Response:</u> The building code requires a 6 metre wide fire access route and that should be exclusive of any parking or loading spaces.</p>
Septic Inspector		
Zoning Examiner	April 23, 2024	<p>Per Zoning By-law 500, as amended, the aisle need only be 6 metres wide in the location of the loading space. If a wider aisle is proposed, the loading space may not encroach into that aisle.</p> <p>Only 7 stacking spaces are required, each at 7 metres long by 3 metres wide.</p> <p>Staff note that an updated site plan has been provided and the loading space no longer encroaches into the aisle.</p>
Community Services-Parks & Operations	December 23, 2022	Parks would be looking for cash in lieu of parkland for this application
Engineering	January 11, 2023	<p>Development Engineering cannot support this ZBA and recommend deferment till following comments are adequately addressed.</p> <ol style="list-style-type: none"> 1. Please confirm 13 m free space available perpendicular to front line of waste bins during operation of waste collection vehicle on site. 2. A minimum centreline turning radius of 13 meters is required for front load waste collection vehicle. 3. If the applicant wishes to connect to the existing parking area to east, they would need to contact the owner directly and both owners needs to be part of the site plan agreement. If the applicant owns both lands, please submit necessary documents to prove their ownership. 4. Submitted drawing shows an isle width of 6m but requested 3m. Please clarify. 5. Submitted drawing shows an aisle width of 6m between the parking spaces on the East side of proposed building. Town requires minimum 7m aisle width for two-way circulation of traffic. 6. Please clarify the reasons behind requesting a 40 degree angle between the driveway and the intersection of the street, whereas the submitted development plan appear to be at a 90 degree angle. 7. Provide a loading space. As per zoning bylaw there should be at least 1 loading space for 250 sqm of floor area. 8. Provide onsite waste collection vehicle, and cars circulation without encroaching or blocking the use of any of the parking spaces with 30 cm clearance on all sides. 9. Provide snow storage area on site (15% of snow plowing area). 10. Provide revised drawings showing the land to the east and how storm, grading circulation will interact. 11. The Transportation Study (Update) and Noise Feasibility Study and and will require a Peer review at the Owner's expense. 12. Site Plan Agreements for shared parking and the access easement are to be registered on title on both the subject property and the Glenwoods Centre property. <p>Town Staff have followed up with the engineering division and confirmed that these issues have been resolved, or will be addressed during the site plan process.</p>
Georgina Fire Department	October 13, 2021	<p>The Georgina Fire Department has no objections to the zoning bylaw amendment and provides the following comments:</p> <p><u>1st Submission Fire Response:</u></p> <ol style="list-style-type: none"> 1. All construction to be in conformance with the Ontario Building Code (OBC) 2. The fire route shall be constructed as per Ontario Building Code and designed to support the weight of the heaviest responding apparatus to the property during an emergency, which is 100,000lbs. 3. A Fire Safety Plan shall be prepared, approved and implemented prior to occupancy 4. Owner to consider installing fire sprinklers and is encouraged to speak to the Georgina Fire Department for more information <p><u>2nd Submission Fire Response:</u></p> <ol style="list-style-type: none"> 1. All construction to be in conformance with the Ontario Building Code (OBC) 2. A Fire Safety Plan shall be prepared, approved and implemented prior to occupancy <p><u>3rd Submission Fire Response:</u></p> <ol style="list-style-type: none"> 1. The fire access route is to have a clear width of no less than 6m <p>Staff note that an updated site plan has been provided and the loading space no longer encroaches into the aisle.</p>
Municipal Law		
Operations & Infrastructure		
Policy Planning	April 19, 2024	<p>That the Owner must provide written confirmation from the abutting property owner with respect to the potential damage and removals of trees resulting from the redevelopment of the subject property. As well, the Arborist Report and Tree Inventory/Preservation Plan will require a Peer review at the Owner's expense. Compensation will be required for trees removed from the subject property in accordance with Town Policy No. OID-01 – Tree Preservation and Conservation Policy.</p> <p><u>3rd Submission Response:</u> All matters regarding tree preservation and compensation have been resolved, and Town Staff have no concerns regarding the proposal.</p>

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Development Planning	April 25, 2024	An 'H' Holding symbol will be required on the property until the Keswick Sewage Pumping Station upgrades have been completed, the two parcels that make up the proposal are consolidated into one lot, and the Easement Agreement has been registered on title.
Tax & Revenue	October 4, 2021	No tax concerns.
Bell Canada		
Canada Post		
Enbridge Gas	October 21, 2021	Enbridge Gas Inc. does not object to the proposed application however, we reserve the right to amend our development conditions.
Hydro One		
Hydro One		
Lake Simcoe Region Conservation Authority	November 21, 2021	(See Attached)
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	December 23, 2021	This site is outside of MTO permit control area and does not require an MTO permit.
MPAC		
Ontario Power Generation		
Rogers	December 28, 2021	No comments or concerns at this time.
Southlake Regional Health Centre		
Viamonde School Board (French Public)	December 29, 2021	No comments.
York Catholic District School Board		
York Region - Community Planning & Development Services	October 19, 2021 & January 12, 2023	<p><u>1st Submission:</u></p> <p>York Region has completed a preliminary review of the proposed Zoning By-Law Amendment application and the submitted site plan. The proposed site plan layout has changed significantly from the site plan presented through the pre-consultation stage. Region does not support the significant changes proposed to the site plan from the one provided at the pre-consultation stage. Specifically, the access arrangement does not meet the Region's guidelines for spacing and only one access to the site is supported. The site should be redesigned with one entrance with sufficient queuing distance for entering and exiting vehicles. We will provide preliminary comments on the servicing once the plan has been revised.</p> <p><u>2nd Submission:</u></p> <p>York Region has completed the review of the second submission and have no objections to the Zoning By-Law Amendment related to land use at this time. We provide the following preliminary technical comments for the subsequent site plan application.</p> <ul style="list-style-type: none"> - The owner shall be advised that the York Region is protecting 30.0 metres right-of-way along The Queensway South, therefor land conveyance will be required that satisfies 15.0 metres setbacks from the centreline of construction of The Queensway South. - Transportation Planning staff have no further comments on the proposed access. - Sustainable Mobility has no comments to the alignment of the paved boulevard. However, the report states that it will be converted to concrete sidewalk. Currently, there is an existing asphalt boulevard. Therefore, it is recommended to keep the boulevard as asphalt. The Queensway south was identified as part of the Lake to Lake Route, with the asphalt MUP along this roadway. - Detailed technical comments and conditions will be provided at the site plan application stage. - YR has no comments on the internal access with the commercial mall (Glenwoods Centre) to the east. - Estimated water demands for proposed development should be documented, including required fire flows. FSR should be updated before final site plan approval. <p>The development's sanitary flows will also be tributary to Keswick Sewage Pumping Station. Applicant is advised that there is a current capacity constraint in Keswick and cannot apply for building permits until Region's Keswick Sewage Pumping Station project is completed. Region recommends a holding zone provision.</p> <p><u>3rd Submission:</u></p> <p>We would be satisfied with development being prohibited from occurring on the property until the upgrades to the Keswick Pumping station occur as a condition of Site Plan.</p>
York Region District School Board		-
York Regional Police		



Sent via E-mail: ifung@georgina.ca

November 02, 2021

Municipal File No.: 03.1160
LSRCA File No.: ZO-162121-120320

Ms. Ingrid Fung
Planner II
Development Services Department
Town of Georgina
26557 Civic Centre Road
Keswick, ON L4P 3G1

Dear Ms. Fung:

**Re: Proposed Application for Zoning By-law Amendment
Owner: 6786626 Canada Inc. and 6792715 Canada Inc.
451 and 453 The Queensway South
Town of Georgina, Regional Municipality of York**

Thank you for circulating the above captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. We understand that the purpose and effect of this application for Zoning By-law Amendment submitted under Section 34 of the *Planning Act* is to rezone the property to General Commercial (C1) Zone to facilitate the proposed construction of a drive-thru restaurant with a ground floor area of approx. 250m² and associated parking lot. A subsequent application for Site Plan Approval will be required to permit the proposed development. The existing two properties will be merged to facilitate the proposed development.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Stormwater Management Study Report, prepared by Blueprint2build, dated August 16, 2021.
- Functional Servicing Report, prepared by Blueprint2build, dated August 16, 2021.
- Geotechnical Investigation, prepared by Peto MacCallum Ltd. (PML), dated March 2021.
- Planning Justification Report, prepared by Urban & Environmental Management Inc., dated August 2021.
- Site Plan (SP01), prepared by Blueprint2build, revision August 16, 2021.
- Site Grading Plan (C01), prepared by Blueprint2build, revision March 19, 2021.
- Site Servicing Plan, (C02.1, C02.2), prepared by Blueprint2build, revision March 19, 2021.
- Notes and Details (C03), prepared by Blueprint2build, revision March 19, 2021.
- Erosion and Sediment Control Plan (C04), prepared by Blueprint2build, revision March 19, 2021.

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We note that LSRCA planning staff have provided pre-consultation comments via e-mail dated December 3, 2020 related to this proposal to the applicant/municipality in advance of the receipt of the application.

Staff have reviewed this application as per our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 179/06 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our MOU with Town of Georgina and the Regional Municipality of York. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Recommendation

Based upon our review of the submitted information in support of the application, it is determined that the LSRCA has no objection to the adoption of this application for Zoning By-law Amendment. On this basis, LSRCA recommends approval of this application and notes that technical comments pertaining to engineering can be addressed through the subsequent application for Site Plan Approval.

Site Characteristics

The subject property (once merged) is approximately 0.18 hectare (0.45 acre) in size and is located east of The Queensway South and north of Glenwoods Avenue within the community of Keswick (i.e. Town of Georgina). The subject land is currently zoned 'Low Density Urban Residential (R1) per Map No. 2 (page 2), of Schedule 'A' to Town of Georgina Comprehensive Zoning By-law 500, as amended. Per Schedule 'F1' (Keswick Land Use Plan) of the Keswick Secondary Plan, the property is designated 'Glenwoods Urban Centre'. Existing mapping indicates that the subject property is currently outside of an area that is regulated under Ontario Regulation 179/06 made under Section 28 of the *Conservation Authorities Act*.

Delegated Responsibility and Statutory Comments:

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS). Based on a review of the submitted materials and current environmental mapping, the application is consistent with Section 3.1 of the PPS.
2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 179/06. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

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Ontario Regulation 179/06 does not apply to the subject property. A permit from the Lake Simcoe Region Conservation Authority will not be required prior to any development or site alteration taking place on the property.

Advisory Comments

3. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina and Regional Municipality of York in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

The application includes the construction of an impervious area greater than 500 square metres and is therefore considered to be “Major Development” per the Lake Simcoe Phosphorus Offsetting Policy (LSPOP). Technical comments will be prepared and provided under a separate e-mail as indicated below:

Engineering

Technical comments relating to the engineering review is being carried out by Stephen Troan (S.Troan@LSRCA.on.ca). Comments will be prepared and provided under separate cover for the 1st submission directly to the applicant/municipality shortly. (Note: To assist with the future review of this application, please provide a completed copy of the comments matrix as part of the next submission).

Summary

Based upon our review of the submitted information in support of the application, it is determined that the LSRCA has no objection to the adoption of this application for Zoning By-law Amendment. On this basis, LSRCA recommends approval of this application and notes that technical comments pertaining to engineering can be addressed through the subsequent application for Site Plan Approval.

Given the above comments, it is the opinion of the LSRCA that:

1. The application has demonstrated consistency with Section 3.1 of the Provincial Policy Statement.
2. Ontario Regulation 179/06 does not apply to the subject property. A permit from the Lake Simcoe Region Conservation Authority will not be required prior to any development or site alteration taking place on the property.

Should you have any questions concerning these comments, please contact the undersigned and reference the above file numbers in correspondence. Please advise our office of any decision made with regard to this matter.

Sincerely,



Laura Tafreshi
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)

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03.1160

THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK

BY-LAW NUMBER 500-2024-XXXX

A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW TO REGULATE THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF BUILDINGS AND STRUCTURES WITHIN THE TOWN OF GEORGINA.

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, c.P.13, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 2, Page 2, Schedule 'A' to Zoning By-Law Number 500, as amended, is hereby further amended by changing the zone symbol from 'R1' to 'C1-60' on the lands described as Part of Lot 6, Concession 3 (NG) and municipally addressed as 451 and 453 The Queensway South, Keswick, shown in heavy outline and designated 'C1-60' on Schedule 'A' attached hereto.
2. That Section 14.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500, as amended, is hereby further amended by adding after Subsection 14.5.56 the following:

“14.5.57 PART OF LOT 6, CONCESSION 3 (NG) ‘C1-60’
451 AND 453 THE QUEENSWAY SOUTH (Map 2)

Notwithstanding Sections 5.12, 5.25 (c), 5.28 (b), 5.28 (h), 5.31, 14.4 (c), 14.4 (e) and 14.4 (f), the following requirements shall apply on lands shown in heavy outline and designated 'C1-60' in Schedule 'A' attached hereto:

- a) The minimum front yard shall be 8 metres.
- b) The minimum number of parking spaces required for non-residential uses shall be twelve (12), including a minimum of one (1) barrier free parking space.
- c) A board-on-board privacy fence with a minimum height of 2.0 metres shall be required along the southerly interior lot line where abutting lands zoned Residential.
- d) A planting strip with a minimum width of 3 metres shall be required along the front lot line. Further, no planting strip shall be required along the southerly interior lot line abutting lands zoned Residential.

- e) Parking spaces, aisles, driveways, loading spaces and waste management earth bins shall be permitted with a nil setback to the southerly interior lot line and the rear lot line.
- f) A mutual driveway and pedestrian service access shall be permitted between the properties municipally addressed as 451 and 453 The Queensway South and the property municipally addressed as 443 The Queensway South (Glenwoods Centre).”

READ and enacted this ____ day of _____, 2024

Margaret Quirk, Mayor

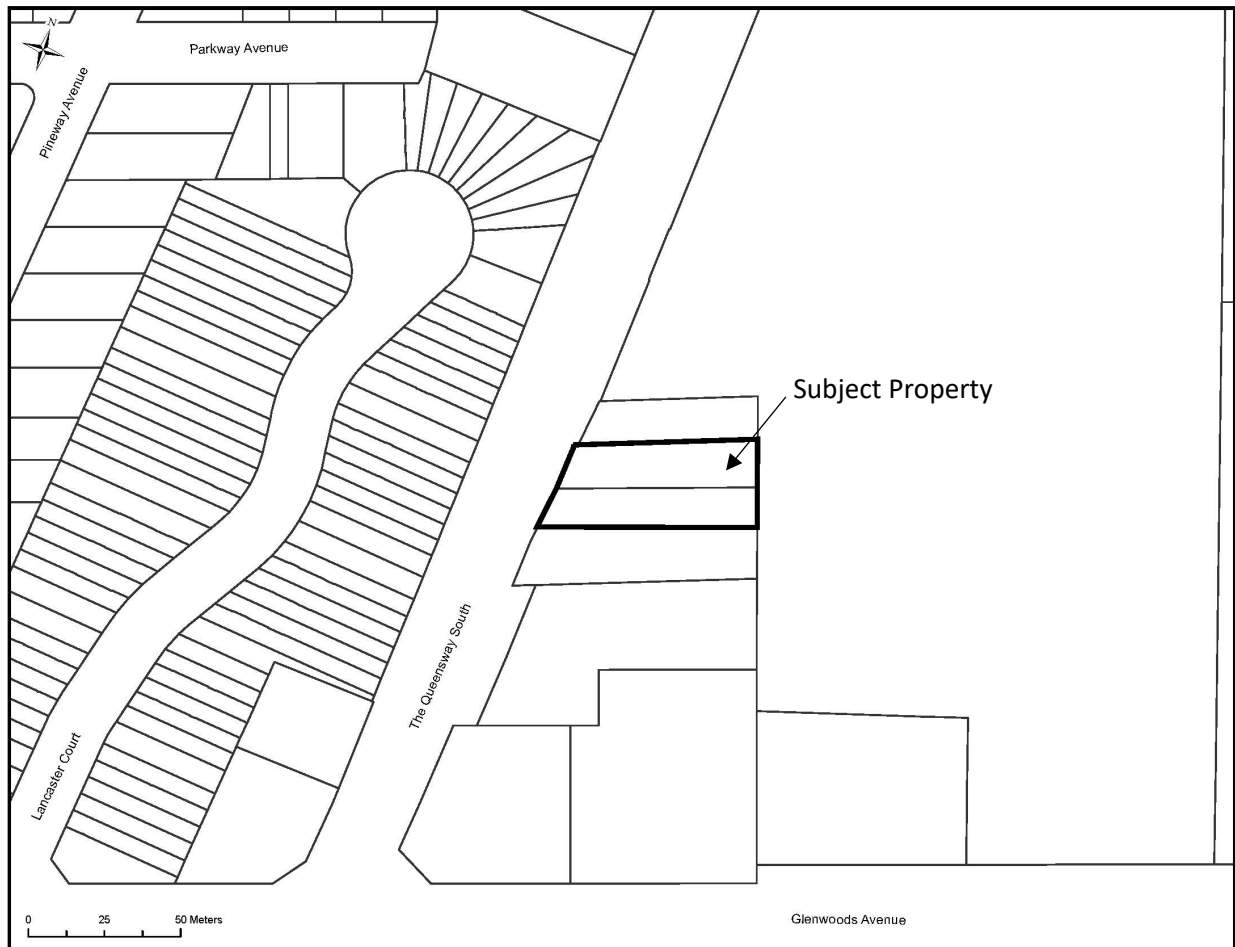
Rachel Dillabough, Town Clerk

EXPLANATORY NOTE

**(6786626 Canada Inc. and 6792715 Canada Inc.)
(FILE NO.: 03.1160)**

1. The purpose of Zoning By-law Number 500-2024-XXXX, which amends Zoning By-law No. 500, is to amend the current zoning of the subject lands from Low Density Urban Residential (R1) to General Commercial (C1-60), with site specific provisions to facilitate the construction of a restaurant.
2. Zoning By-law Number 500-2024-XXXX conforms to the Keswick Secondary Plan.
3. A **KEY MAP** showing the general location of the land to which By-law Number 500-2024-XXXX applies is shown below:

KEY MAP



BY-LAW NUMBER 500-2024-XXXX, WHICH AMENDS ZONING BY-LAW NUMBER 500 OF THE CORPORATION OF THE TOWN OF GEORGINA

