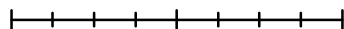


LOCATION MAP



SUBJECT LAND

0 12.5 25 50 Meters



N



Attachment 1
A03-24 328 Pefferlaw Rd
Page 1 of 1

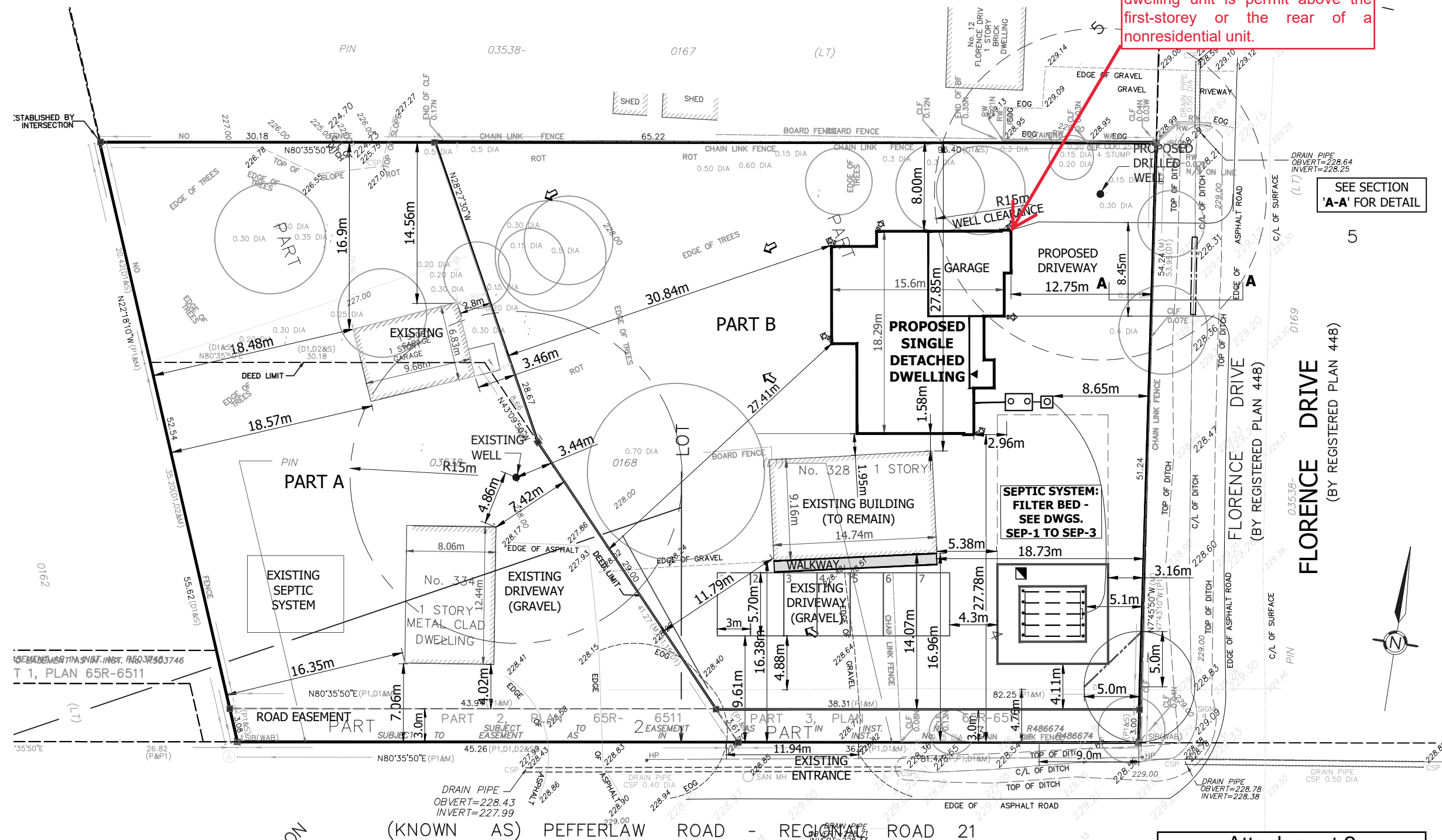
REMAINED LAND 'B'	
FRONTAGE	36.21M (PEFFERLAW RD)
DEPTH	54.24M (FLORENCE DR)
AREA	2,756.7 SQ.M

NOTE: SUBJECT LAND 'A' TO BE ADDED TO BENEFICIARY LAND 'C'

	REQUIRED	PROPOSED
LOT FRONTAGE (MIN)	30M	38.31M
FRONT YARD SETBACK (MIN)	12M	27.78M
EXTERIOR SIDE YARD SETBACK (MIN)	12M	12.75M
INTERIOR SIDE YARD SETBACK (MIN)	9M	27.41M
REAR YARD SETBACK (MIN)	8M	8M
LOT COVERAGE (MAX)	30%	13.73%
HEIGHT (MAX)	11M	11M

	PART A	PART B
LOT AREA:	1,792 sq.m	2,756.7 sq.m
EXISTING BLDGS:	105.3 sq.m	135.7 sq.m
PROPOSED BLDG:		242.7 sq.m
LOT COVERAGE:	5.9 %	13.73 %

Section 15.1: To permit a single detached dwelling on existing commercial lot, whereas one dwelling unit is permit above the first-storey or the rear of a nonresidential unit.



- LEGEND**
- x 228.57 EXISTING ELEVATIONS
 - x (228.60) SWALE ELEVATIONS
 - 228.95 PROPOSED ELEVATIONS
 - ⬇️ ROOF DOWNSPOUTS
 - ➔ SWALE DIRECTIONS
 - ➔ SURFACE DRAINAGE DIRECTIONS
 - HP ● HYDRO POLE
 - 🌳 EXISTING TREE
 - TP ◼ TEST PIT



VANHEESWYK PROPERTY
 PT LOT 22, CONC. 5
 #328 PEFFERLAW ROAD
 TOWN OF GEORGINA

SITE PLAN

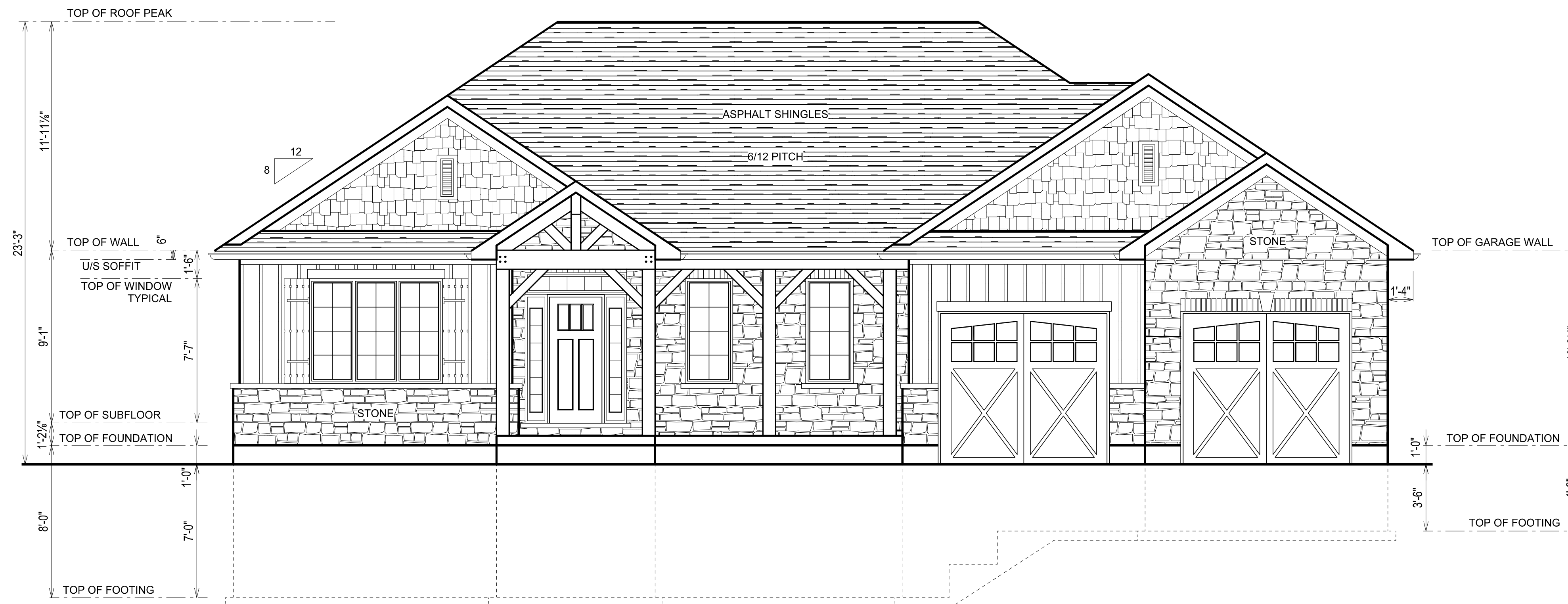
BJH Engineering Ltd.
 #25944 Woodbine Avenue,
 Keswick, Ontario L4P 0L1
 phone: 1.888.530.0699
 email: bjhongconsulting@gmail.com
 www.bjhengineering.ca

PROJECT NO.: **21-1508**
 DRAWING NO.: **SP-2**
 Date: FEB 2024
 Scale: 1 : 400
 Designed By: BH
 Drawn By: BH

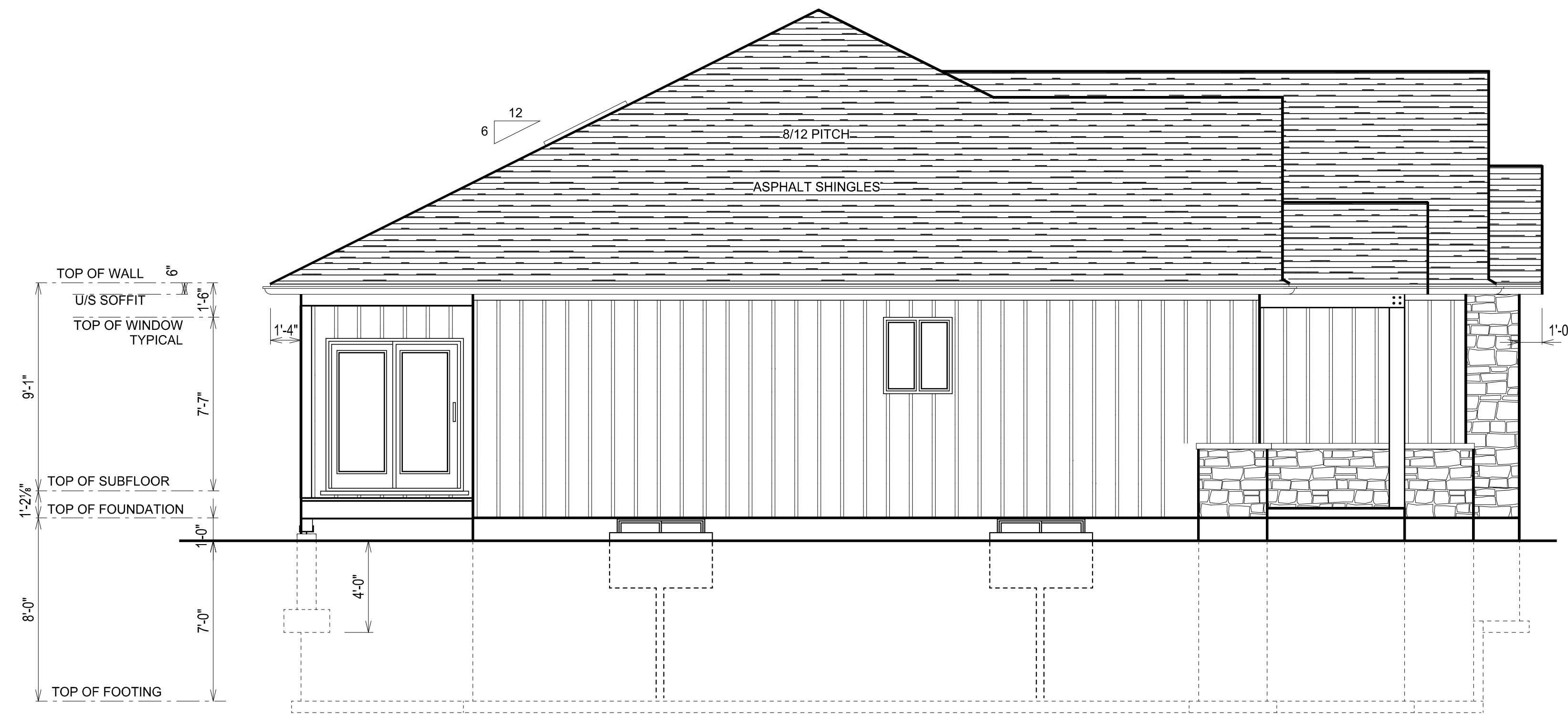
REFERENCE:
 TOPOGRAPHIC SURVEY BY J.D. BARNES
 AUG. 30, 2021

Attachment 2
 A03-24 328 Pefferlaw Rd
 Page 1 of 7

(REGIONAL ROAD 21)
PEFFERLAW ROAD



FRONT ELEVATION 1/4"=1'0"



LEFT ELEVATION 1/4"=1'0"

Attachment 2
 A03-24 328 Pefferlaw Rd
 Page 2 of 7

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:



289.895.9671
 WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.5 of division C of the building code.

Clint Excell
 NAME

36446
 SIGNATURE
 BCIN

REGISTRATION INFORMATION
 Design is exempt under 3.2.4 of division C of the building code.

Canadian Home Designs
 NAME
37238
 BCIN

JOB NUMBER:
 BN837-23

PROJECT :
 THE HALTON

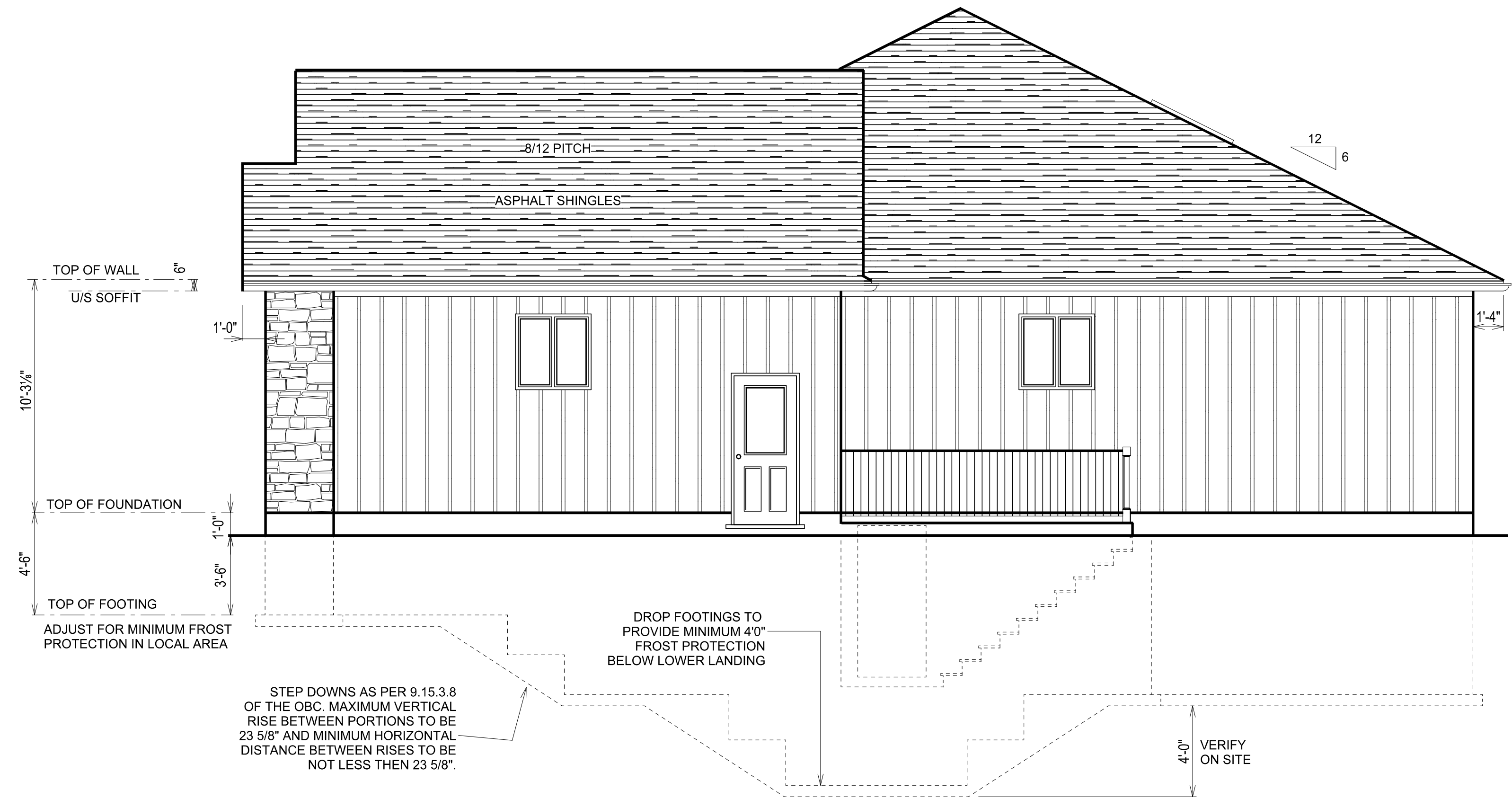
GROSS FLOOR AREA
 1825 SQ. FT.

LOCATION:

TITLE:
 FRONT & LEFT ELEVATIONS

DATE :
 AUG. 2023

PAGE:
 1 6



RIGHT ELEVATION 1/4"=1'0"



REAR ELEVATION 1/4"=1'0"

Attachment 2
A03-24 328 Pefferlaw Rd
Page 3 of 7

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:



289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required under article 1.8 exempt under 3.1.3 of division C of the building code

Clint Excell
NAME
SIGNATURE
36446
BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of division C of the building code

Canadian Home Designs
NAME
37238
BCIN

JOB NUMBER:

BN837-23

PROJECT :

THE HALTON

GROSS FLOOR AREA

1825 SQ. FT.

LOCATION:

TITLE:

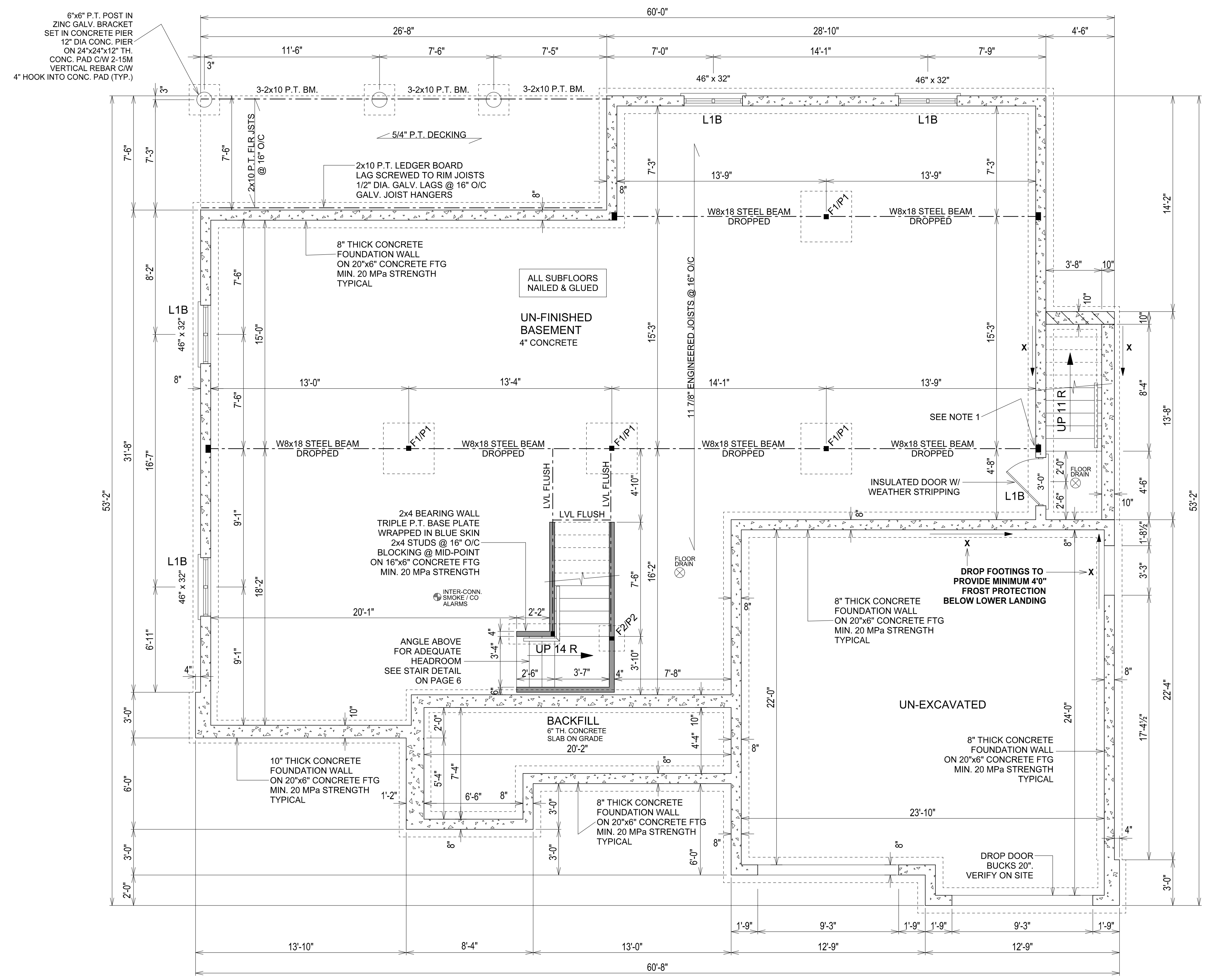
RIGHT & REAR ELEVATIONS

DATE :

AUG. 2023

PAGE:

2 6



FOUNDATION PLAN 1/4"=1'0"

FOUNDATION PLAN NOTES:			
1. BASEMENT BEAM POCKET BEARING TO BE MIN. 3 1/2" AS PER 9.23.8.1 OF THE OBC.	6. INTERIOR STAIR HEADROOM TO CONFORM TO 9.8.2.2 OF THE OBC.	10. OPTIONAL SUSPENDED CONCRETE SLAB AS PER 9.39.1 OF OBC TO BE 5" THICK C/W 10M REBAR @ 7 7/8" O/C EA. WAY. C/W 10M BENT DOWELS @ 23 5/8" O/C AT PERIMETER.	13. SMOKE ALARMS SHALL BE LOCATED AS PER 9.10.19.3. OF THE OBC.
2. STAIR WIDTHS AS PER 9.8.2.1. OF THE OBC.	7. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED STEEL TELEPOSTS AND BEAMS, AND WOOD HEADERS, BEAMS,	11. ALL WINDOW AND DOOR CONCRETE SURFACES AS PER 9.15.6.2 OF THE OBC.	14. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER 9.10.19.5. OF THE OBC.
3. STAIR LANDINGS AS PER 9.8.6. OF THE OBC.	8. PARING ON ALL EXPOSED VERTICAL CONCRETE SURFACES AS PER 9.15.6.2 OF THE OBC.	9. ALL BUILT UP BEAMS TO CONFORM TO 9.23.8.3 OF THE OBC.	15. ALL ELECTRICAL TO CONFORM TO 9.34 OF THE OBC.
4. ALL STAIRS TO HAVE MINIMUM HORIZONTAL RUN OF 10", MINIMUM HORIZONTAL TREAD OF 11" AND MAXIMUM VERTICAL RISE OF 7 7/8".	10. ALL WINDOW AND DOOR HEADERS SHALL BE #2 GRADE 2-2x10 UNLESS NOTED OTHERWISE ON THESE PLANS.	16. PROVIDE WEEPER IN ALL WINDOW WELLS AND FILL IN WITH 3/4" CLEAR STONE.	17. VERIFY EXISTING GRADES & ALL FINISHED GRADES ON SITE.
5. HANDRAIL FOR INTERIOR STAIRS AS PER 9.8.7. OF THE OBC.	12. ALL EXTERIOR CONCRETE FLATWORK TO BE MINIMUM 32 Mpa WITH 5% - 8% AIR ENTRAINMENT	18. CONFIRM LOCATION AND DEPTH OF FOUNDATION WALL STEP DOWNS ON SITE.	19. ALL SUMP PIT COVERS MUST BE SEALED AS PER 9.14.5.2 (2). OF THE OBC.
		19. ALL SUMP PIT COVERS MUST BE SEALED AS PER 9.14.5.2 (2). OF THE OBC.	20. ALL EXHAUST FANS AS PER 9.32.3 OF THE OBC.
		20. ALL EXHAUST FANS AS PER 9.32.3 OF THE OBC.	21. FLOOR DRAIN TO BE LOCATED NEAR UTILITIES. VERIFY LOCATION WITH BUILDER.

WINDOW & EXTERIOR DOOR HEADER TABLE

L1B -ENGINEERED LVL HEADER TO BE SIZED BY SUPPLIER FLUSH WITH RIM JOISTS

STEEL POST/CONCRETE PAD TABLE

F1/P1 MITEK ADJUSTABLE POST MODEL T2JPM90 ON 3'4"x3'4"x18" CONCRETE PAD

F2/P2 2-2x4 POST ON 20"x20"x8" THICK CONCRETE PAD. WRAP BOTTOM OF POST WITH BLUESKIN

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:



289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Requires a minimum of 3.2.4 of division C of the building code

Clint Excell
NAME

SIGNATURE
36446

BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of division C of the building code

Canadian Home Designs
NAME

37238
BCIN

JOB NUMBER:

BN837-23

PROJECT :

THE HALTON

GROSS FLOOR AREA

1825 SQ. FT.

LOCATION:

TITLE:

FOUNDATION PLAN

DATE :

AUG. 2023

PAGE:

3 6

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:

SMOKE ALARMS REQUIRE VISUAL SIGNALLING COMPONENT



289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Registered under 1990 in compliance with 3.2.3 of Division C of the building code

Clint Excell

NAME

SIGNATURE

36446

BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of Division C of the building code

Canadian Home Designs

NAME

37238

BCIN

JOB NUMBER:

BN837-23

PROJECT :

THE HALTON

GROSS FLOOR AREA

1825 SQ. FT.

LOCATION:

TITLE:

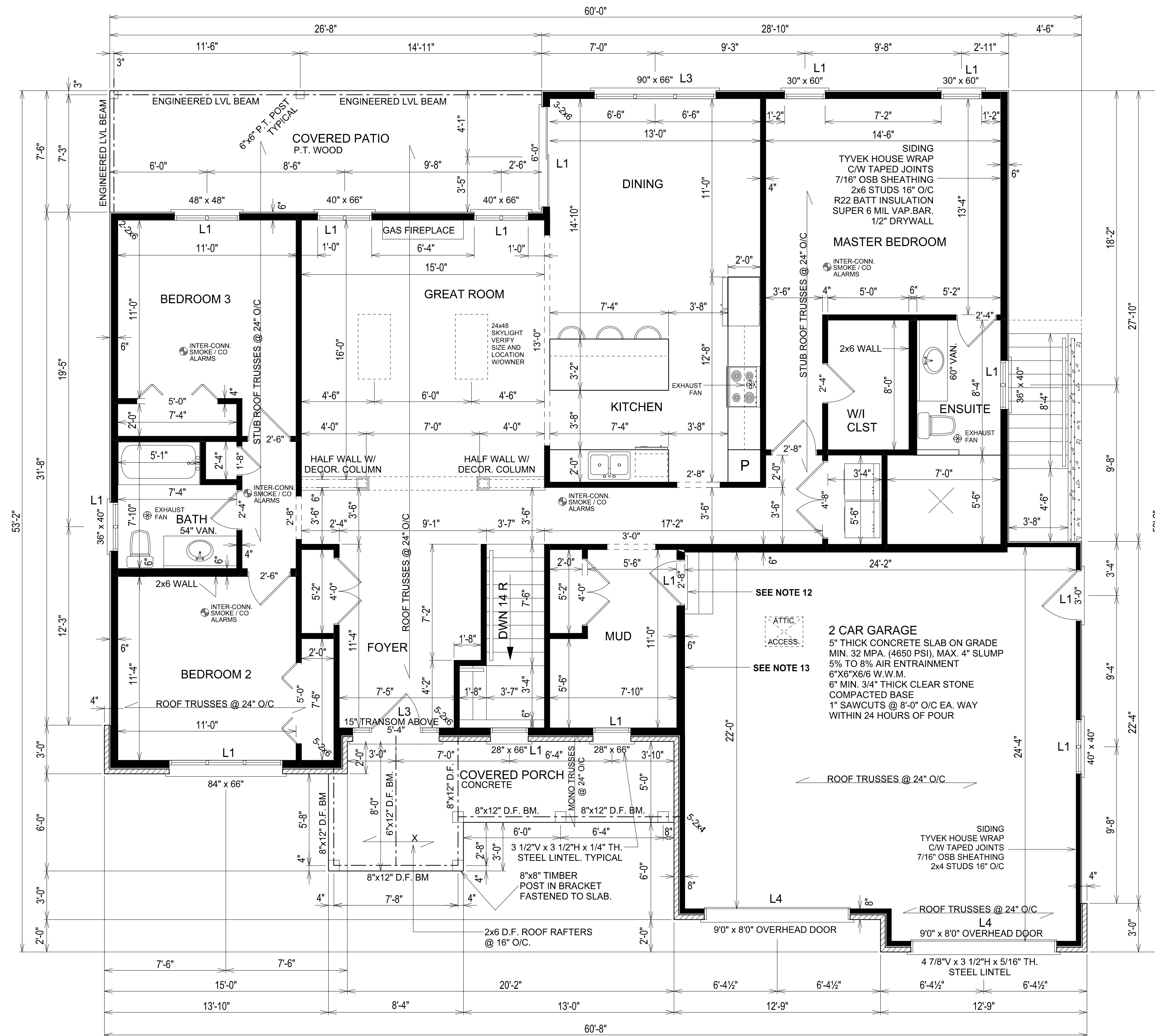
FLOOR PLAN

DATE :

AUG. 2023

PAGE:

4 **6**



FLOOR PLAN 1/4"=1'0"
GROSS FLOOR AREA : 1825 SQ.FT.

FLOOR PLAN NOTES:

- | | | | | | |
|---|---|---|---|---|---|
| 1. ALL STAIRS TO HAVE MINIMUM HORIZONTAL RUN OF 10", MINIMUM HORIZONTAL TREAD OF 11" AND MAXIMUM VERTICAL RISE OF 7 7/8". | 6. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED STEEL TELEPOSTS AND BEAMS, AND WOOD HEADERS, BEAMS, COLUMNS, AND WOOD TS. | 10. PLUMBING NOTE:
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR SHOWER UNITS (7.2.10.7)
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR ALL FAUCETS OR WATER HEATER SOURCE (7.6.5.1) | 12. ENTRANCE DOOR FROM GARAGE TO BE STEEL, INSULATED, C/W WEATHER-STRIPPING AND SELF CLOSING DEVICE AS PER 9.10.13.15. OF THE OBC | 15. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER 9.10.19.5. OF THE OBC. | 18. ALL ELECTRICAL TO CONFORM TO 9.34 OF THE OBC. |
| 2. STAIR WIDTHS AS PER 9.8.2.1. OF THE OBC. | 7. ALL BUILT UP BEAMS TO CONFORM TO 9.23.8.3 OF THE OBC. | 11. EXTERIOR DOORS TO BE STEEL, INSULATED, C/W WEATHER-STRIPPING AS PER 9.6.5. OF THE OBC. | 13. GAS SEAL GARAGE FROM HOUSE 1/2" DRYWALL MUD AND TAPED ON GARAGE SIDE | 16. CARBON MONOXIDE DETECTORS REQUIRED FOR FUEL APPLIANCES (OBC 9.33.4.2), AS WELL AS ADJACENT TO EACH SLEEPING AREA. | 19. ALL EXTERIOR CLADDING AND EXTERIOR FLASHING TO BE INSTALLED AS PER 9.27 OF THE OBC. |
| 3. STAIR LANDINGS AS PER 9.8.6. OF THE OBC. | 8. PROVIDE ICE AND WATER SHIELD AT VALLEYS AND LOW SLOPE ROOFS PROVIDE EAVE PROTECTION AS PER 9.26.5 OBC. | | 14. SMOKE ALARMS SHALL BE LOCATED AS PER 9.10.19.3. OF THE OBC. | 17. ALL CERAMIC & PLASTIC TILES INSTALLED ON WALLS AROUND BATHTUBS OR SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING AS PER 9.29.10.4 OF THE OBC. | 20. ALL EXHAUST FANS AS PER 9.32.3 OF THE OBC. |
| 4. HANDRAIL FOR INTERIOR STAIRS AS PER 9.8.7. OF THE OBC | 9. ALL COLUMNS SUPPORTING GIRDER TRUSS TO BE SAME WIDTH AS GIRDER TRUSS ABOVE | | | | 21. VERIFY EXACT LOCATION OF POSTS AND ENGINEERED LVL HEADERS WITH TRUSS PLANS PROVIDED BY TRUSS MANUFACTURER. TYPICAL ALL LOCATIONS. |
| 5. INTERIOR STAIR HEADROOM TO CONFORM TO 9.8.2.2 OF THE OBC | | | | | |

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:



289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required under 3.2.4 of division C of the building code

Clint Excell

NAME

SIGNATURE

36446

BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of division C of the building code

Canadian Home Designs

NAME

37238

BCIN

JOB NUMBER:

BN837-23

PROJECT :

THE HALTON

GROSS FLOOR AREA

1825 SQ. FT.

LOCATION:

TITLE:

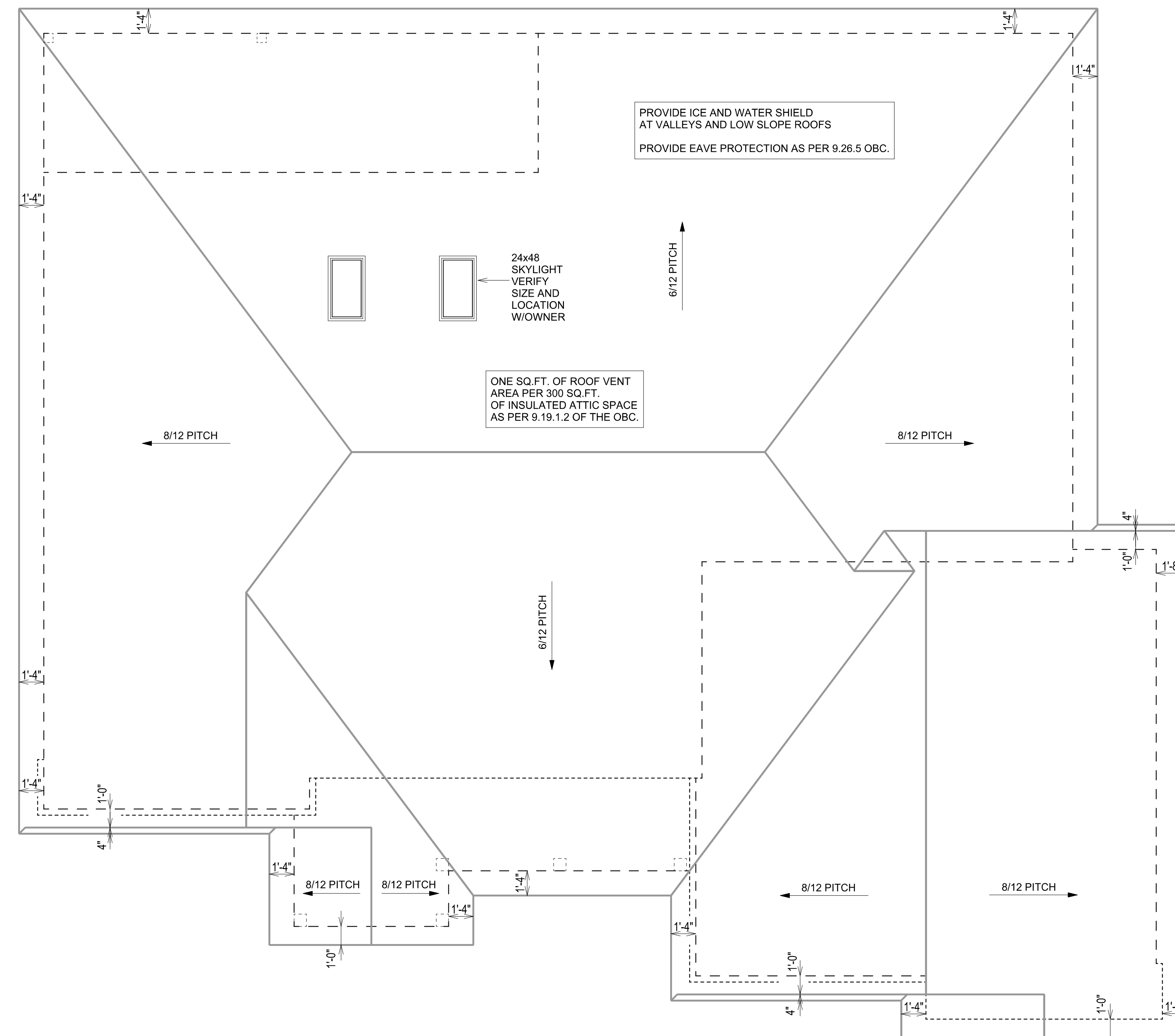
ROOF PLAN

DATE :

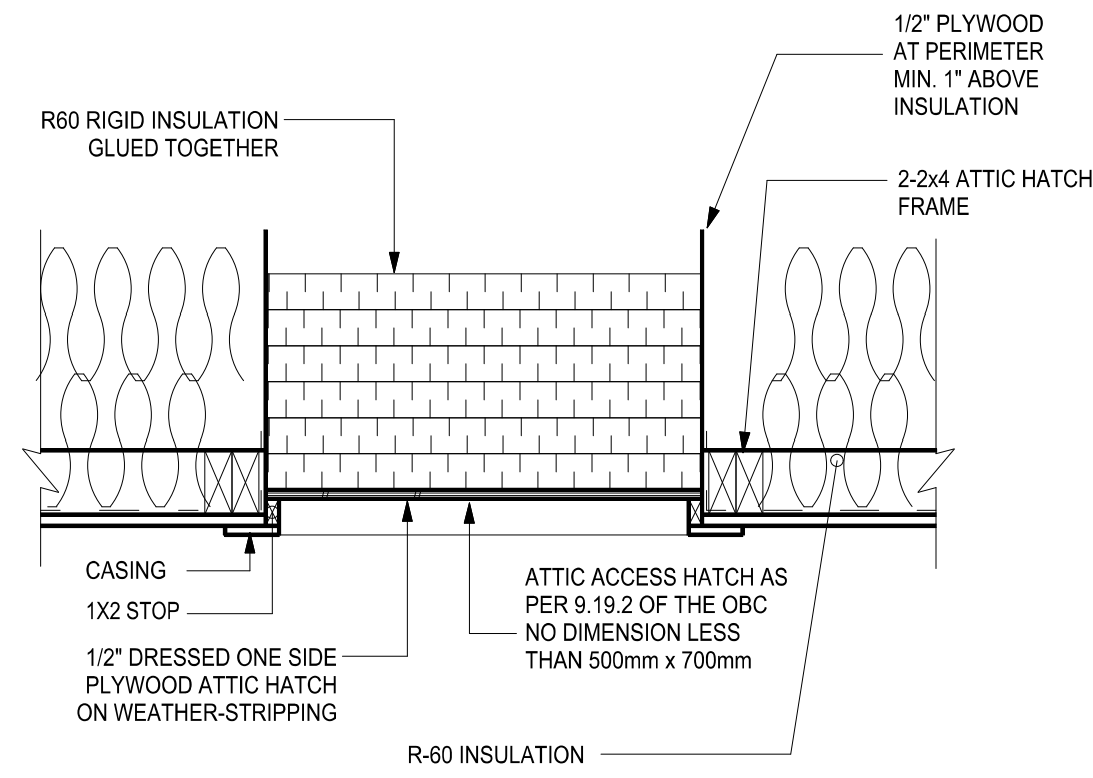
AUG. 2023

PAGE:

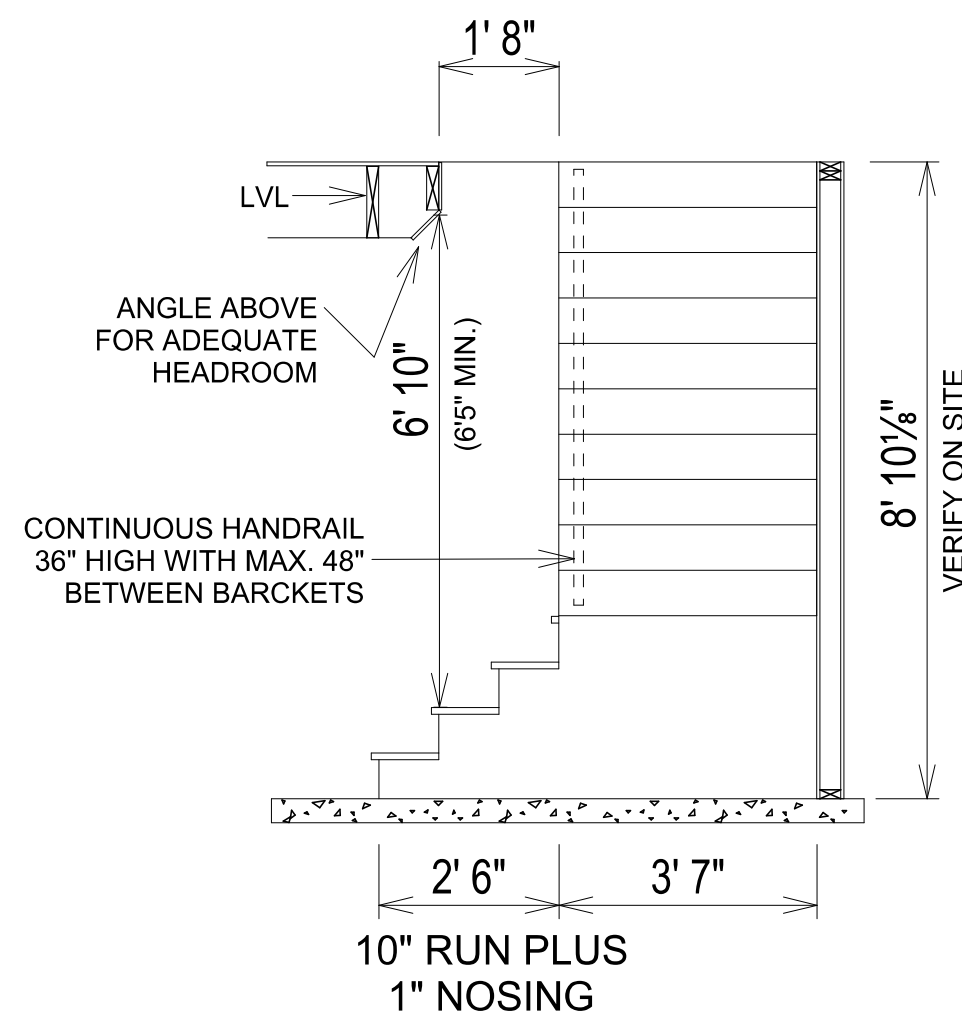
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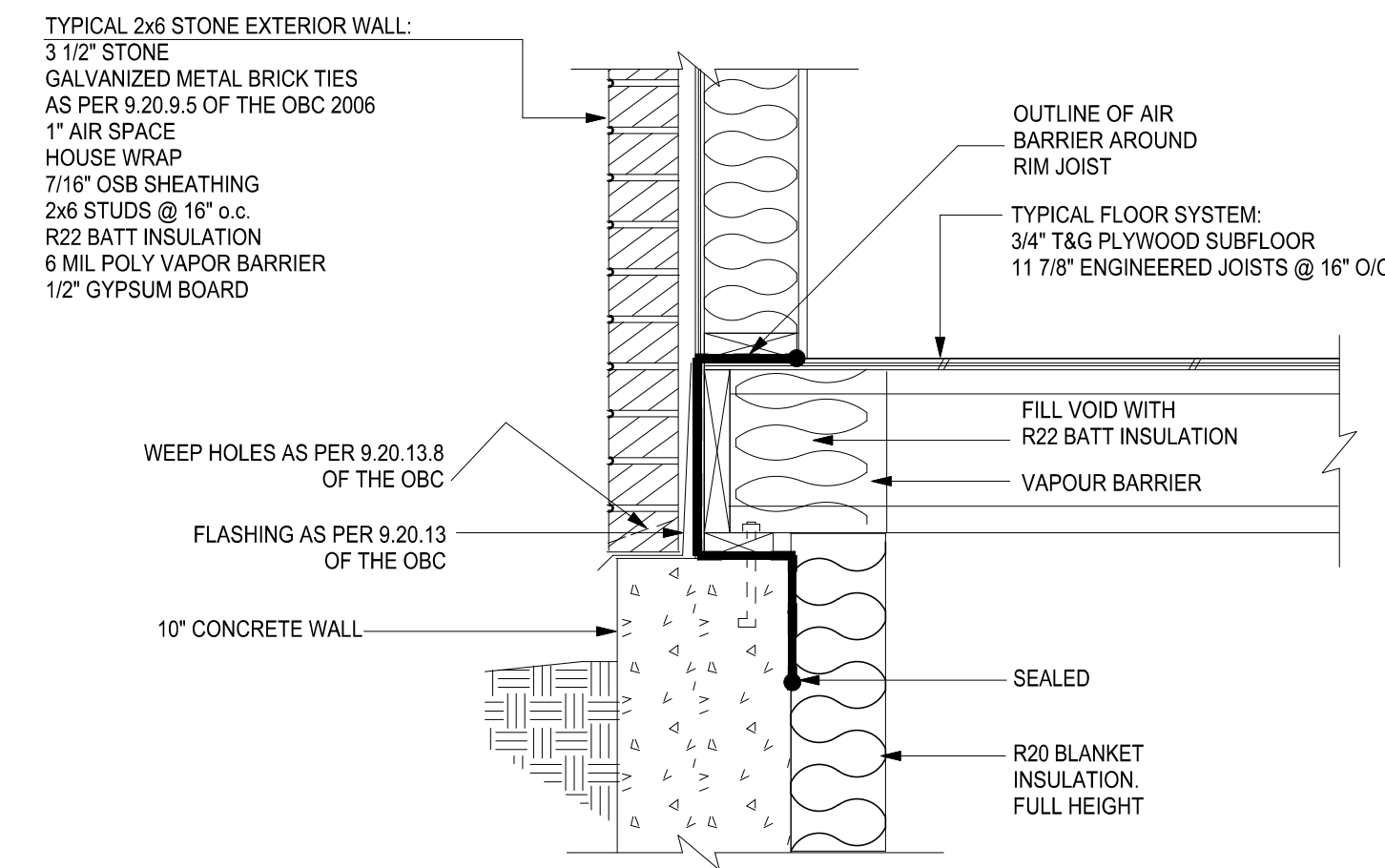
ROOF PLAN 1/4"=1'0"



ATTIC HATCH DETAIL N.T.S.



STAIR DETAIL 3/8"=1'0"



TYPICAL BRICK/STONE WALL AT FOUNDATION DETAIL N.T.S.

SB-12 ENERGY EFFICIENCY NOTES:

1. ALL CONSTRUCTION MUST MEET THE PERFORMANCE LEVEL THAT IS EQUAL TO A RATING OF 80 OR MORE AS PER SUPPLEMENTARY STANDARD SB-12 OF THE OBC.
2. THESE PLANS MUST CONFORM TO COMPLIANCE PACKAGE "A1" AS PER TABLE 3.1.1.2.A. OF SB-12 OF THE OBC.

GROSS WALL AREA = 2198 SQ.FT.
GROSS GLASS AREA = 347 SQ.FT.
% GLASS/WALL = 15.8%

CEILING WITH ATTIC SPACE MINIMUM R-VALUE = R60
CEILING WITHOUT ATTIC SPACE MINIMUM R-VALUE = R31
EXPOSED FLOOR MINIMUM R-VALUE = R31
WALLS ABOVE GRADE MINIMUM R-VALUE = R22
BASEMENT WALLS MINIMUM R-VALUE = R20ci (R12 + R10ci)

EDGE OF BELOW GRADE SLAB AND HEATED SLAB LESS THEN OR EQUAL TO 600mm BELOW GRADE MINIMUM R-VALUE = R10

WINDOWS AND SLIDING GLASS DOORS
MAXIMUM U-VALUE = 0.28
SKYLIGHTS MAXIMUM U-VALUE = 0.49
SPACE HEATING EQUIPMENT MINIMUM AFUE = 96%
HRV MINIMUM EFFICIENCY = 75%
DOMESTIC HOT WATER HEATER MINIMUM EF = 0.80

STANDARD NOTES:

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ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

NEVER SCALE BLUEPRINTS.

SPECIFIC NOTES:

289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Project name: design in context 2.2.2
of division C of the building code

NAME: Clint Excell

SIGNATURE: [Signature]
36446
BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.2
of division C of the building code

NAME: Canadian Home Designs
37238
BCIN

JOB NUMBER:

BN837-23

PROJECT :

THE HALTON

GROSS FLOOR AREA

1825 SQ. FT.

LOCATION:

TITLE:

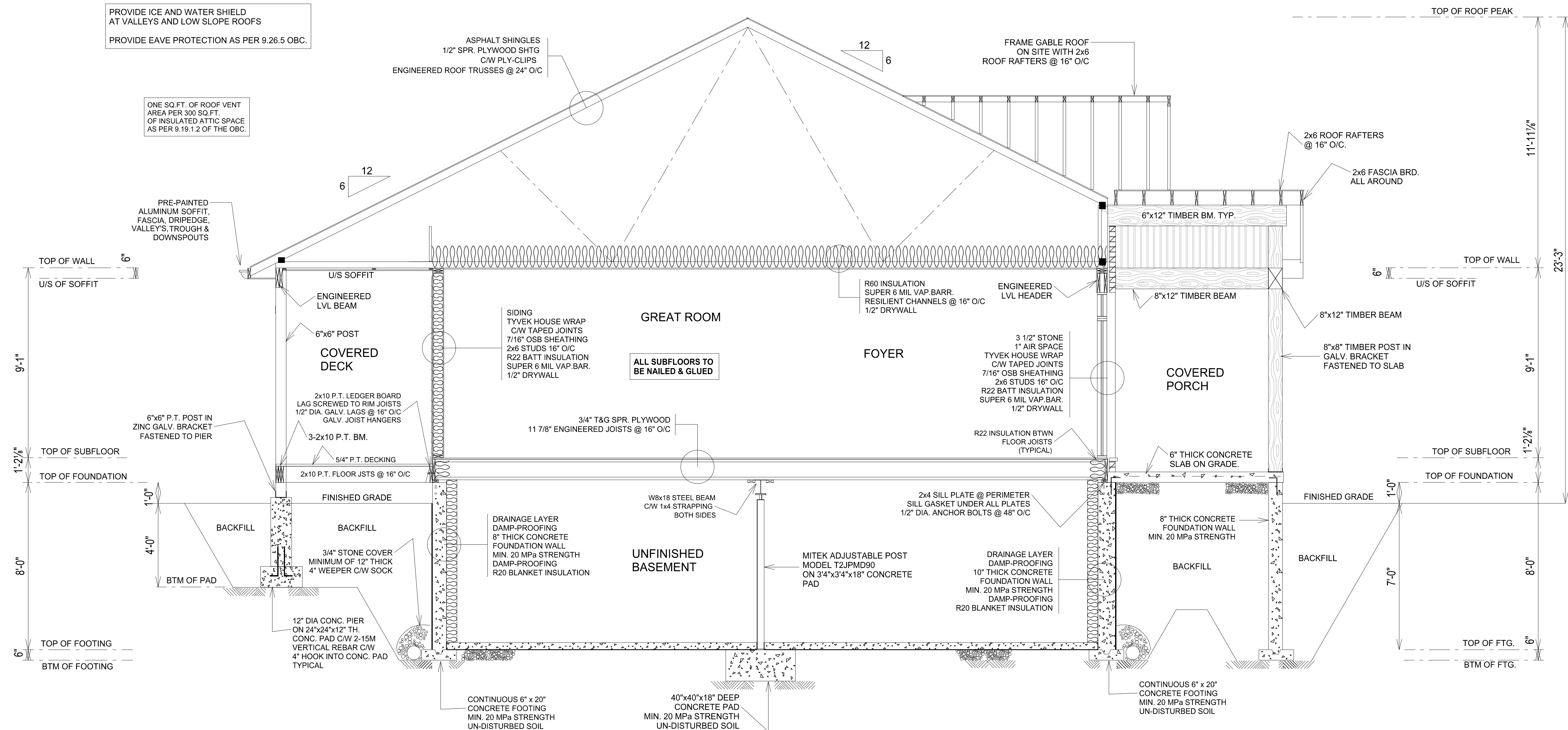
CROSS SECTION

DATE :

AUG. 2023

PAGE:

6 6



CROSS SECTION 3/8" = 1'0"

Attachment 2
A03-24 328 Pefferlaw Rd
Page 7 of 7

Site Photos

328 Pepperlaw Rd
Facing North



328 Pepperlaw Rd
Facing North



328 Pepperlaw Rd
Facing West



328 Pepperlaw Rd
Facing South



328 Pepperlaw Rd
Facing South



328 Pepperlaw Rd
Facing East



COMMENTS

To: Matthew Ka, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Lampietro, Manager, Development Engineering
Cory Repath, Sr. Development Inspector
Vikum Wegiriya, Jr. Development Technologist
Matthew DeLuca, Jr. Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: April 18th, 2024

Re: MINOR VARIANCE A03-24
328 Pefferlaw Rd
Concession 5 Pt Lot 22 RP 65R40441 Part 4
ROLL NO.: 054-500

The Development Engineering Division has no objection to Minor Variance Application No. A03-24, subject to the following **condition(s)** being fulfilled to the Engineering Development Division's satisfaction:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
 - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.

The Development Engineering Division has no objection to Minor Variance Application No. A03-24, subject to the following **comment(s)** being fulfilled to the Engineering Development Division's satisfaction:

1. It is understood by Development Engineering that Florence Drive will be deemed as the frontage for the new proposed single detached dwelling which will have the effect of enabling compliance with By-law 2023-0019 Being a By-law to regulate the maintenance and installation of entrances from highways under the jurisdiction of the Town of Georgina

LOT LINES FOR THE PROPOSED SINGLE DETACHED DWELLING

	REMAINED LAND 'B'
FRONTAGE	36.21M (PEFFERLAW RD)
DEPTH	54.24M (FLORENCE DR)
AREA	2,756.7 SQ.M

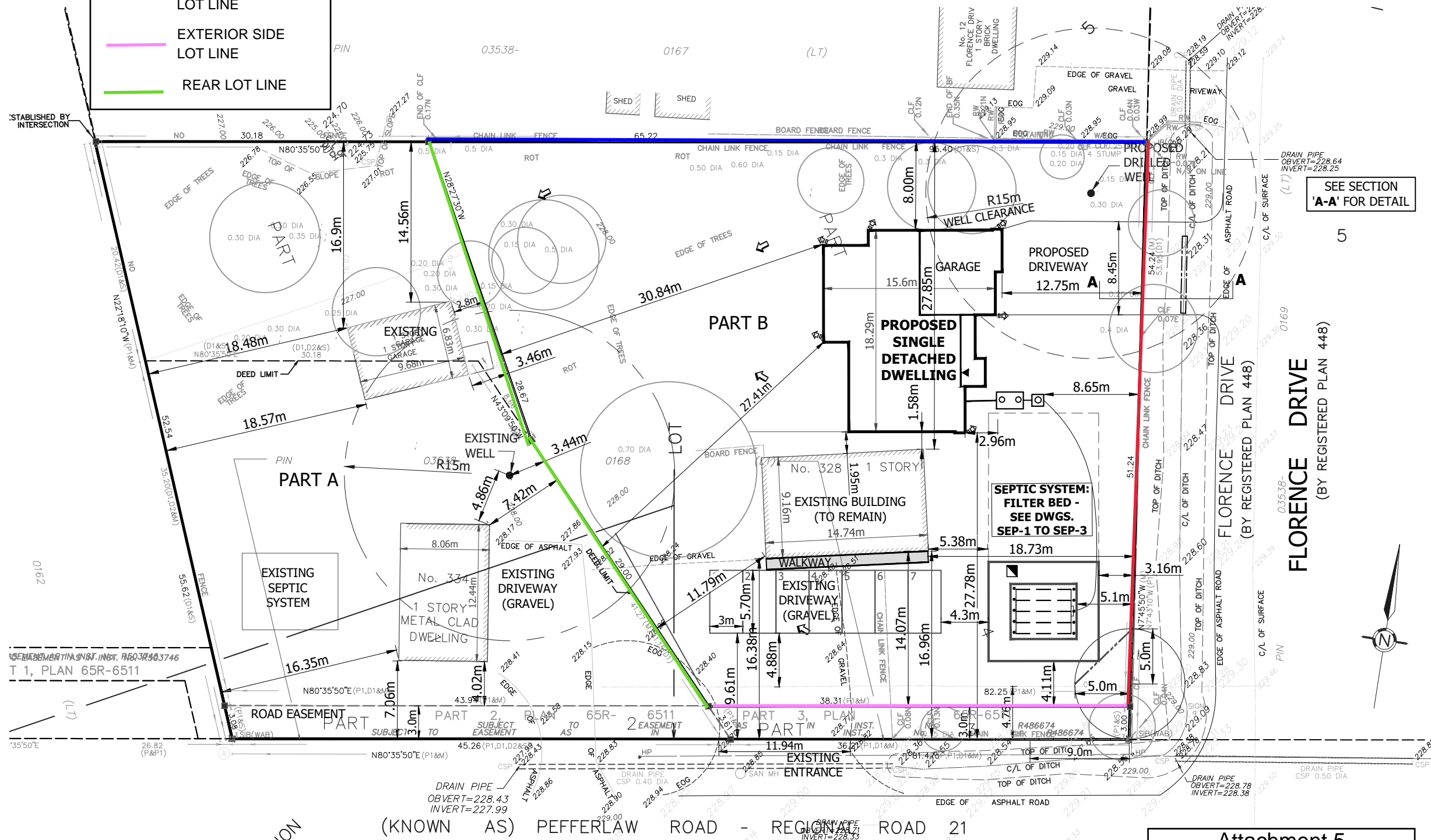
NOTE: SUBJECT LAND 'A' TO BE ADDED TO BENEFICIARY LAND 'C'

	REQUIRED	PROPOSED
LOT FRONTAGE (MIN)	30M	38.31M
FRONT YARD SETBACK (MIN)	12M	27.78M
EXTERIOR SIDE YARD SETBACK (MIN)	12M	12.75M
INTERIOR SIDE YARD SETBACK (MIN)	9M	27.41M
REAR YARD SETBACK (MIN)	8M	8M
LOT COVERAGE (MAX)	30%	13.73%
HEIGHT (MAX)	11M	11M

	PART A	PART B
LOT AREA:	1,792 sq.m	2,756.7 sq.m
EXISTING BLDGS:	105.3 sq.m	135.7 sq.m
PROPOSED BLDG:		242.7 sq.m
LOT COVERAGE:	5.9 %	13.73 %

LEGEND

- FRONT LOT LINE
- INTERIOR SIDE LOT LINE
- EXTERIOR SIDE LOT LINE
- REAR LOT LINE



LEGEND

- x 228.57 EXISTING ELEVATIONS
- x (228.60) SWALE ELEVATIONS
- 228.95 PROPOSED ELEVATIONS
- ⬇️ ROOF DOWNSPOUTS
- ➔ SWALE DIRECTIONS
- ➔ SURFACE DRAINAGE DIRECTIONS
- HP ● HYDRO POLE
- 🌳 EXISTING TREE
- TP ▣ TEST PIT



VANHEESWYK PROPERTY
PT LOT 22, CONC. 5
#328 PEFFERLAW ROAD
TOWN OF GEORGINA

SITE PLAN

BJH Engineering Ltd.
#25944 Woodbine Avenue,
Keswick, Ontario L4P 0L1
phone: 1.888.530.0699
email: bjhongconsulting@gmail.com
www.bjhengineering.ca

PROJECT NO.: **21-1508**
DRAWING NO.: **SP-2**
Date: FEB 2024
Scale: 1 : 400
Designed By: BH
Drawn By: BH

REFERENCE:
TOPOGRAPHIC SURVEY BY J.D. BARNES
AUG. 30, 2021

Attachment 5
A03-24 328 Pefferlaw Rd
Page 1 of 2

(REGIONAL ROAD 21)
PEFFERLAW ROAD

LOT LINES FOR THE EXISTING COMMERCIAL BUILDING

REMAINED LAND 'B'	
FRONTAGE	36.21M (PEFFERLAW RD)
DEPTH	54.24M (FLORENCE DR)
AREA	2,756.7 SQ.M

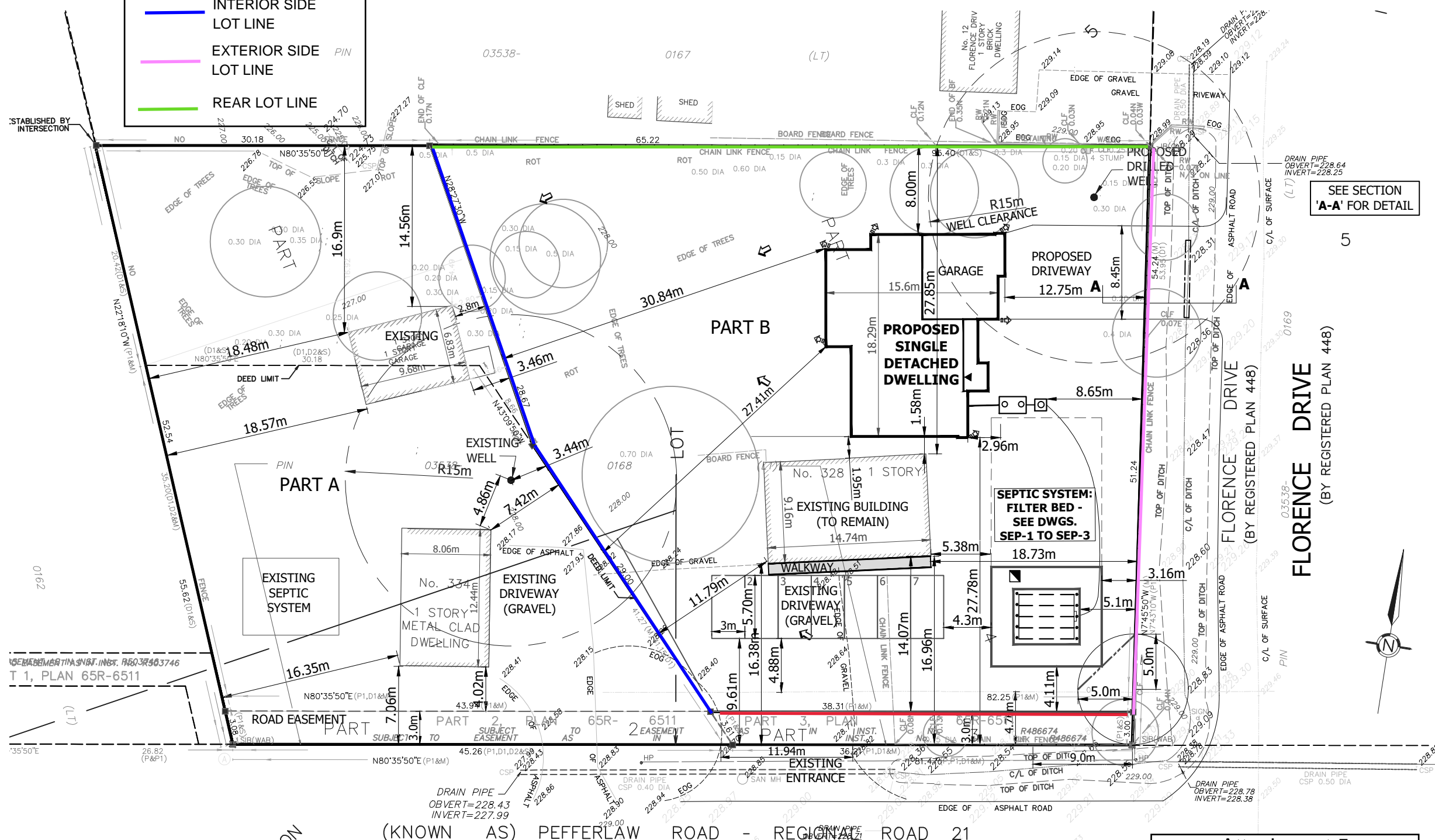
	REQUIRED	PROPOSED
LOT FRONTAGE (MIN)	30M	38.31M
FRONT YARD SETBACK (MIN)	12M	27.78M
EXTERIOR SIDE YARD SETBACK (MIN)	12M	12.75M
INTERIOR SIDE YARD SETBACK (MIN)	9M	27.41M
REAR YARD SETBACK (MIN)	8M	8M
LOT COVERAGE (MAX)	30%	13.73%
HEIGHT (MAX)	11M	11M

	PART A	PART B
LOT AREA:	1,792 sq.m	2,756.7 sq.m
EXISTING BLDGS:	105.3 sq.m	135.7 sq.m
PROPOSED BLDG:		242.7 sq.m
LOT COVERAGE:	5.9 %	13.73 %

NOTE: SUBJECT LAND 'A' TO BE ADDED TO BENEFICIARY LAND 'C'

LEGEND

- FRONT LOT LINE
- INTERIOR SIDE LOT LINE
- EXTERIOR SIDE LOT LINE
- REAR LOT LINE



LEGEND

- x 228.57 EXISTING ELEVATIONS
- x (228.60) SWALE ELEVATIONS
- 228.95 PROPOSED ELEVATIONS
- ⬇️ ROOF DOWNSPOUTS
- ➔ SWALE DIRECTIONS
- ➔ SURFACE DRAINAGE DIRECTIONS
- HP ● HYDRO POLE
- 🌳 EXISTING TREE
- TP ▣ TEST PIT



VANHEESWYK PROPERTY
 PT LOT 22, CONC. 5
 #328 PEFFERLAW ROAD
 TOWN OF GEORGINA

SITE PLAN

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PROJECT NO.: **21-1508**
 DRAWING NO.: **SP-2**
 Date: FEB 2024
 Scale: 1 : 400
 Designed By: BH
 Drawn By: BH

REFERENCE:
 TOPOGRAPHIC SURVEY BY J.D. BARNES
 AUG. 30, 2021

Attachment 5
 A03-24 328 Pefferlaw Rd
 Page 2 of 2

(KNOWN AS) PEFFERLAW ROAD - REGIONAL ROAD 21
 PEFFERLAW ROAD