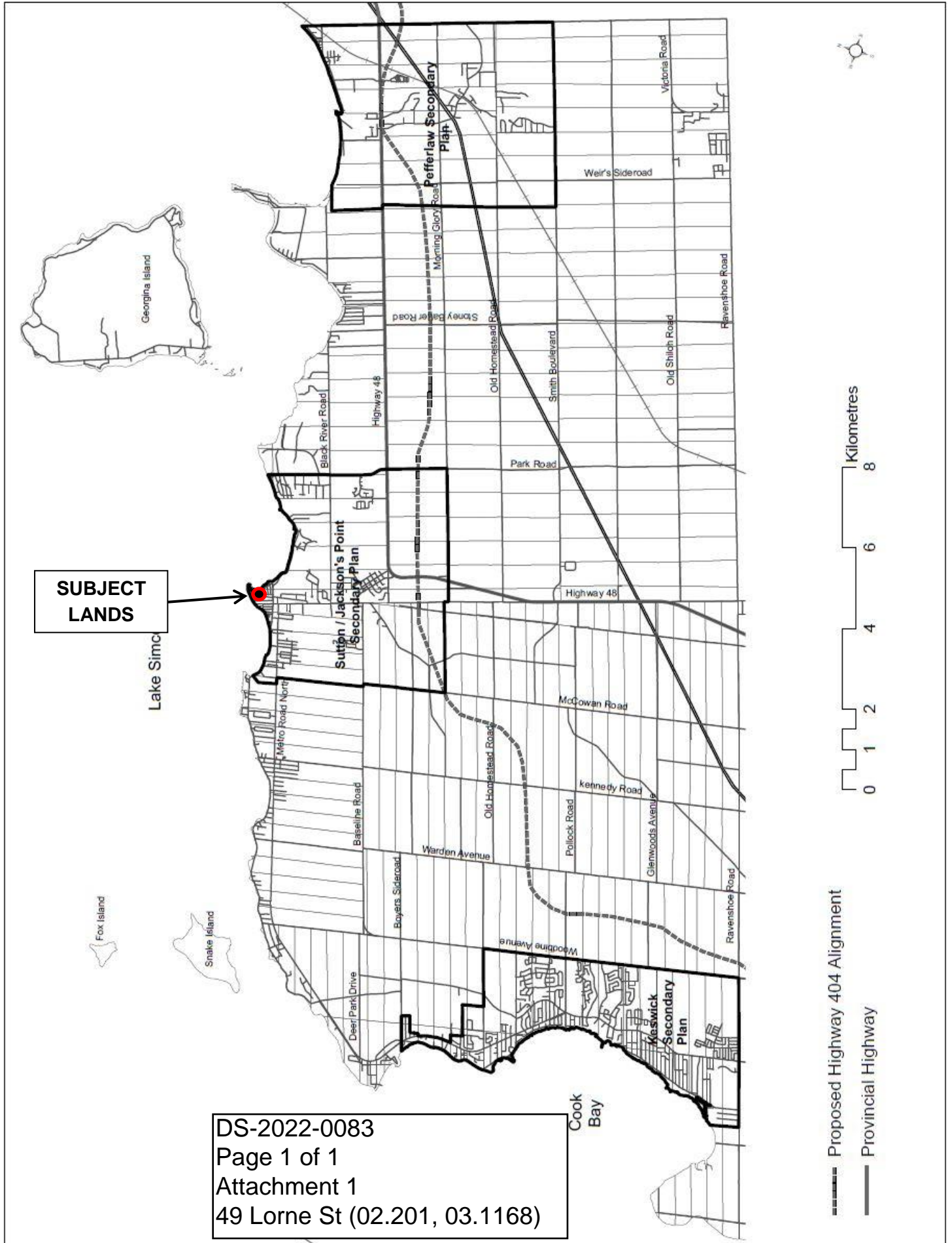
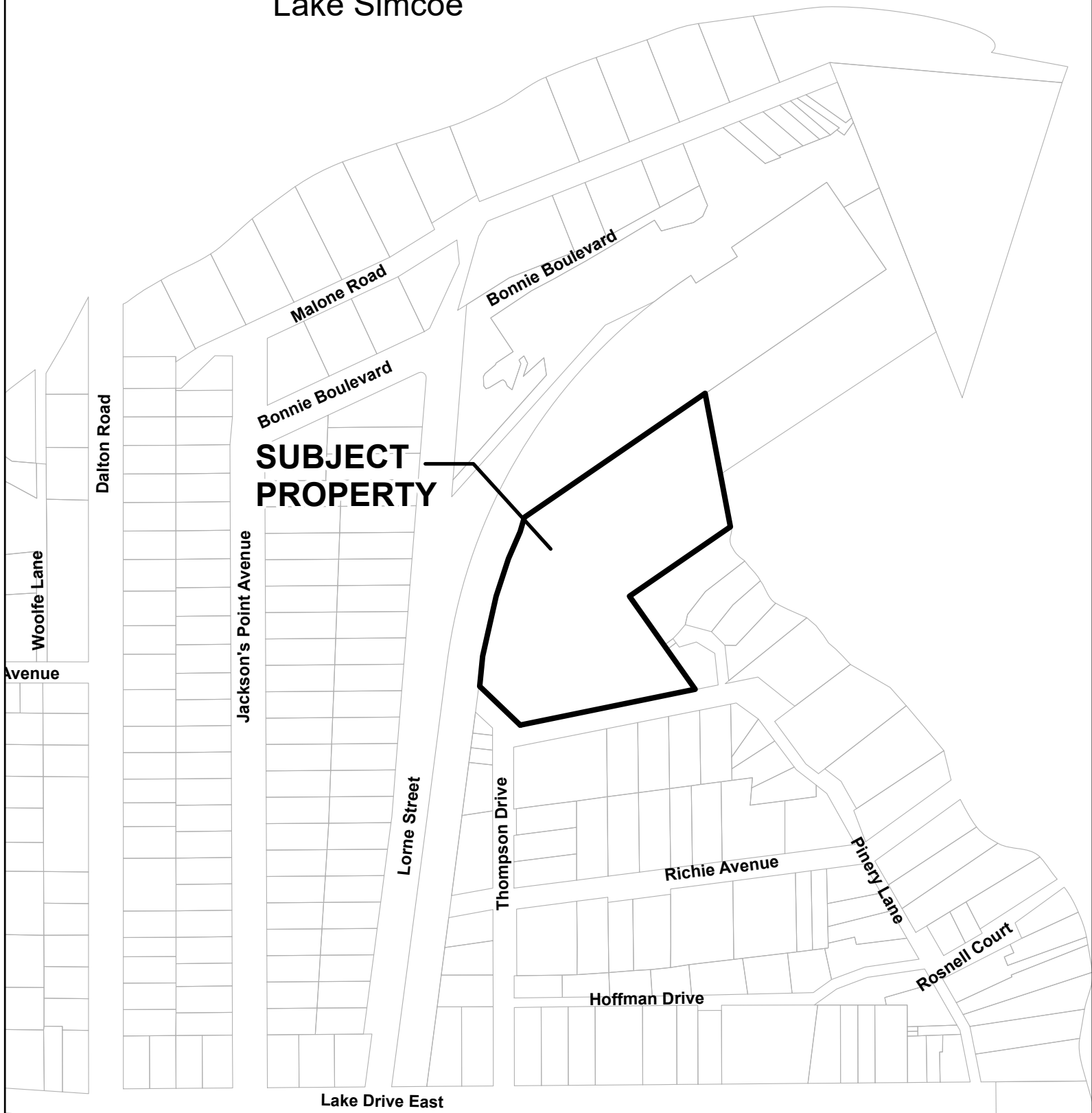


# CONTEXT MAP



Lake Simcoe



**SUBJECT  
PROPERTY**

0 15 30 60

DS-2022-0083  
Page 1 of 1  
Attachment 2  
49 Lorne St (02.201, 03.1168)



Lake Simcoe

**SUBJECT  
PROPERTY**

DS-2022-0083  
Page 1 of 1  
Attachment 3  
49 Lorne St (02.201, 03.1168)



# SITE PHOTOS

Photographs taken August 2, 2022.



View of the Subject Property. View from Lorne Street looking northeast.



[Left] View of the Subject Property. View from Thompson Drive looking northwest; [Right] View of Thompson Drive frontage, looking south east.



View of the existing north wing of the hotel.

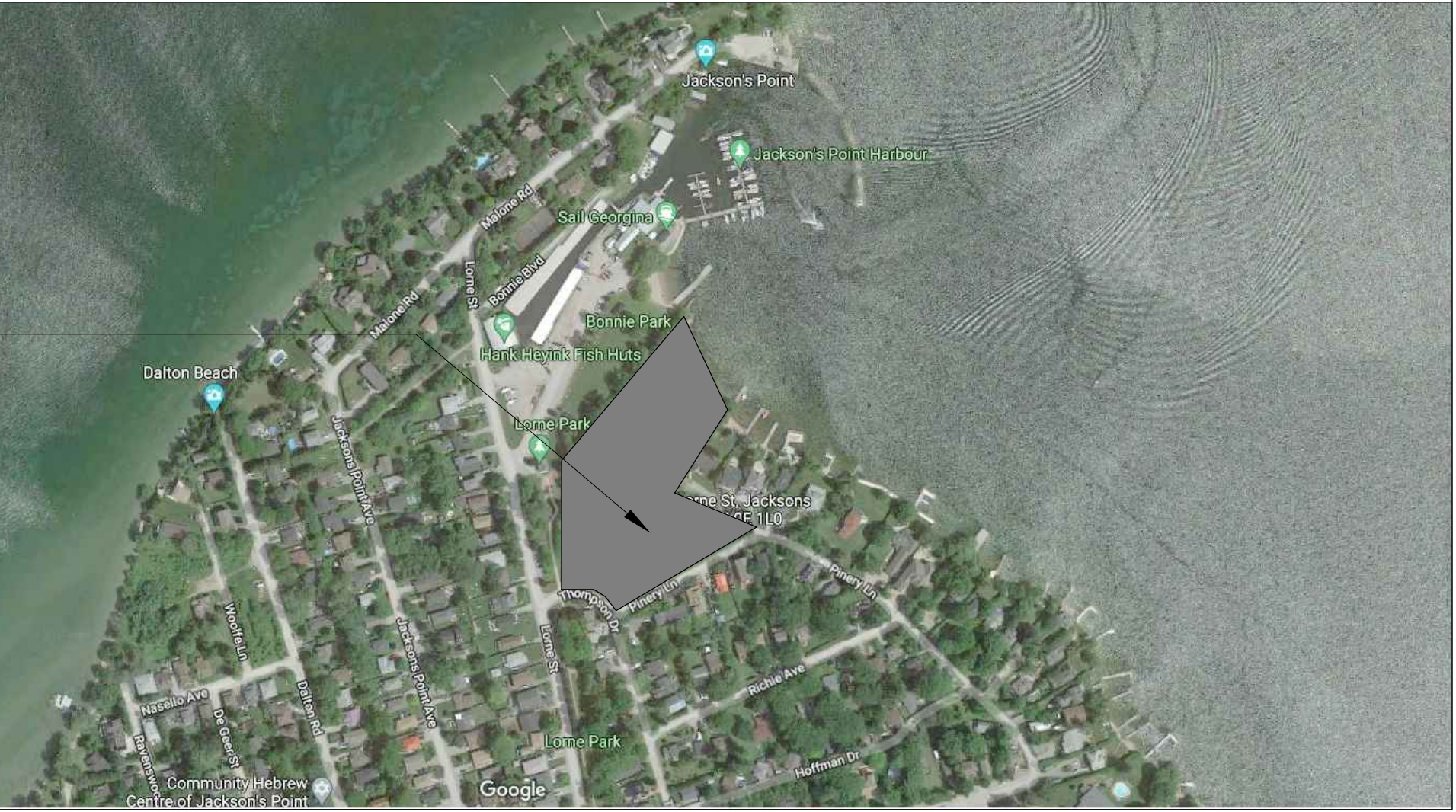


[Left] View from the Subject Property towards Lorne Street, looking west; [Right] View of the waterfront from the Subject Property, looking north.

LIST OF ARCHITECTURAL DRAWINGS	
	COVER SHEET + KEY PLAN + LIST OF DRAWINGS
	SURVEY PLAN
A100	EXISTING SITE PICTURES
A101	SITE PLAN (HOTEL & CONDOMINIUM)
A102	BLOW UP - SITE PLAN & SITE STATISTICS
A103	O.B.C. MATRIX
A200	BASEMENT AND FIRST FLOOR FLOOR PLANS
A201	SECOND FLOOR AND THIRD FLOOR PLANS
A202	FOURTH FLOOR AND TERRACE PLANS
A300	ELEVATIONS
A301	ELEVATIONS
A302	SECTIONS
A303	CONCEPTUAL 3D

PROPOSED 4 STOREY RESIDENTIAL CONDO  
DEVELOPMENT AT 49 LORNE STREET,  
TOWN OF GEORGINA, ON

KEY PLAN



PROPOSED 4 STOREY RESIDENTIAL CONDO DEVELOPMENT  
AT 49 LORNE STREET, TOWN OF GEORGINA, ON



ENTRY TO THE SITE



PICTURE OF WOODEN DECK





PICTURE OF NORTHERN BLOCK AND MAIN BLOCK

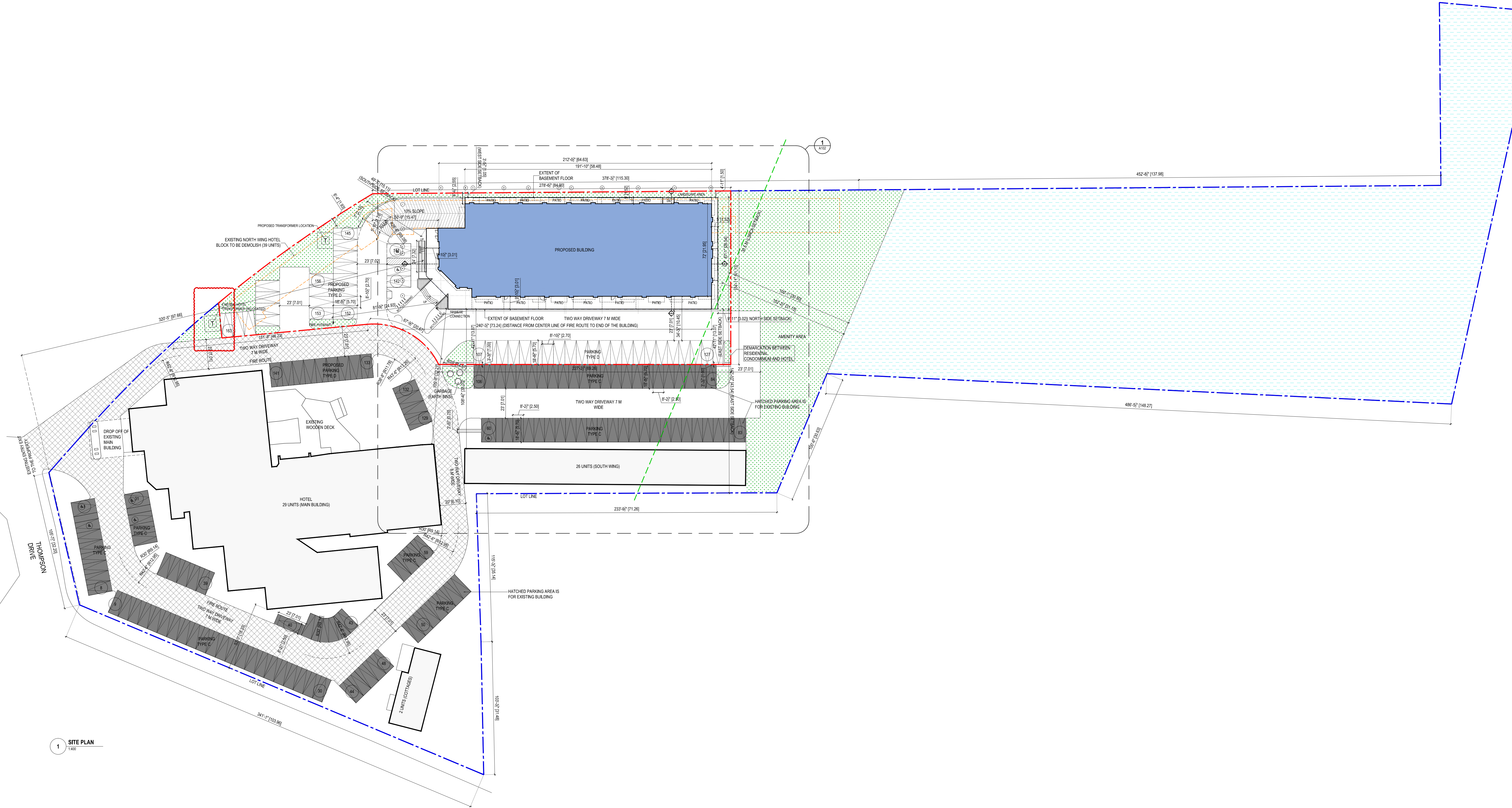


PICTURE OF SOUTH BLOCK AND MAIN BLOCK



PICTURE OF WOODEN DECK

LEAD CONSULTANT :		STRUCTURE ENGINEER :		MECHANICAL ENGINEER :		PROJECT NAME AND ADDRESS :					DRAWN BY	CHECKED BY	APPROVED BY	
<div><div>Unit 214 - 2550 Matheson Blvd E, Mississauga, ON, L4W 4Z1 E-mail: hbhons@technoarch.ca</div><div>Tel : +1-905-792-0038 Cell : +1-416-729-9454 www.technoarch.ca</div></div> <div></div>				DS-2022-0083 Page 2 of 11 Attachment 5 49 Lorne St (02.201, 03.1168)		PROPOSED 4 STOREY RESIDENTIAL CONDO DEVELOPMENT AT 49 LORNE STREET, TOWN OF GEORGINA, ON					JS	HK	HB	
											SCALE:	SIZE	ISSUED DATE	
											N.T.S	A1	2022-01-14	
				DRAWING TITLE :				00	SITE PLAN APPLICATION	2022-01-14	SHEET NO. A100	STAGE: SITE PLAN APPLICATION	PHASE	REV
				EXISTING SITE PHOTOS				REV	ISSUED FOR	DATE				



1 SITE PLAN  
1:400

LEAD CONSULTANT :



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Cell : +1-416-729-9454  
E-mail: hbhons@technoarch.ca www.technoarch.ca



STRUCTURE ENGINEER :

MECHANICAL ENGINEER :

DS-2022-0083  
Page 3 of 11  
Attachment 5  
49 Lorne St (02.201, 03.1168)

PROJECT NAME AND ADDRESS :

PROPOSED 4 STOREY RESIDENTIAL CONDO  
DEVELOPMENT AT 49 LORNE STREET, TOWN OF  
GEORGINA, ON

DRAWING TITLE :

SITE PLAN (HOTEL AND CONDOMINIUM)

00

SITE PLAN APPLICATION

2022-01-14

DRAWN BY  
JS

CHECKED BY  
HK

APPROVED BY  
HB

SCALE:  
1:400

SIZE  
A1

ISSUED DATE  
2022-01-14

SHEET NO.  
A101

STAGE:  
SITE PLAN  
APPLICATION

PHASE  
00

REV  
00

SITE STATISTICS (RESIDENTIAL CONDOMINIUM)	
EXISTING ZONE	C5 (TOURIST COMMERCIAL)
PROPOSED USE	CONDOMINIUM DEVELOPMENT
LOT FRONTAGE	0 M
LOT AREA (LAND ONLY)	0.4093 ha 44,062.60 SQ FT
BUILDING AREA	
PROPOSED CONDOMINIUM APARTMENT BUILDING	1,711.56 SQMT (18,416.44 SQ FT)

GROUND COVERAGE	
	COVERAGE %
PROPOSED CONDOMINIUM APARTMENT BUILDING	41.80%

PROPOSED BUILDING DATA (RESIDENTIAL CONDOMINIUM)	
PROPOSED SETBACKS	
NORTH SIDE SETBACK	3.02 M
SOUTH SIDE SETBACK	15.11 M
EAST SIDE SETBACK	13.07 M
WEST SIDE SETBACK	1.05 M
GROSS FLOOR AREA	
FIRST FLOOR	14,694.88 SQ FT
SECOND FLOOR	14,764.44 SQ FT
THIRD FLOOR	14,764.44 SQ FT
FOURTH FLOOR	14,764.44 SQ FT
TOTAL	58,988.20 SQ FT (5,480.17 SQ MT)
FLOOR SPACE INDEX OF PROPOSED BUILDING	
TOTAL GROSS FLOOR AREA	= 58,988.20 SQ FT
LOT AREA	44,062.60 SQ FT
	= 1.34
HEIGHT OF THE PROPOSED BUILDING	15.21 M
NO. OF STOREYS	4 STOREY + P1 PARKING LEVEL

PROJECTED NORTH

TRUE NORTH

STANDARD PARKING SIZE

2.50

2.70

5.70

5.70

TYPE C

TYPE D

ACCESSIBLE PARKING SIZE

3.43

1.5

2.70

5.70

TYPE A

TYPE B

LEGEND

FIRE ROUTE

PROPOSED BUILDING

EXISTING BUILDING

LOT BOUNDARY

LOT BOUNDARY (RESIDENTIAL CONDOMINIUM)

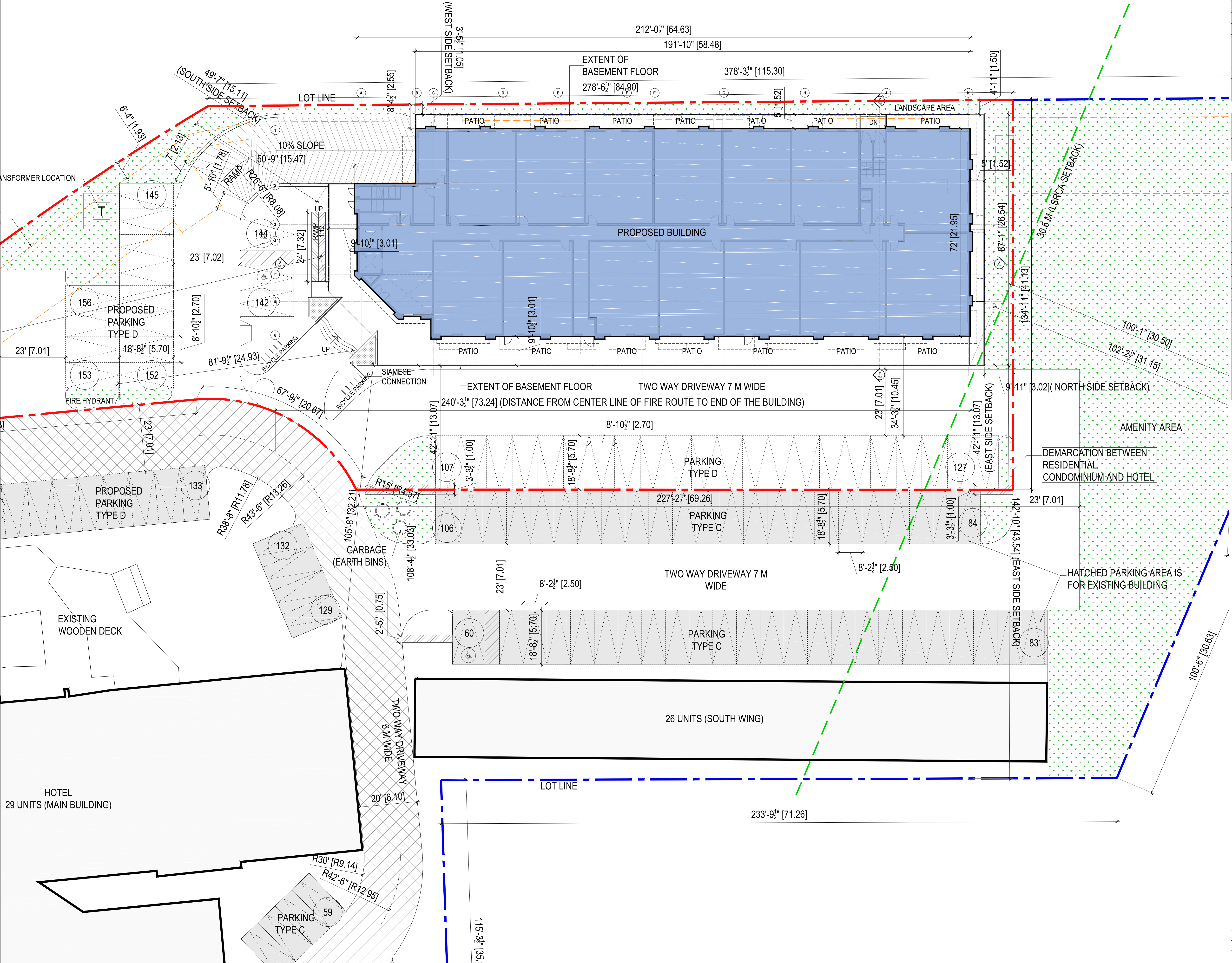
SETBACK LINE 30.0 MT

EXISTING HOTEL UNITS TO BE DEMOLISHED		39 UNITS			
PROPOSED NUMBER OF UNITS					
FLOOR NAME	TOTAL NO. OF UNITS	1B/ 1B+D	2B	2B+D	
FIRST FLOOR	14	11	1	2	
SECOND FLOOR	16	14	-	2	
THIRD FLOOR	16	13	1	2	
FOURTH FLOOR	16	13	1	2	
TOTAL	62	51	3	8	

PARKING REQUIREMENTS CHART				REQUIRED	PROPOSED
EXISTING HOTEL UNITS	29 UNITS (MAIN BUILDING)	57 UNITS			119 EXISTING PARKING SPACES (INCLUDING FIVE ACCESSIBLE SPACES)
PARKING FACTOR:	26 UNITS (SOUTH BUILDING)				
1ST 20 HOTEL UNITS (1 PER RENTAL UNIT)	2 UNITS (COTTAGES)				
SUBSEQUENT HOTEL UNITS (1 PER 2 HOTEL UNITS)					
EXISTING NON-RESIDENTIAL FLOOR AREA (MAIN BUILDING)	763m <sup>2</sup> (14,919ft <sup>2</sup> )	80			97 (INCLUDING TWO ACCESSIBLE SPACES)
PARKING FACTOR: 10 PER 95m <sup>2</sup>					
PROPOSED CONDOMINIUM APARTMENT UNITS (1.75 SPACES PER UNIT) (2 SPACES PER UNIT SERVICED BY TANDEM PARKING)	62 UNITS FOR 16 UNITS = 16 TANDEM SPACES (32 SPACES) FOR REMAINING 46 UNITS = 46 X 1.75 = 80.5 = 81 SPACES	113			
TOTAL		232			216

BASEMENT PARKING	53 SPACES (INCLUDING 16 TANDEM SPACES)
SURFACE PARKING	163 SPACES

DENSITY CALCULATION NEW RESIDENTIAL DEVELOPMENT	
CONDOMINIUM AREA	0.4093 ha
NUMBER OF UNITS	62
DENSITY	151.48 UNITS/HA



LEAD CONSULTANT :

Unit 214 - 2550 Matheson Blvd E,  
Mississauga, ON, L4W 4Z1  
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Cell : +1-416-729-9454  
www.technoarch.ca

STRUCTURE ENGINEER :

MECHANICAL ENGINEER :

DS-2022-0083

Page 4 of 11

Attachment 5

49 Lorne St (02.201, 03.1168)

PROJECT NAME AND ADDRESS :

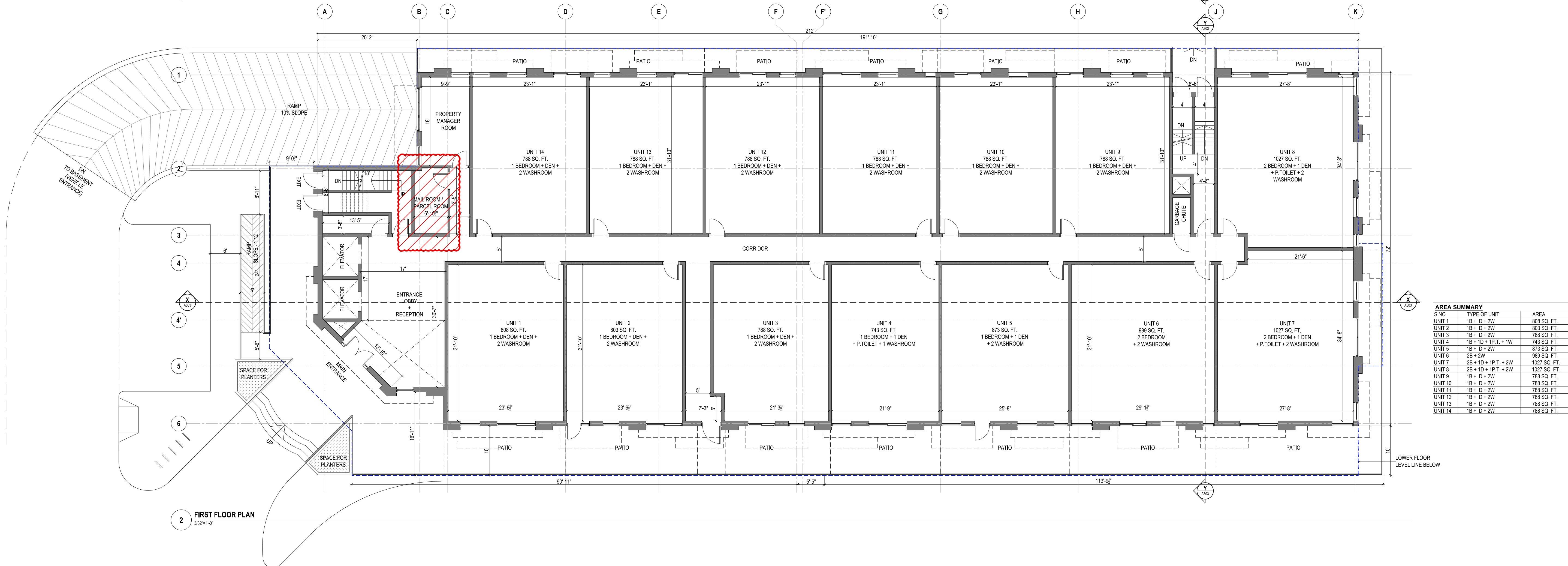
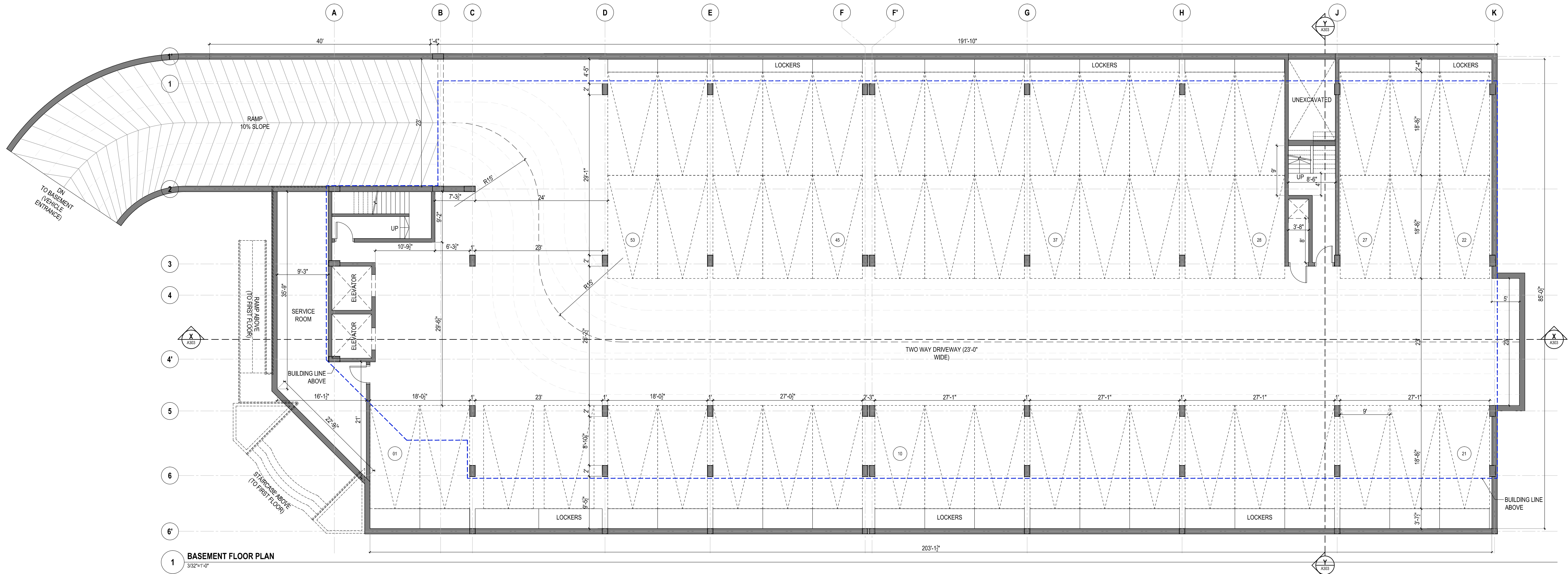
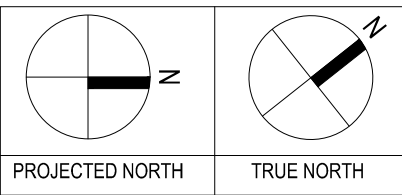
PROPOSED 4 STOREY RESIDENTIAL CONDO DEVELOPMENT AT 49 LORNE STREET, TOWN OF GEORGINA, ON

DRAWING TITLE :

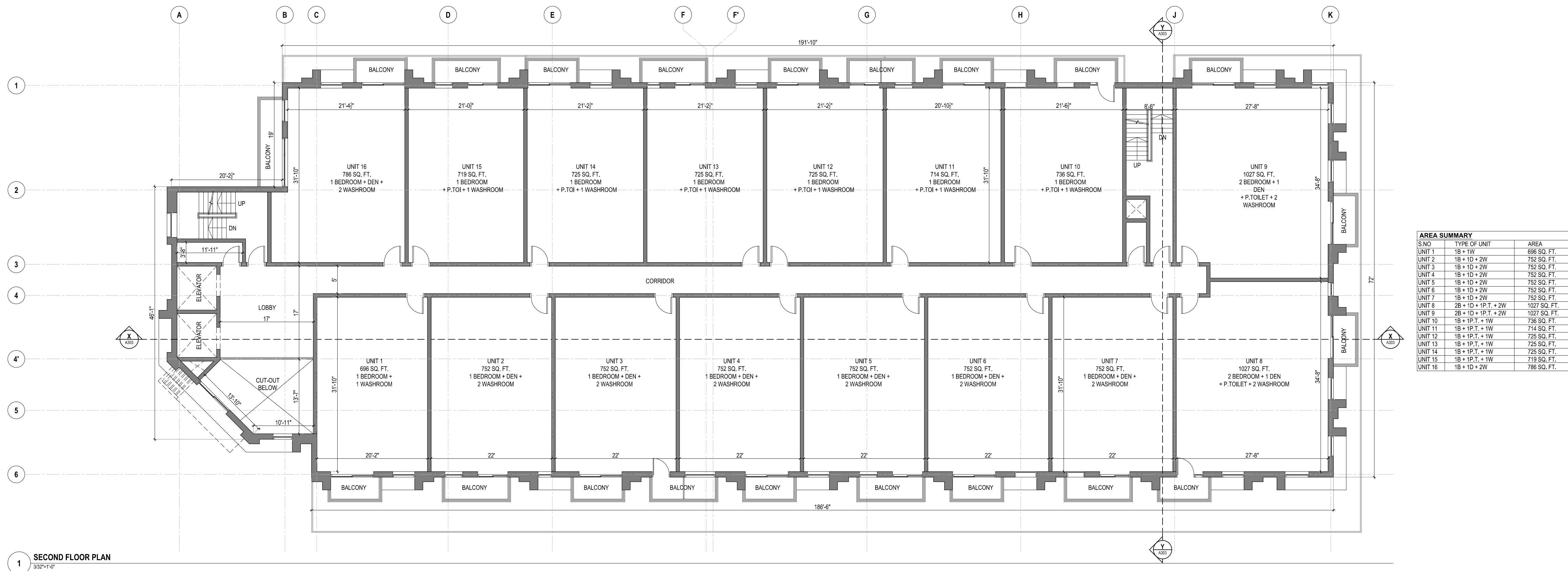
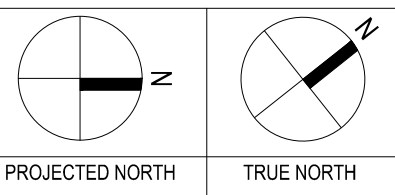
BLOW UP - SITE PLAN & SITE STATISTICS

DRAWN BY	JS	CHECKED BY	HK	APPROVED BY	HB
SCALE:	1/16"=1'-0"	SIZE	A1	ISSUED DATE	2022-02-24
SHEET NO.	A102	STAGE:	REVIEW	PHASE	00
				REV	00

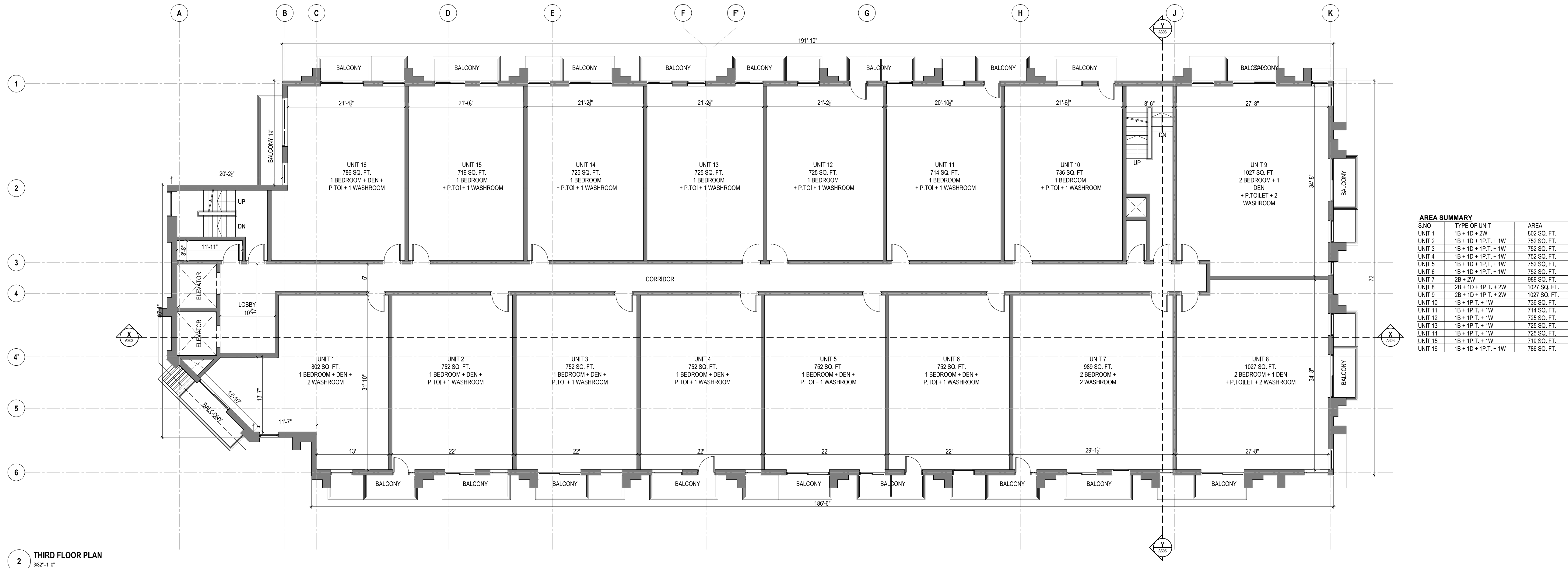




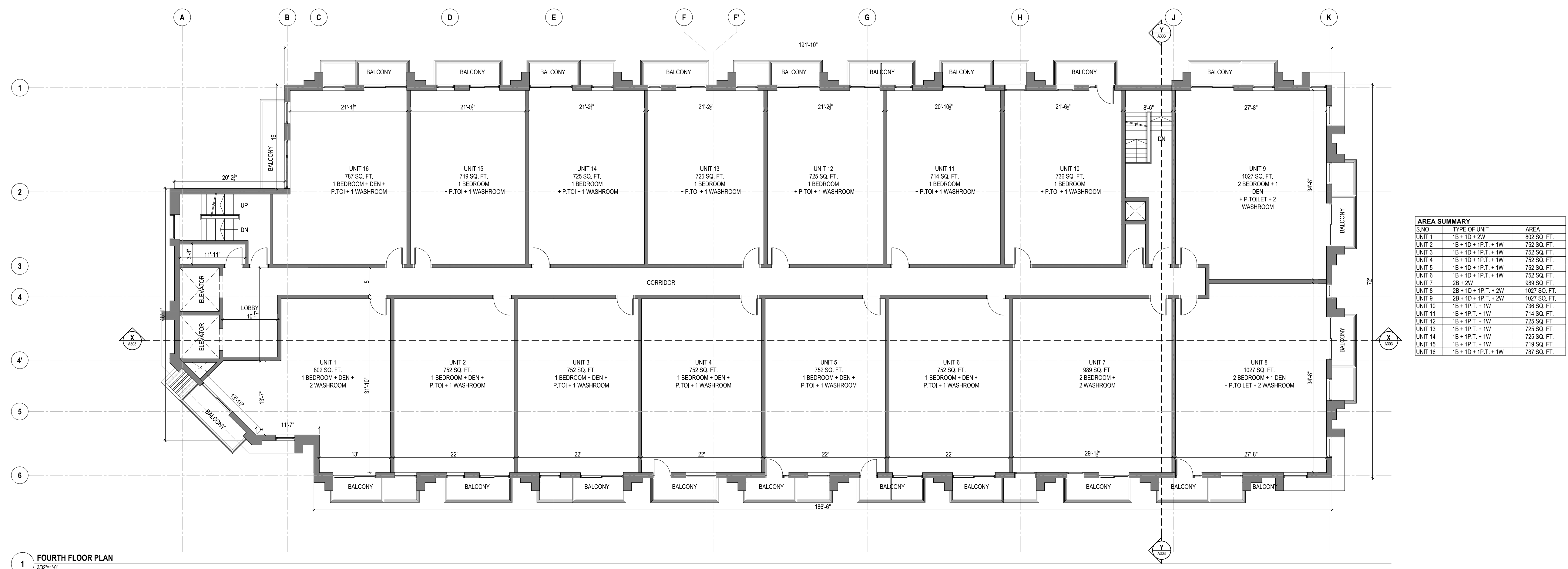
AREA SUMMARY		
S.NO	TYPE OF UNIT	AREA
UNIT 1	1B + D + 2W	888 SQ. FT.
UNIT 2	1B + D + 2W	803 SQ. FT.
UNIT 3	1B + D + 2W	788 SQ. FT.
UNIT 4	1B + 1D + 1P.T. + 1W	743 SQ. FT.
UNIT 5	1B + D + 2W	873 SQ. FT.
UNIT 6	2B + 2W	989 SQ. FT.
UNIT 7	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
UNIT 8	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
UNIT 9	1B + D + 2W	788 SQ. FT.
UNIT 10	1B + D + 2W	788 SQ. FT.
UNIT 11	1B + D + 2W	788 SQ. FT.
UNIT 12	1B + D + 2W	788 SQ. FT.
UNIT 13	1B + D + 2W	788 SQ. FT.
UNIT 14	1B + D + 2W	788 SQ. FT.



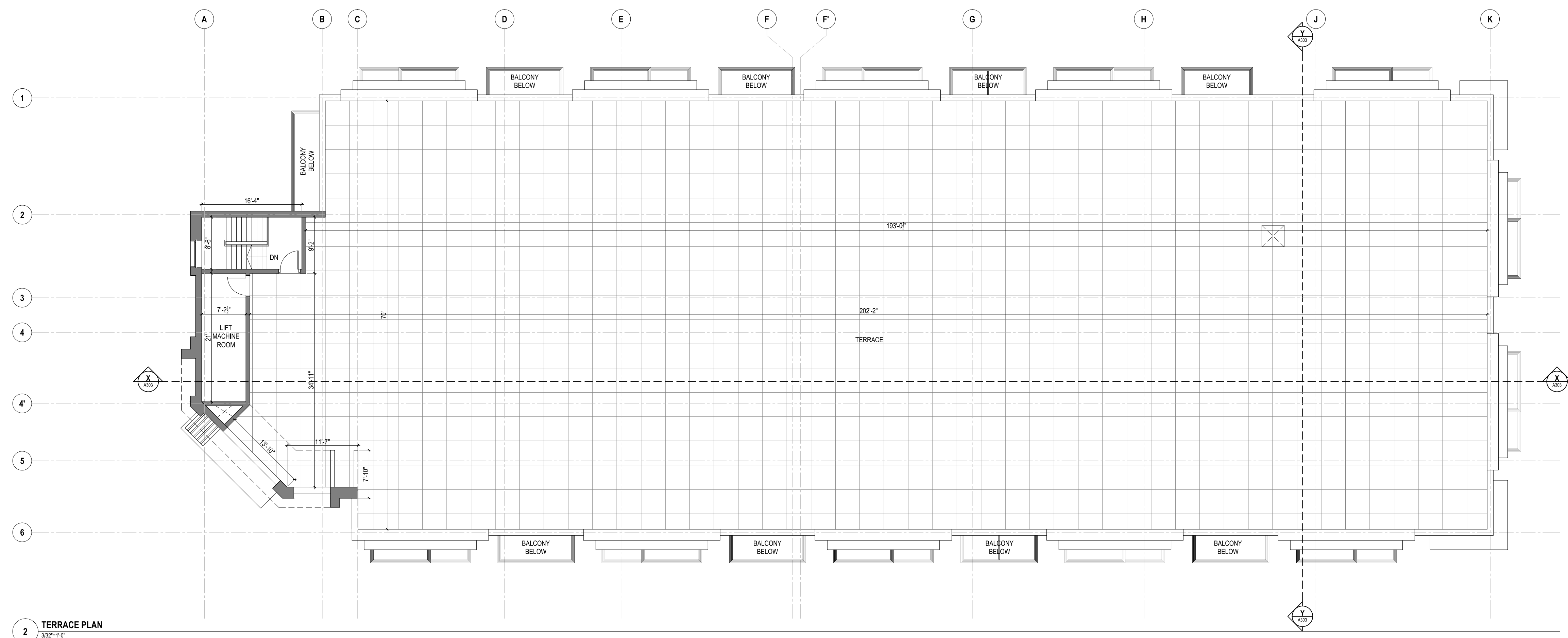
AREA SUMMARY		
S.NO	TYPE OF UNIT	AREA
UNIT 1	1B + 1W	696 SQ. FT.
UNIT 2	1B + 1D + 2W	752 SQ. FT.
UNIT 3	1B + 1D + 2W	752 SQ. FT.
UNIT 4	1B + 1D + 2W	752 SQ. FT.
UNIT 5	1B + 1D + 2W	752 SQ. FT.
UNIT 6	1B + 1D + 2W	752 SQ. FT.
UNIT 7	1B + 1D + 2W	752 SQ. FT.
UNIT 8	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
UNIT 9	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
UNIT 10	1B + 1P.T. + 1W	736 SQ. FT.
UNIT 11	1B + 1P.T. + 1W	714 SQ. FT.
UNIT 12	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 13	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 14	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 15	1B + 1P.T. + 1W	719 SQ. FT.
UNIT 16	1B + 1D + 2W	786 SQ. FT.



AREA SUMMARY		
S.NO	TYPE OF UNIT	AREA
UNIT 1	1B + 1D + 2W	802 SQ. FT.
UNIT 2	1B + 1D + 1P.T. + 1W	752 SQ. FT.
UNIT 3	1B + 1D + 1P.T. + 1W	752 SQ. FT.
UNIT 4	1B + 1D + 1P.T. + 1W	752 SQ. FT.
UNIT 5	1B + 1D + 1P.T. + 1W	752 SQ. FT.
UNIT 6	1B + 1D + 1P.T. + 1W	752 SQ. FT.
UNIT 7	2B + 2W	989 SQ. FT.
UNIT 8	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
UNIT 9	2B + 1D + 1P.T. + 2W	1027 SQ. FT.
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UNIT 12	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 13	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 14	1B + 1P.T. + 1W	725 SQ. FT.
UNIT 15	1B + 1P.T. + 1W	719 SQ. FT.
UNIT 16	1B + 1D + 1P.T. + 1W	786 SQ. FT.













**1** **FOURTH FLOOR PLAN**  
3/32"=1'-0"



**2 TERRACE PLAN**  
3/32"=1'-0"

STAGE:	PHASE	REV
SITE PLAN APPLICATION	00	00



LEGEND	
	BRAMPTON BRICK - CONTEMPO SERIES COLOR: SHADOW
	FINISH SMOOTHER - STANDARD FINISH
	NBK ARCHITECTURAL TERRACOTTA TERRAZZO-GLAZ COLOR: M.7.0.10
	FINISH NATURE - NATURAL
	SAPIER EXTERIOR CLADDING ESPRESSO BLACKWOOD
	ALUGARD ALUMINUM WINDOW FIXED WINDOW MODEL: F-4500
	POWDER COATED ALUMINUM FRAME IN BLUE COLOR with 25MM INSULATED GLASS UNIT. LOW E, ARGON 5MM + 5MM SPACER - 5MM
	ALUGARD ALUMINUM RAILING FRONT MOUNT RAILING WITH 76MM X 25MM TOP RAIL, 50MM X 38MM ALUMINUM POSTS AND 1/4" HOLE STRENGTHENED LAMINATED GLASS
	PARGED CONCRETE
	GFRG CORNICE

			DRAWN BY JS	CHECKED BY HK	APPROVED BY HB	
			SCALE: 3/32"=1'-0"	SIZE A1	ISSUED DATE 2022-02-24	
00	REVIEW	2022-02-24	SHEET NO.	STAGE:	PHASE	REV
REV	ISSUED FOR	DATE	A300	REVIEW	00	00



LEGEND	
	BRAMPTON BRICK - CONTEMPO SERIES COLOR: SHADOW FINISH: SMOOTH, STANDARD FINISH
	NBK ARCHITECTURAL TERRACOTTA TERRART-CLAD COLOR: M 7.01-0 FINISH: NATUR / NATURAL
	SAGIPER EXTERIOR CLADDING ESPRESSO BLACKWOOD
	ALUGARD ALUMINUM WINDOW FIXED WINDOW MODEL: F-4500 POWDER COATED ALUMINUM FRAME IN BLACK COLOR WITH 25MM INSULATED GLASS UNIT, LOW E, ARGON 5MM + 15MM SPACER + 5MM
	ALUGARD ALUMINUM RAILING FRONT MOUNT RAILING WITH 75MM X 45MM TOP RAIL, 50MM X 38MM ALUMINUM POSTS AND 4+4 MM HEAT STRENGTHENED LAMINATED GLASS
	PARGED CONCRETE
	GRC CORNICE

LEAD CONSULTANT :



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STRUCTURE ENGINEER :

MECHANICAL ENGINEER :

DS-2022-0083  
Page 10 of 11  
Attachment 5  
49 Lorne St (02.201, 03.1168)

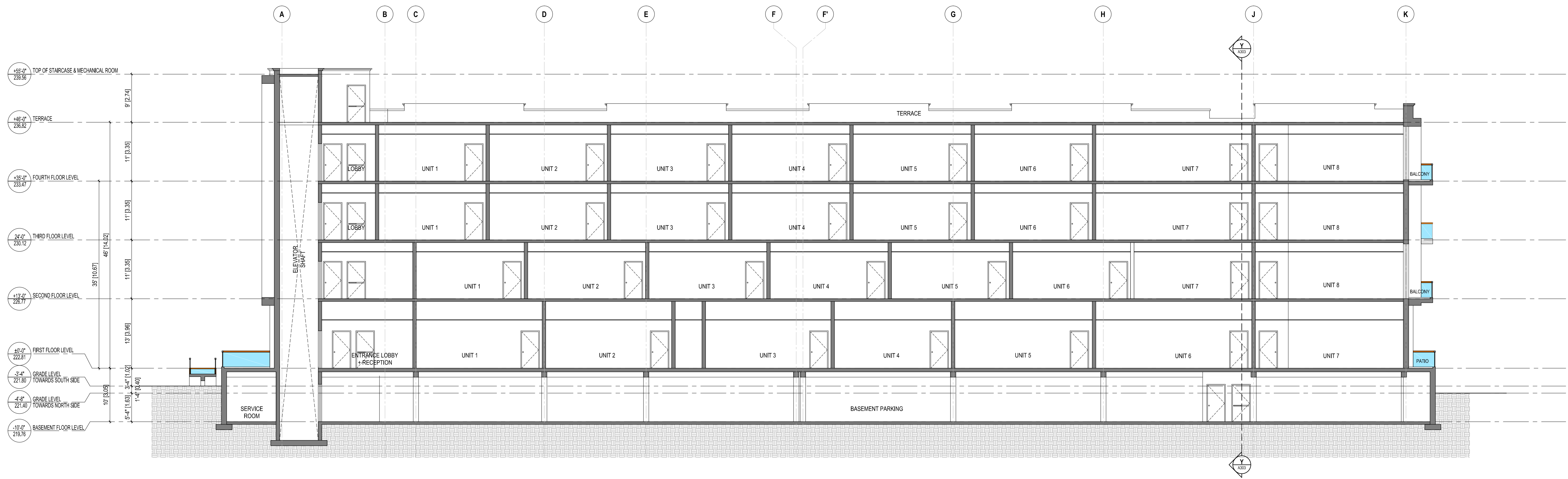
PROJECT NAME AND ADDRESS :

PROPOSED 4 STOREY RESIDENTIAL CONDO  
DEVELOPMENT AT 49 LORNE STREET, TOWN OF  
GEORGINA, ON

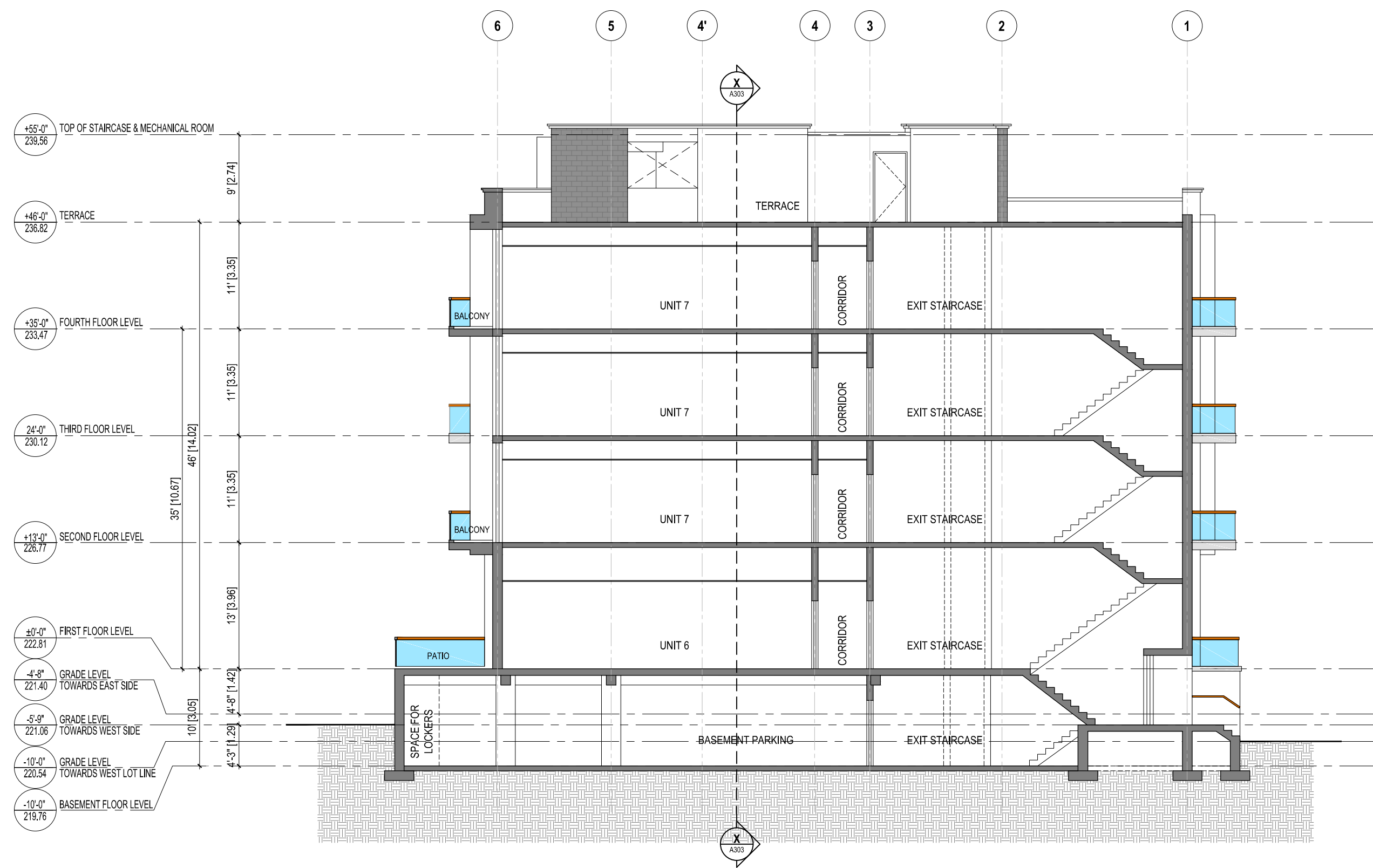
DRAWING TITLE :

CONCEPTUAL ELEVATIONS

			DRAWN BY JS	CHECKED BY HK	APPROVED BY HB	
			SCALE: 3/32"=1'-0"	SIZE A1	ISSUED DATE 2022-02-24	
00	REVIEW	2022-02-24	SHEET NO. A301	STAGE:	PHASE	REV
REV	ISSUED FOR	DATE		REVIEW	00	00



1 SECTION - XX  
3/32"=1'-0"



2 SECTION - YY  
3/32"=1'-0"

LEAD CONSULTANT :

**technoarch** architects + designers

Unit 214 - 2550 Matheson Blvd E, Mississauga, ON, L4W 4Z1  
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Cell : +1-416-729-9454  
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STRUCTURE ENGINEER :

MECHANICAL ENGINEER :

DS-2022-0083  
Page 11 of 11  
Attachment 5  
49 Lorne St (02.201, 03.1168)

PROJECT NAME AND ADDRESS :

PROPOSED 4 STOREY RESIDENTIAL CONDO  
DEVELOPMENT AT 49 LORNE STREET, TOWN OF  
GEORGINA, ON

DRAWING TITLE :

SECTIONS

00

SITE PLAN APPLICATION

2022-01-14

DATE

DRAWN BY  
JS

SCALE:  
3/32"=1'-0"

SHEET NO.  
A302

CHECKED BY  
HK

SIZE  
A1

STAGE:  
SITE PLAN  
APPLICATION

APPROVED BY  
HB



ISSUED DATE  
2022-01-14

PHASE  
00

REV

00



LEAD CONSULTANT :			STRUCTURE ENGINEER :	MECHANICAL ENGINEER :	<div>DS-2022-0083 Page 1 of 1 Attachment 6 49 Lorne St (02.201, 03.1168)</div>	PROJECT NAME AND ADDRESS :					DRAWN BY HT	CHECKED BY HK	APPROVED BY HB	
P.O 68531, GREAT LAKES DRIVE , Brampton, ON L6R 0J8, Canada E-mail: hbhons@technoarch.ca						Tel : +1-905-792-0038 Cell : +1-416-729-9454 www.technoarch.ca								
DS-2022-0083 Page 1 of 1 Attachment 6 49 Lorne St (02.201, 03.1168)						PROPOSED 4 STOREY RESIDENTIAL CONDO DEVELOPMENT AT 49 LORNE STREET, TOWN OF GEORGINA, ON						SCALE: 3/32"=1'-0"		
DRAWING TITLE :						00	PRE CONSULTATION	2021-07-27	SHEET NO. A300	STAGE PRE CONSULTATION	PHASE 00	REV 00		
													REV	ISSUED FOR

Department/Agency	Date Received	Response:
Tax & Revenue		
Engineering		
Engineering		
Operations & Infrastructure	August 25, 2022	<p>ASSET MANAGEMENT &amp; TECHNICAL SERVICES:  The W/WW System Analysis performed by GMBP states the below:</p> <ul style="list-style-type: none"> <li>• “Under existing conditions, the development does not trigger any performance issues in the sanitary sewer system between the proposed connection point and SPS #12.” <ul style="list-style-type: none"> <li>o Does this statement include SPS#12? As this development may cause SPS #12 to operate above its rated capacity, will the Developer upgrade SPS #12 at their full / partial cost?</li> <li>o As the sanitary sewers are surcharged upstream of SPS #12, will the developer upgrade the sewers at their full / partial cost?</li> <li>o This report should reference the ECA for SPS #12 which indicates a maximum capacity of 64 L/s.</li> </ul> </li> <li>• “PWWF [was] calculated as sum of PDWF and infiltration allowance over site area (infiltration allowance is zero for this development)” <ul style="list-style-type: none"> <li>o Why is the infiltration allowance zero for this development? Does this include inflow and infiltration from external sources downstream of the subject site was assumed to be zero as well?</li> </ul> </li> <li>• “The Town’s fire flow target of 117 L/s is not achieved at the proposed redevelopment under existing conditions or with the development. The low fire flow is a result of small diameter watermain on Lorne Street (100 mm and 150 mm). In order to achieve the Town’s fire flow target,</li> </ul>
Community Services		
Building	August 9, 2022	No comments.
Municipal Law		
Clerks Division		
Clerks Division		
Georgina Fire Department		

DS-2022-0083

Page 1 of 5

Attachment 7

49 Lorne St (02.201, 03.1168)

Georgina Fire Department	August 25, 2022	The Georgina Fire Department has no objections to the proposal and provides the following comments: 1. All construction shall be in conformance with the Ontario Building Code (OBC) 2. Onsite water supply for firefighting shall be provided. As per the Functional Servicing & Storm water Management Report by Crozier Consulting Engineers the minimum fire flow rate of 300 L/s shall be achieved to the proposed site. 3. The fire access route shall be designed and constructed as per the OBC and be able to support the weight of the heaviest responding apparatus to the property during an emergency, which is 100,000lbs. 4. BluePlan Figure 4 – “Available Fire Flow 150mm or 200mm Upgrade” – flows shown do not provide the required fire flow for the proposed structure. 5. Prior to occupancy, the owner shall provide a fire safety plan for the property.
Building Inspector		
Economic Development		
York Catholic District School Board	August 9, 2022	No comments or objections.
MPAC		
Bell Canada		
Canada Post		
Hydro One		
Enbridge Gas	August 24, 2022	Enbridge Gas Inc. does not object to the proposed application however, we reserve the right to amend our development conditions.  The applicant will contact Enbridge Gas Inc.'s Customer Connections department by emailing SalesArea30@Enbridge.com prior to any site construction activities to determine if existing piping facilities need to be relocated or abandoned.
York Region District School Board		
Hydro One		
York Regional Police		
Lake Simcoe Region Conservation Authority		
Rogers		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
Ontario Power Generation		
Southlake Regional Health Centre	August 23, 2022	See attached.
York Region		

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Page 2 of 5

Attachment 7

49 Lorne St (02.201, 03.1168)

August 23, 2022

Via Email kharris@georgina.ca Kim Harris

Planning Clerk  
Town of Georgina  
26557 Civic Centre Road  
Keswick, ON L4P 3G1

**RE: NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING APPLICATIONS  
FOR OFFICIAL PLAN AMENDMENT & ZONING BY-LAW  
AMENDMENT**

**Address:** 49 Lorne Street  
**Description:** Reg. Plan 69, Block 71, Reg. Plan 99, Lot 76 & Part of Block A,  
Part of Water Lot in Front of Lot 2, Concession 9 (G.)  
**Roll No:** 082-180  
**Applicant:** Vararoho Hospitality Inc.  
**File No:** 02.201, and 03.1168  
**Ward (Councillor):** Ward 4 (Frank Sebo)

Dear Ms. Harris,

We are in receipt of your correspondence concerning the above matter.

Southlake Regional Health Centre understands the impact of provincial and regional planning requirements on local communities, in particular, the provincial Places to Grow strategy. In this context, continued development is not unexpected. We have no response with regard to this Application.

If you require any additional information please do not hesitate to contact me.

Sincerely,



Peter M. Green, P. Eng.  
Director, Capital Development  
Southlake Regional Health Centre

Cc: J. Marshman Southlake

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Attachment 7  
49 Lorne St (02.201, 03.1168)

# PUBLIC COMMENTS

**Kim Harris**

---

**From:** [REDACTED]  
**Sent:** August 31, 2022 11:42 AM  
**To:** Angela Sciberras  
**Cc:** Karyn Stone; Harold Lenters; info@msplanning.ca; Janet Porter; Ziya Cao  
**Subject:** RE: 49 Lorne Street project, FILE NOS.: 02.201, 03.1168  
**Attachments:** image001.jpg

**CAUTION:** This message originated from an email address that is outside of the Town of Georgina organization. Please exercise extreme care when reviewing this message. DO NOT click any links or open attachments from unknown senders. Be suspicious of any unusual requests and report any suspicious email messages to the Georgina ITS division at support@georgina.ca.

Hi Angela,

Thanks for your note, it is much appreciated that you acknowledged my email.

I must admit that I am surprised that the encroachment hasn't been addressed already, even before this proposal has gotten this far. If this proposal is to go forward, the public must be convinced that the development will complement the neighbourhood, be done to current codes and setbacks, and be placed totally on land owned by the developer.

[REDACTED]

Sent from [Mail](#) for Windows

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**From:** [Angela Sciberras](#)  
**Sent:** August 29, 2022 11:23 AM  
[REDACTED]  
**Cc:** [Karyn Stone](#); [hlenters@georgina.ca](#); [info@msplanning.ca](#); [Janet Porter](#); [Ziya Cao](#)  
**Subject:** RE: 49 Lorne Street project, FILE NOS.: 02.201, 03.1168

Good Morning [REDACTED],

Thank you for your comments below. These will be noted and considered as part of the application review.

Please be advised that the upcoming meeting is a Statutory Public Meeting to obtain comments from the public and Council. No decision will be made at that time.

We appreciate the time you have taken to review the application and provide input to the process.

Regards,  
Angela

**Angela Sciberras, MCIP RPP**  
Principal  
Macaulay Shiomi Howson Ltd.

**E** [sciberras@mshplan.ca](mailto:sciberras@mshplan.ca) #202-520 Industrial Pkwy S  
**T** 905.503.3440, ext 221 Aurora, Ontario  
**F** 905.503.3442 L4G 6W8 Canada



DS-2022-0083 Page 4 of 5 Attachment 7 49 Lorne St (02.201, 03.1168)
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**Sent:** Monday, August 29, 2022 10:46 AM  
**To:** Angela Sciberras <sciberras@mshplan.ca>  
**Cc:** Karyn Stone <kstone@georgina.ca>; hlenters@georgina.ca; info@msplanning.ca  
**Subject:** 49 Lorne Street project, FILE NOS.: 02.201, 03.1168

Good morning Angela,

I am contacting you this morning regarding the matter referenced above. I have several concerns and will be speaking to them at the Georgina town council meeting to be held on September 21, 2022. However, I thought that I should bring to your attention a couple of issues that should be addressed before then.

As you may or may not know, the entrance and western-most driveway of 49 Lorne Street are encroaching on the municipally owned Lorne Park by approximately twenty five feet at the southern-most limit, going northward a distance of several hundred feet in a triangular shape. This encroachment has been there for many years and I am hoping that this latest proposal for the property will address this issue, returning that portion of Lorne Park back to the people of the community.

Lorne Park was granted to the people of the Town of Sutton by Crown Grant in 1937, "on the condition that the said right of way be declared a public right of way and be maintained as such at the expense of the Grantee." This is reiterated by a statement that is placed on title for the Lorne Park/Bonnie Park property by Colin T. Wyse, counsel for Her Majesty the Queen in Right of Canada, stating that the grant is not a grant of right of way.

Also, the address of 49 Lorne Street is inaccurate. This property is separated from Lorne Street by Lorne Park, the previously mentioned municipally owned property. How the property came to be known as 49 Lorne Street is certainly a mystery, and this is the perfect opportunity to better reflect the fact that it actually fronts onto Thompson Drive.

It is my opinion that either one of these issues could trigger an LPAT tribunal and cannot be ignored as this proposal moves forward.

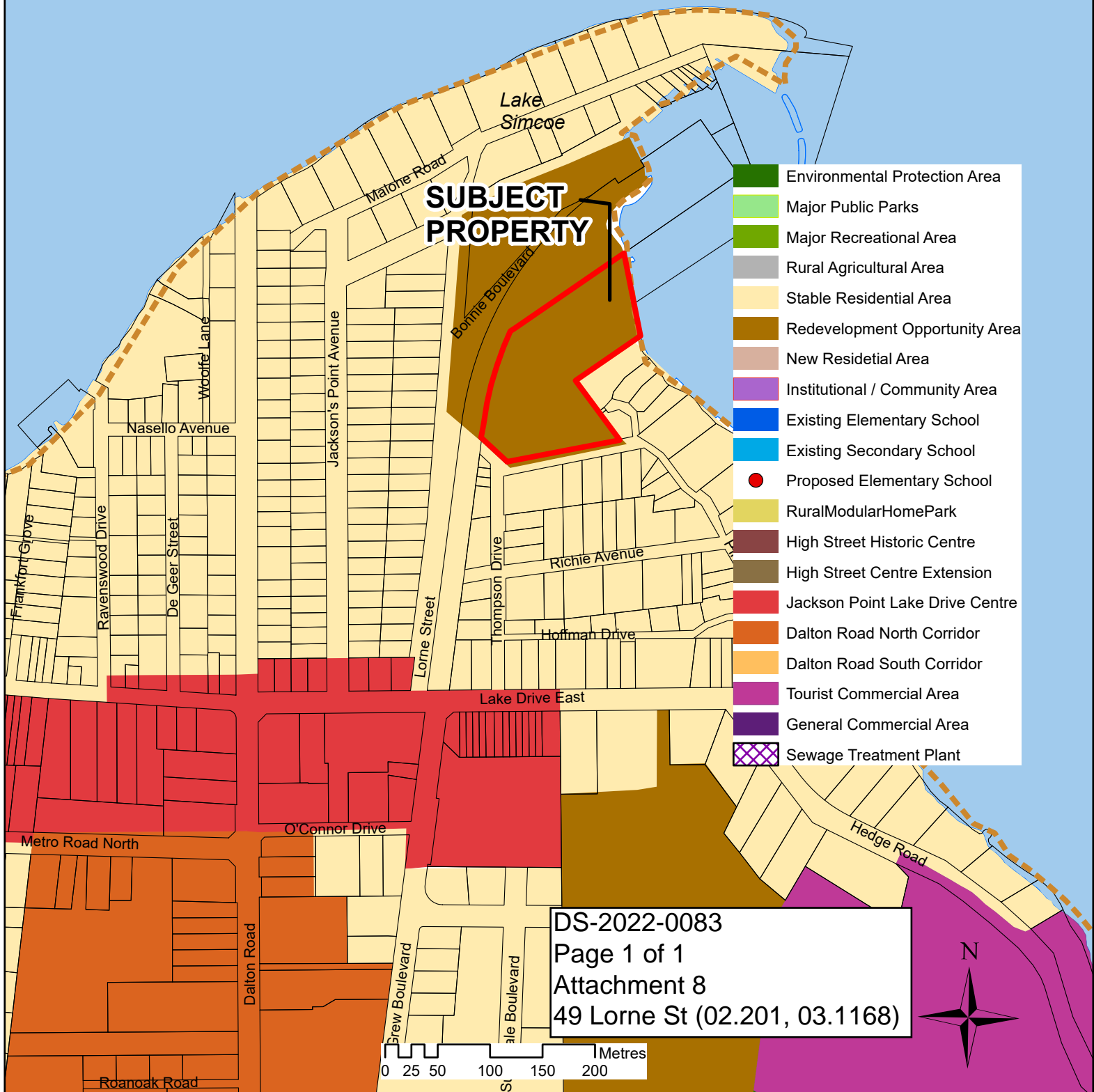
I would appreciate your consideration of these matters and look forward to your reply.

Sincerely,

Sent from [Mail](#) for Windows

# Sutton / Jackson's Point Secondary Plan

## Schedule B - Land Use Plan



**Certificate of Approval**

**AMENDMENT NO.???**

**TO THE**

**SUTTON/JACKSON'S PONT  
SECONDARY PLAN AREA**

**This Secondary plan document which was adopted by the Council of the Corporation of the Town of Georgina is approved pursuant to Sections 17 and 21 of the Planning Act and came into force on \_\_\_\_\_, 2022.**

**Date: \_\_\_\_\_**

\_\_\_\_\_  
**Karen Whitney, M.C.I.P., R.P.P.  
Director of Community Planning  
The Regional Municipality of York**

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**AMENDMENT NO.???**  
**TO THE SUTTON/JACKSON'S POINT**  
**SECONDARY PLAN**  
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**PART A - THE CERTIFICATION**

**AMENDMENT NO. ???**

**TO THE**

**SUTTON/JACKSON'S POINT**

**SECONDARY PLAN AREA**

The attached explanatory text and location map, constituting Amendment No. ??? to the Sutton/Jackson's Point Secondary Plan, was adopted by the Council of the Corporation of the Town of Georgina by By-law No. 2022 - < > (PL-2) pursuant to Sections 17 and 21 of the Planning Act, R.S.O. 1990, on the \_\_\_\_ day of \_\_\_\_\_, 2022.

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Margaret Quirk, Mayor

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Rachel Dillabough, Town Clerk

**THE CORPORATION OF THE TOWN OF GEORGINA**

**IN THE**

**REGIONAL MUNICIPALITY OF YORK**

**BY-LAW NUMBER 2022- <> (PL-2)**

**BEING A BY-LAW TO ADOPT AMENDMENT NO. ??? TO THE SUTTON/JACKSON'S  
POINT SECONDARY PLAN**

The Council of the Corporation of the Town of Georgina, pursuant to Sections 17 and 21 of the Planning Act, R.S.O. 1990, c.P.13, as amended, hereby **ENACTS AS FOLLOWS:**

1. That Amendment No. ??? to the Sutton/Jackson's Point Secondary Plan constituting the attached explanatory text, is hereby adopted.
2. That the Corporation of the Town of Georgina make application to the Region of York for approval of said Amendment.
3. That the Clerk of the Corporation of the Town of Georgina is hereby authorized and directed to make such application on behalf of the Corporation and to execute under the Corporate Seal such documents as may be required for the above purposes.

**Read** a first, second and third time and finally passed this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Margaret Quirk, Mayor

\_\_\_\_\_  
Rachel Dillabough, Town Clerk

## **PART B - THE PREAMBLE**

### **1. TITLE**

This Amendment shall be known as:

Amendment No. ???  
to the Sutton/Jackson's Point  
Secondary Plan

Being an Amendment to the Sutton/Jackson's Point Secondary Plan.

### **2. COMPONENTS OF AMENDMENT**

Only that part of this document entitled "Part C - The Amendment", comprising the attached explanatory text, constitutes Amendment No. ??? to the Sutton/Jackson's Point Secondary Plan.

### **3. PURPOSE**

The purpose of Amendment No. ??? is to implement site-specific provisions for the subject property to facilitate the development of a condominium apartment building, having a maximum of 62 units, on a portion of lands known as the Ramada Inn, in Jackson's Point..

### **4. LOCATION**

Amendment No. ??? applies to the lands legally described as Block 71, Registered Plan 69, Lot 76 and Part of Block A, Registered Plan 99, and Part of Water Lot in front of Lot 2, Concession 9 (G.). This property is also known by its municipal address of 49 Lorne Street.

### **5. BASIS**

The Owner of the Subject Lands, Vararoho Hospitality Inc. is proposing to construct a condominium apartment building, having a maximum of 62 units, on the Subject Lands. It is proposed that, through the registration of the standard condominium plan, the lands which are subject to the condominium proposal will be separated from those lands which contain the existing Ramada Inn. This will result in a density which exceeds that permitted by the Sutton/Jackson's Point Secondary Plan. The proposed density will assist in achieving a higher density and more efficient housing form consistent with current growth management policies in the Sutton/Jackson's Point Secondary Plan area. Further, the site is

currently designated Redevelopment Opportunity Area 2. The current designation must be amended to permit the proposed use.

## **PART C - THE AMENDMENT**

### **1. INTRODUCTION**

The whole of that part of the Amendment entitled "Part C - The Amendment", which consists of the following explanatory text constitutes Amendment No. ??? to the Sutton/Jackson's Point Secondary Plan.

### **2. ACTUAL AMENDMENT**

a) That Schedule `B` – **Land Use Plan** – is hereby amended by changing the land use designation on a portion of those lands described as *Redevelopment Opportunity Area #2* to *Tourist Commercial* as shown on Schedule `1` hereto.

b) That Section 13.2.6.6 **TOURIST COMMERCIAL AREA DESIGNATION** is hereby amended by adding:

#### **13.2.6.6.1 Special Provisions**

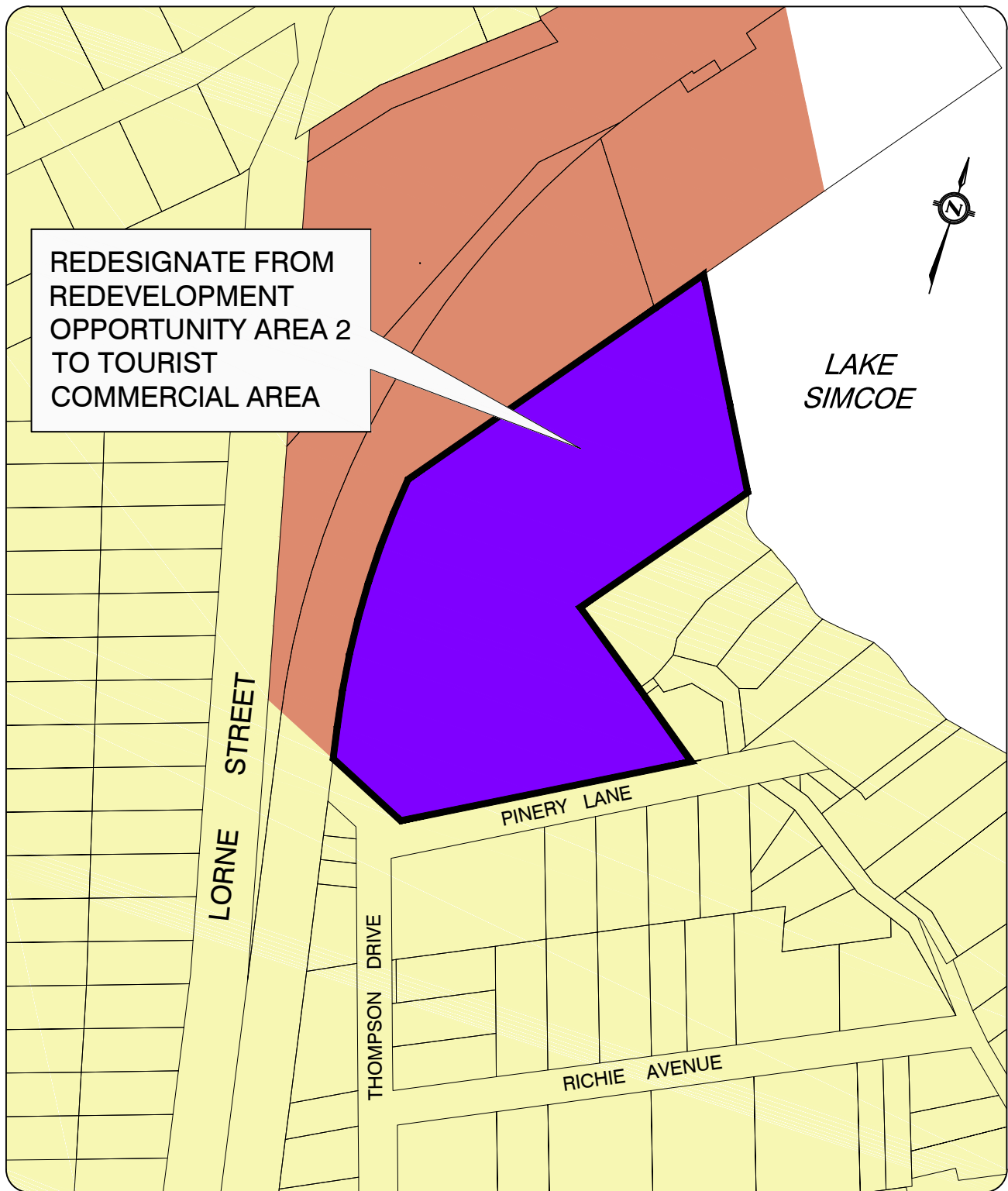
- i) Notwithstanding Section 13.2.4.4, on lands described as Block 71, Registered Plan 69, Lot 76 and Part of Block A, Registered Plan 99, and Part of Water Lot in front of Lot 2, Concession 9 (G.), shown on Schedule `1` hereto, an apartment building having a maximum High Density Residential density shall not exceed 155 units per *net residential hectare*.
- ii) Access to the an apartment building located on the Subject Lands shall be by means of a condominium arrangement or blanket easement.

### **3. IMPLEMENTATION**

The Secondary Plan Amendment will be implemented by an amendment to Zoning By-law 500, and site plan approval pursuant to the *Planning Act* of Ontario.

### **4. INTERPRETATION**

The provisions set forth in the Sutton/Jackson's Point Secondary Plan, as amended from time to time regarding the interpretation of that plan, shall apply in regard to this Amendment.



RAMADA INN  
 BLOCK 71, REGISTERED PLAN 69 AND LOT 76 AND PART OF BLOCK A, REGISTERED PLAN 99  
 AMENDMENT TO SCHEDULE 'F1: KESWICK LAND USE PLAN' OF KESWICK SECONDARY  
 PLAN, ITEM NO. 1 OF AMENDMENT NO. 93 TO THE OFFICIAL PLAN OF THE TOWN OF  
 GEORGINA

Approved by:	Date: MARCH 5, 2022	Project No.: 1154-00	
Drawn by: Michael Smith Planning Consultants	Scale: N.T.S	Figure No.:	

DS-2022-0083  
 Page 8 of 8  
 Attachment 9  
 49 Lorne St (02.201, 03.1168)

**THE CORPORATION OF THE TOWN OF GEORGINA  
IN THE  
REGIONAL MUNICIPALITY OF YORK**

**BY-LAW NUMBER 500-2022-XXXX**

**A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW TO REGULATE  
THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF  
BUILDINGS AND STRUCTURES WITHIN THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, c.P.13, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 3, Page 1, Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'C5' to 'R3-XX' and 'C5-XX' on lands described as Block 71, Registered Plan 69, Lot 76 and Part of Block A, Registered Plan 99, and Part of Water Lot in front of Lot 2, Concession 9 (G.) shown in heavy outline and designated 'R3-XX' and 'C5-XX' on Schedule 'A' attached hereto. (Let's review legal description)
2. That Section 9 **MEDIUM DENSITY URBAN RESIDENTIAL** of Zoning By-law Number 500, as amended, is hereby further amended by adding after Subsection 9.5.XX **SPECIAL PROVISIONS** the following:

<b>"9.5.XX</b>	<b>Block 71, Registered Plan 69, Lot 76 and Part of Block A, Registered Plan 99, and Part of Water Lot in front of Lot 2, Concession 9 (G.)</b>	<b>'R3-XX' (Map 6)</b>
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On lands shown in heavy outline and designated 'R3-XX' on Schedule 'A' attached hereto the following provisions shall apply:

- a) Notwithstanding Section 5.13, an apartment building may be erected on a lot which does front on a public street, provided the lot derives access by condominium arrangement or access easement.
- b) Notwithstanding Section 5.28 a), a standard parking space where the angle to aisle is not parallel, shall be a minimum of 2.7 metres X 5.7 metres.
- c) Notwithstanding Section 5.28 b), the minimum number of parking spaces per dwelling unit for an apartment dwelling shall be 1.3 per unit, and 2 per unit where tandem parking is provided.
- d) Notwithstanding Section 5.28 h), parking shall be permitted in all yards.
- e) Notwithstanding Section 6.8 a), the minimum lot frontage shall be nil.
- f) Notwithstanding Section 6.8 b), the minimum lot area shall be 4,000m<sup>2</sup>.
- g) Notwithstanding Section 6.8 e), the minimum rear yard shall be **TBD** metres.
- h) Notwithstanding Section 6.8 f), the minimum interior side yard shall be **TBD** metre.
- i) Notwithstanding Section 6.8 h), the maximum lot coverage shall be **TBD**%.

- j) Notwithstanding Section 6.8 i), the maximum height of building shall be **TBD** metres.
  - k) Notwithstanding Section 6.8 k), the minimum privacy yard shall be nil.
  - l) Notwithstanding section 6.8 l), no planting strip shall be required.
  - m) Notwithstanding section 6.8 m), the minimum landscaped open space shall be nil.
3. That Section 18 **TOURIST COMMERCIAL** of Zoning By-law Number 500, as amended, is hereby further amended by adding after Subsection 18.5.XX **SPECIAL PROVISIONS** the following:

**“18.5.XX      Block 71, Registered Plan 69,      ‘C5-XX’  
Lot 76 and Part of Block A, Registered Plan 99,      (Map 6)  
and Part of Water Lot in front of Lot 2,  
Concession 9 (G.)**

On lands shown in heavy outline and designated 'C5-XX' on Schedule 'A' attached hereto the following provisions shall apply:

- a) Notwithstanding Section 5.25 a), there shall be no required loading spaces for a hotel.
- b) Notwithstanding Section 5.28 a), the minimum dimensions for a standard parking space shall be 2.5 metres X 5.7 metres.

- c) Notwithstanding Section 5.28 h), parking shall be permitted in all yards provided that no part of any parking area, other than a driveway, is located closer than **TBD** metres to any lot line
- d) Notwithstanding Section 5.28 i), the minimum width of an aisle providing two-way access shall be 6.0 metres.
- e) Notwithstanding Section 5.31 a), the minimum width for a planting strip for a hotel shall be nil.
- f) Notwithstanding Section 13.2 e), the minimum rear yard shall be **TBD** metres.
- g) Notwithstanding Section 13.2 f), the minimum interior side yard shall be **TBD** metres.
- h) Notwithstanding Section 13.2 j), walls containing habitable room windows and facing each other shall have a minimum distance separation of **TBD**.
- i) Notwithstanding Section 13.2 l), the minimum landscaped open space shall be **TBD**%.

**READ** a first, second and third time and finally passed this \_\_\_\_ day of \_\_\_\_, 2022.

\_\_\_\_\_  
Margaret Quirk, Mayor

\_\_\_\_\_  
Rachel Dillabough, Clerk

**EXPLANATORY NOTE TO BY-LAW NUMBER 500-2022-XXXX**

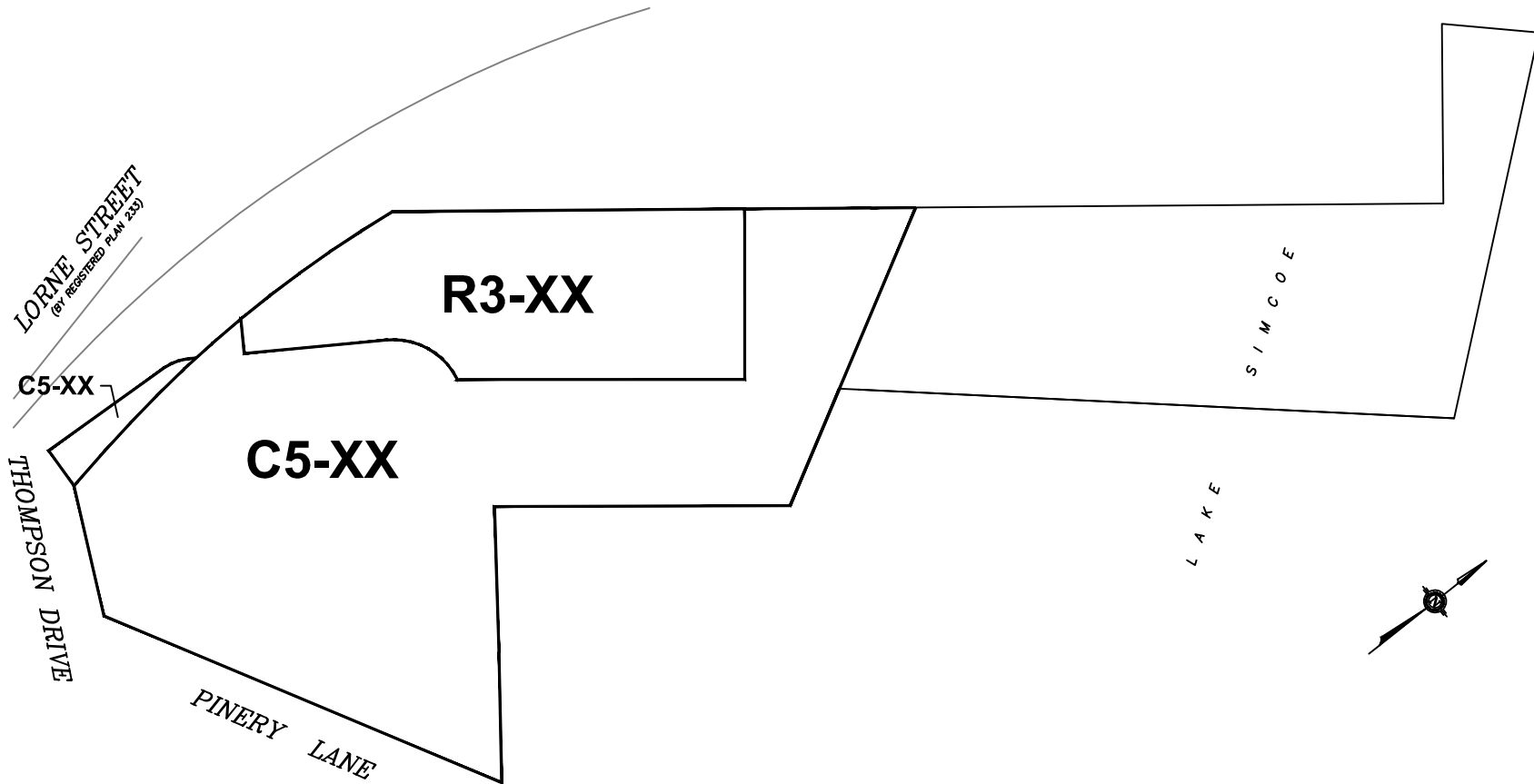
1. The purpose of Zoning By-law Number 500-2022-XXXX, which amends Zoning By-law No. 500, is to amend the current zoning from *Tourist Commercial (C5) Zone* to a site-specific *Medium Density Urban Residential (R3-XX) Zone*, and a site-specific *Tourist Commercial (C5-XX) Zone*. The amendment is required to facilitate the construction of condominium apartment building having a maximum of 62 units.
2. Zoning By-law Number 500-2022-XXXX conforms to the Sutton/Jackson's Point Secondary Plan.
3. A **KEY MAP** showing the general location of the land to which By-law Number 500-2022-XXXX applies is shown below.

Insert KEY MAP

**BLOCK A, REGISTERED PLAN 99 LOT 76, REGISTERED PLAN 99  
LOT 71, REGISTERED PLAN 69 AND PART OF WATER LOT IN  
FRONT OF LOT 2 CONCESSION 9 (G.)  
TOWN OF GEORGINA  
REGIONAL MUNICIPALITY OF YORK  
FORMERLY IN THE TOWNSHIP OF NORTH GWILLIMBURY  
COUNTY OF YORK**

THIS IS SCHEDULE 'A' TO  
BY-LAW \_\_\_\_\_  
PASSED THIS \_\_\_\_\_ DAY OF  
\_\_\_\_\_ 2022

CLERK \_\_\_\_\_  
MAYOR \_\_\_\_\_



**SCHEDULE 'A' TO BY-LAW 500-2022-XX**

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Attachment 10  
49 Lorne St (02.201, 03.1168)