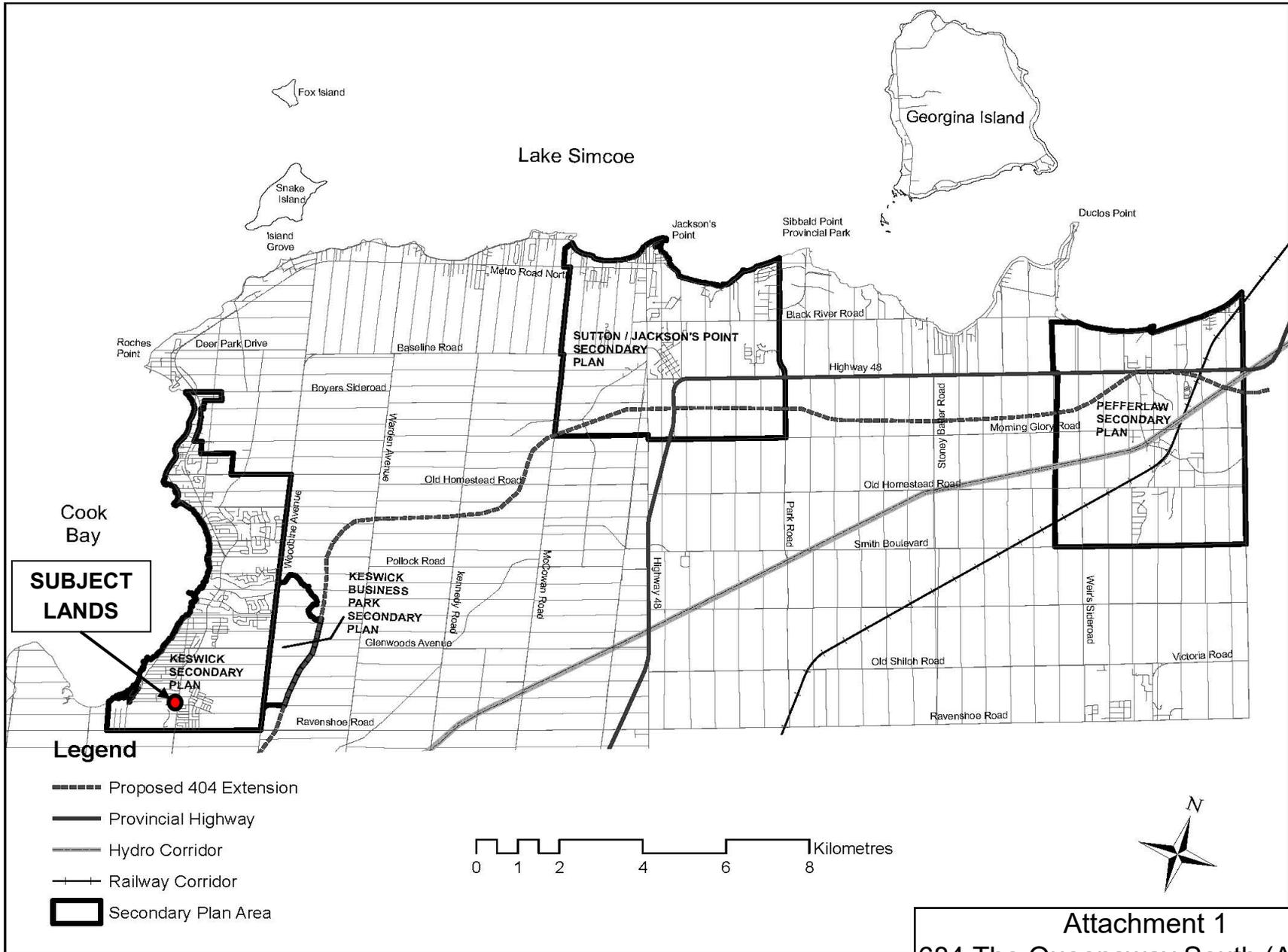
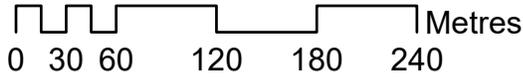
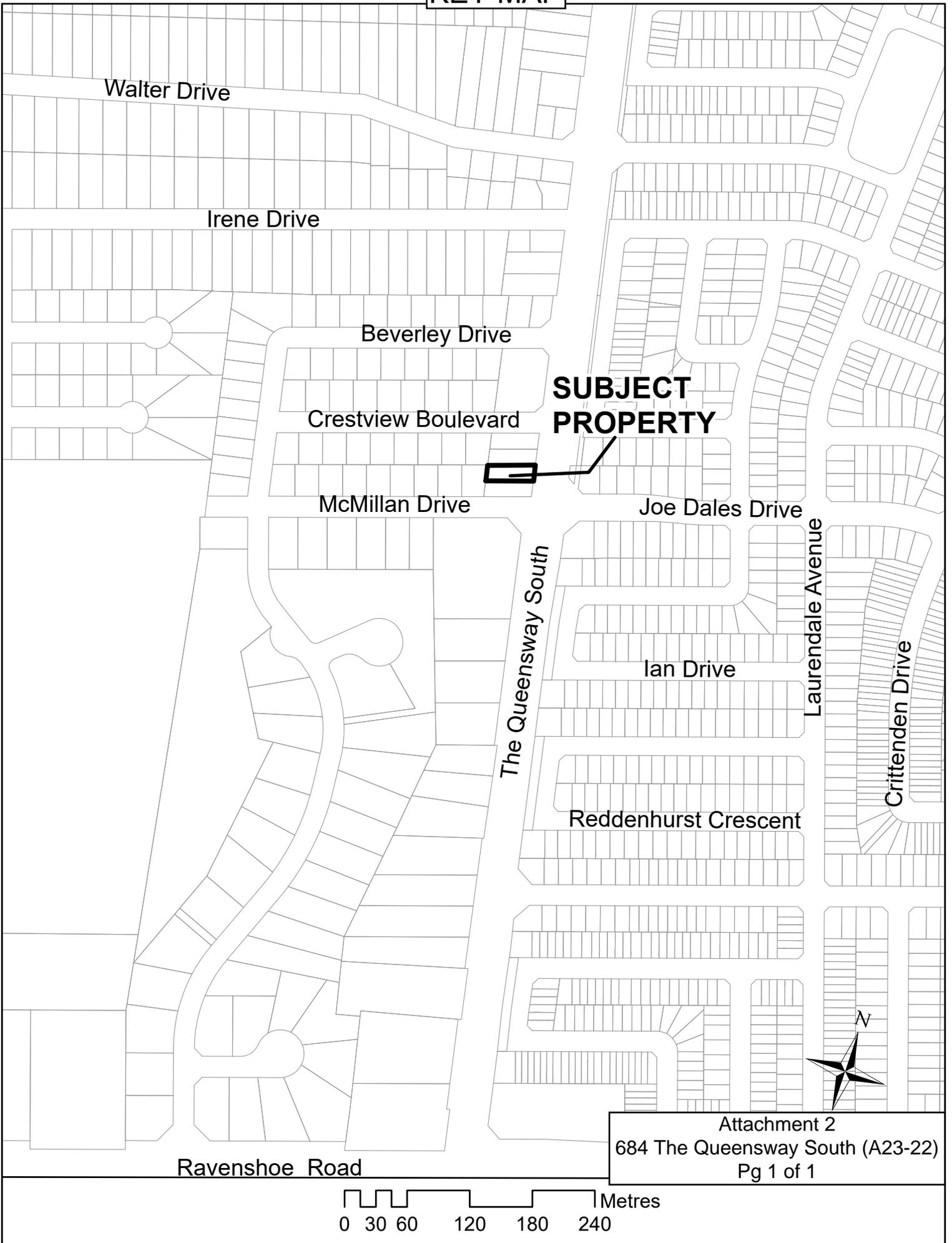


Context Map



KEY MAP



AERIAL MAP



Crestview Boulevard

**SUBJECT
PROPERTY**

McMillan Drive

Joe Dales Drive

The Queensway South

Attachment 3
684 The Queensway South (A23-22)
Pg 1 of 1

Ian Drive

SITE PHOTOS

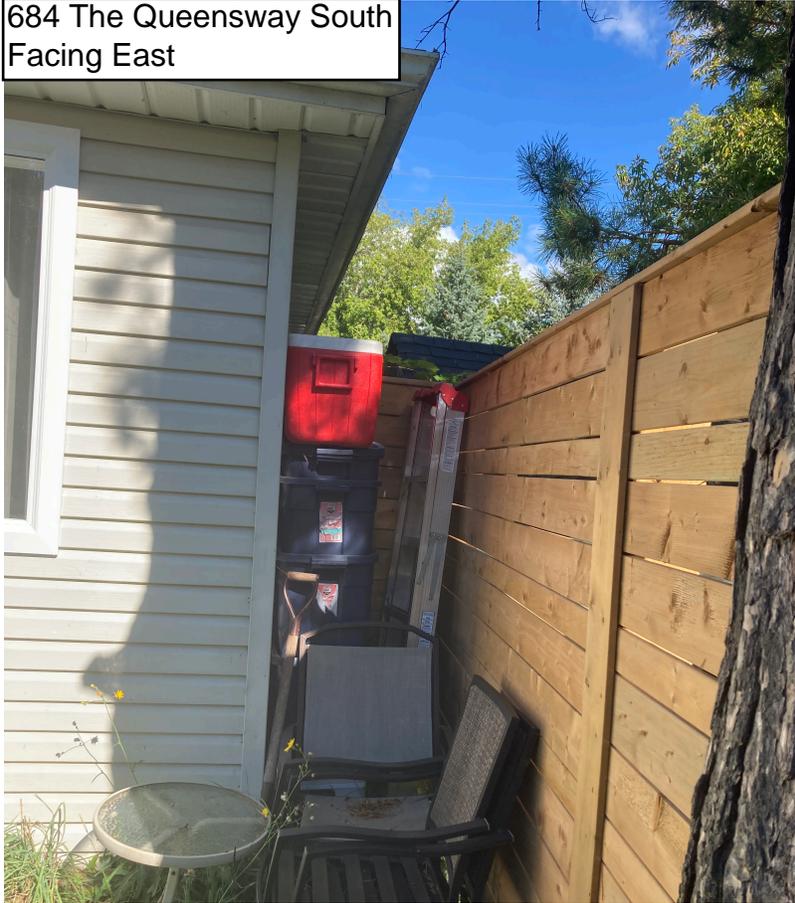
684 The Queensway South
Facing West



684 The Queensway South
Facing North



684 The Queensway South
Facing East



684 The Queensway South
Facing West

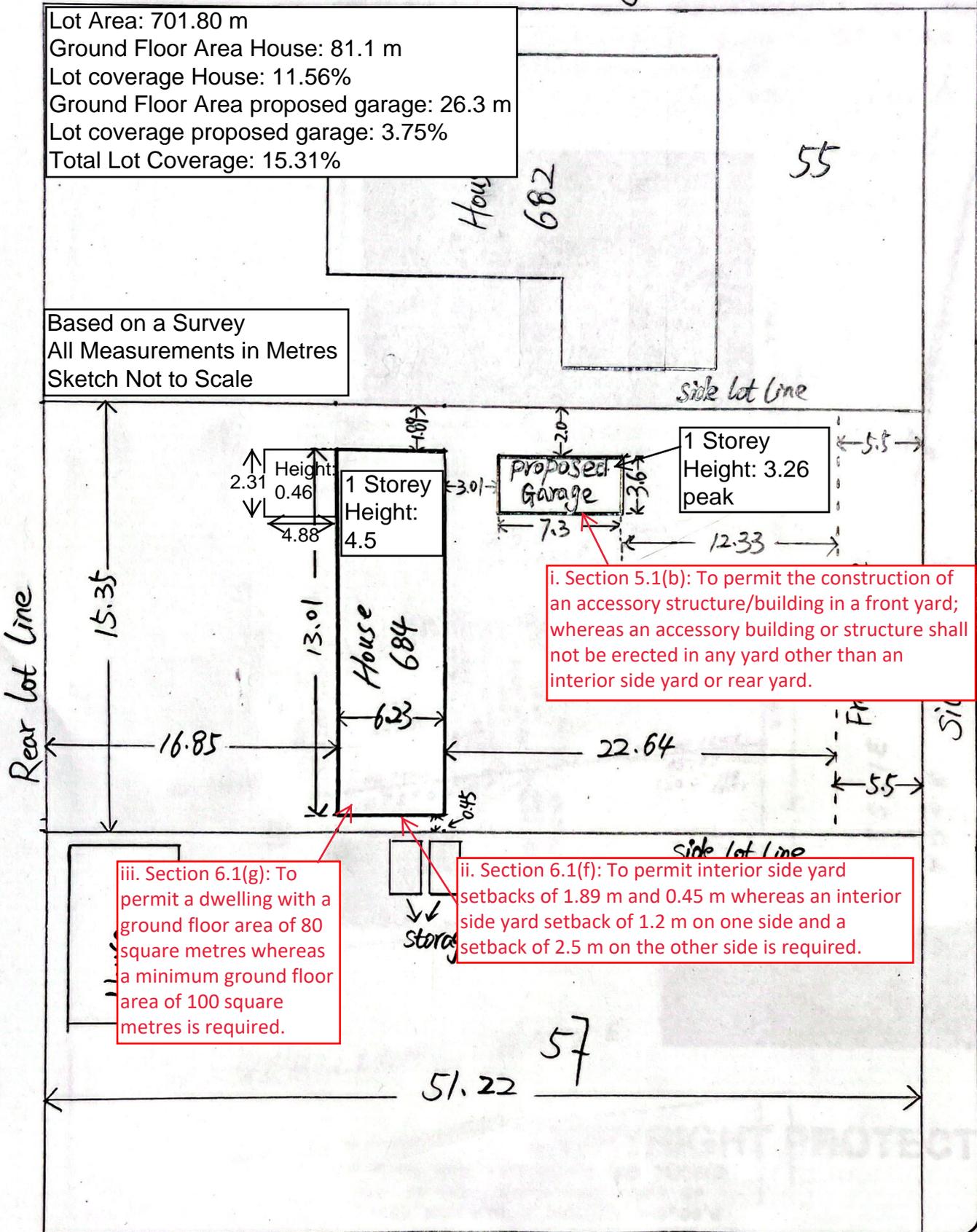


Site Sketch with Elevations

684 The Queensway South Georgina
 proposed Garage

Lot Area: 701.80 m
 Ground Floor Area House: 81.1 m
 Lot coverage House: 11.56%
 Ground Floor Area proposed garage: 26.3 m
 Lot coverage proposed garage: 3.75%
 Total Lot Coverage: 15.31%

Based on a Survey
 All Measurements in Metres
 Sketch Not to Scale



i. Section 5.1(b): To permit the construction of an accessory structure/building in a front yard; whereas an accessory building or structure shall not be erected in any yard other than an interior side yard or rear yard.

iii. Section 6.1(g): To permit a dwelling with a ground floor area of 80 square metres whereas a minimum ground floor area of 100 square metres is required.

ii. Section 6.1(f): To permit interior side yard setbacks of 1.89 m and 0.45 m whereas an interior side yard setback of 1.2 m on one side and a setback of 2.5 m on the other side is required.



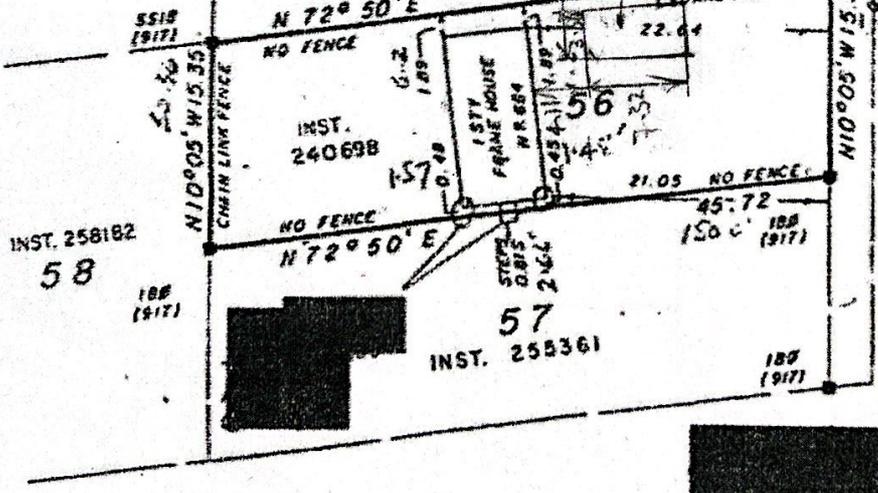
PLAN OF SURVEY OF
LOT 56, REGISTERED PLAN N° 408
 TOWNSHIP OF GEORGINA-REGIONAL MUNICIPALITY OF YORK
 FORMERLY TOWNSHIP OF NORTH GWILLIMBURY-COUNTY OF YORK
 SCALE 1:500

R.A. GARDEN O.L.S.
 1984

*684 The Queensway South
 proposed
 Garage*

R. P.

53



LESLIE STREET
 YORK ROAD 12

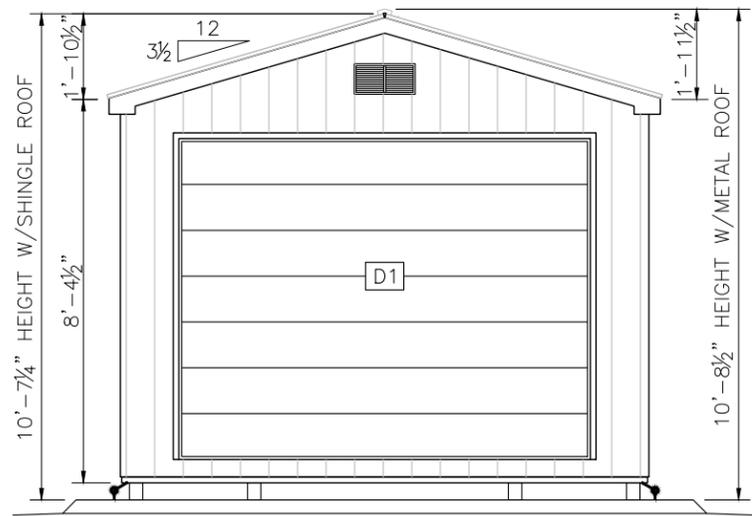
MCMILLAN DRIVE

COPYRIGHT PROTECTED

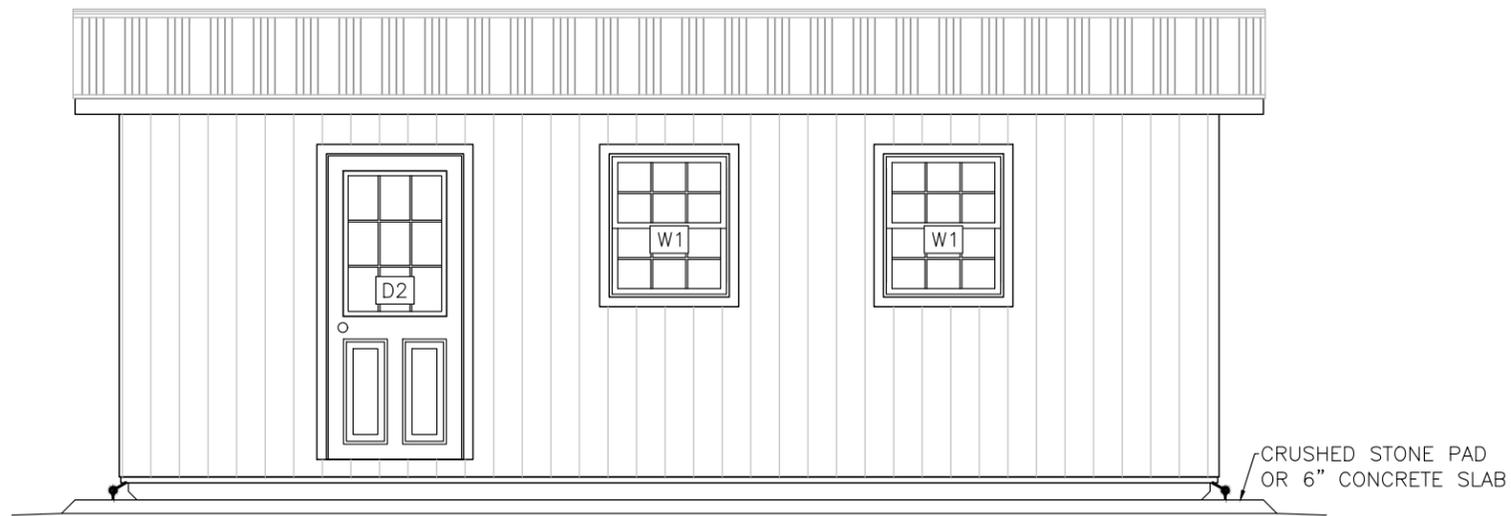
BEARINGS ARE ASTROMIC AND DERIVED
 FROM RP 408, GIVING WEST LIMIT OF
 STREET WIDENING A BEARING N10°05'W

SURVEYOR'S CERTIFICATE

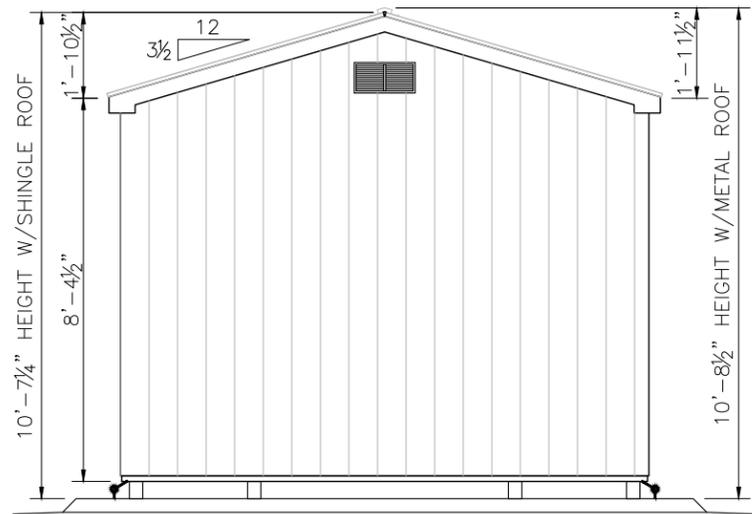
Attachment 5
 684 The Queensway South (A23-22)
 Page 2 of 6



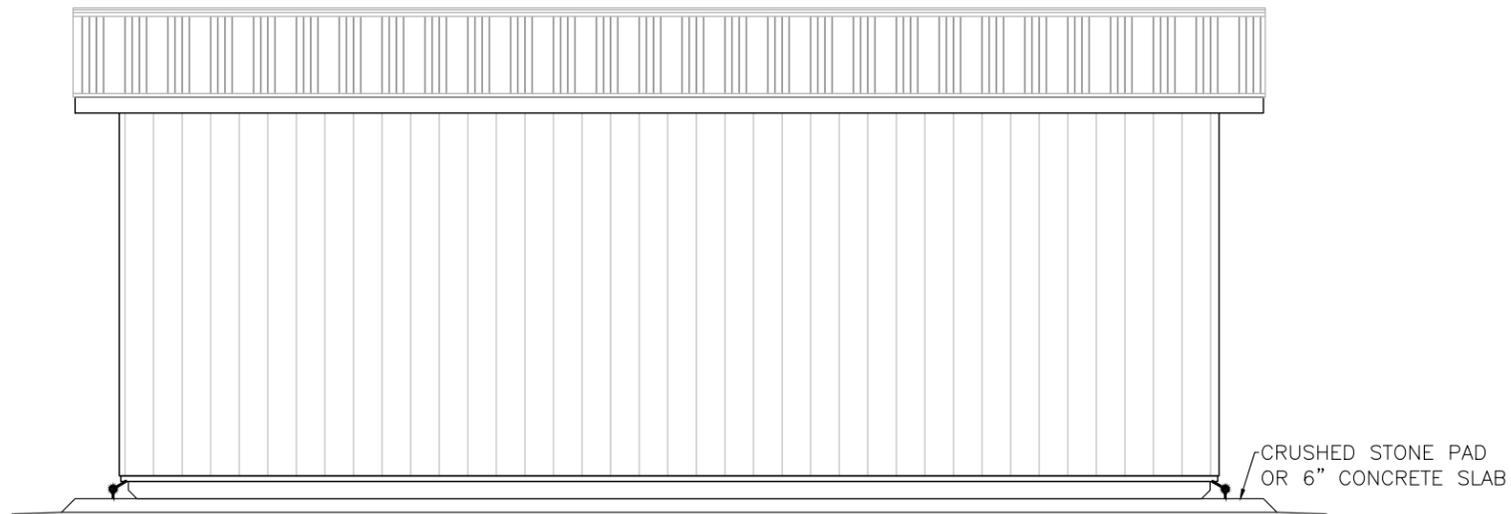
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

COMPONENT						
I.D.	Item	Quan	Description	Mat'l	Size	Notes
D1	Door	1	9'x7' Overhead	Metal Insulated		End Wall W/2-2x6 Lintel
D2	Door	1	36"x6'-8" Door	Metal or Fiberglass		Side Wall W/2-2x4 Lintel
D2	Door Option	-	72"x6'-8" Double Door	Metal or Fiberglass		Side Wall W/2-2x6 Lintel
W1	Window	2	30"x36" Slider			OR AS PER OPTIONS
GA-1	Ground Anchor	4+	Lock-Load or Arrowhead Type	Cast Aluminum or Steel	675lb Allowable Tension Load	by B&R STAMPING or Eq
SA-1	Slab Anchor	4+	1/2"Øx6" Anchor Bolt & Angle Fastened to Skid	Galvanized Steel	L4"x4"x5/16"x4"	

DRAWING NOTE:

1. THIS DRAWING SHOWS THE FOUNDATION AND FRAMING FOR A PRE MANUFACTURED RESIDENTIAL SHED DESIGNATED AS RED SHED CO 12' WIDE "CLASSIC" UP TO 48' LONG.
2. SITE GRADING PLANS, LIGHTING, SERVICE, CLADDING & ARCHITECTURAL DETAILS BY OTHERS.
3. OWNER TO SELECT CLADDING, ROOFING, DOOR TYPES, FINISHES AND ALL OTHER ARCHITECTURAL DETAILS TO BE CONFIRMED.

GROUND/SLAB ANCHOR (GA or SA) REQUIREMENTS				
Shed Length	GA/Side	Quan	Location - Spacing	Notes
24' or Less	2	4	@ Corners	Connected or Strapped to Skids
26' to 34'	3	6	@ Corners & Mid Wall	"
36' to 40"	4	8	@ Corners & Evenly Spaced (13'-4" Max)	"



Attachment 5 684 The
Queensway South (A23-22)
Page 3 of 6

DESIGN: To OBC Part 9
Wood Frame Building

LOADS: FLOOR LIVE = 2.4kPa DEAD = 0.5kPa ROOF SNOW Ss = 2.9kPa Sr = 0.4kPa S = 1.71kPa WIND q_{so} = 0.55 lw = 1.0 Ce = 0.9

Building Area <55m² (Wood Mud Sill Support) OBC 9.35.3.3
Anchorage as per OBC 9.23.6.3



REV.	DESCRIPTION	DATE	DES	CHK
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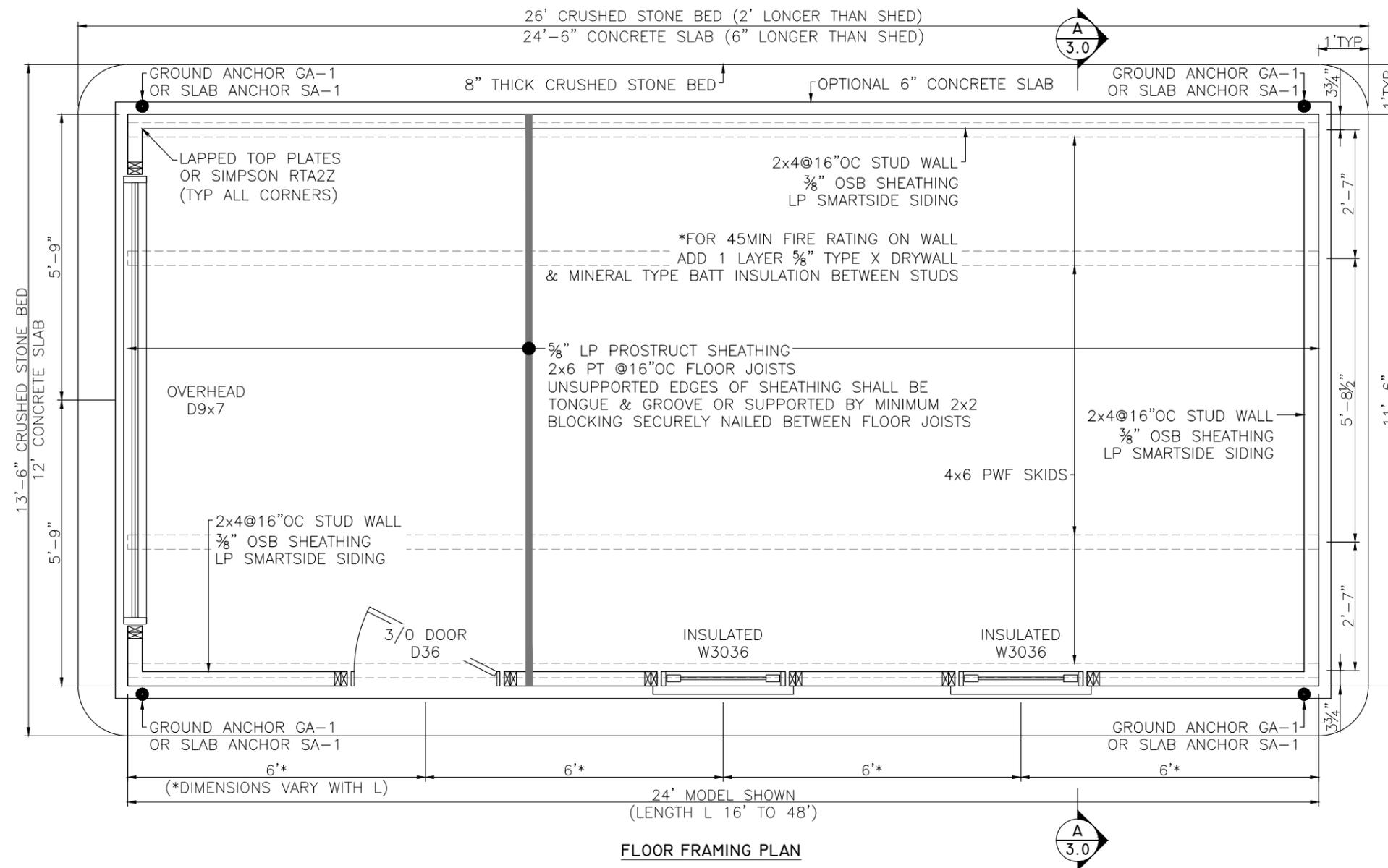
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705 228 8412 ckevans@e7.ca

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RED SHED CO
22753 HWY 48, BROWN HILL, ONTARIO

12' WIDE "CLASSIC" SHED
ELEVATIONS

Contract RED SHED CO	SCALE - UNO 1/4"=1'	Drawing No. 2998-C12	Sheet 1.0	Revision 0
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- ABBREVIATIONS:
- AB - ANCHOR BOLT
 - B/BM - BEAM
 - BG - BELOW GRADE
 - B.M. - BENCH MARK
 - BLL - BOTTOM LOWER LAYER
 - BUL - BOTTOM UPPER LAYER
 - C/COL - COLUMN
 - CMU - CONCRETE MASONRY UNIT
 - CONC - CONCRETE
 - CONT - CONTINUOUS
 - D/DR - DRAIN
 - DL - DRAINAGE BOARD
 - DP - DRAIN PIPE (PERFORATED W/SOCK)
 - EF - EACH FACE
 - EW - EACH WAY
 - EXIST - EXISTING
 - FIN - FINISH
 - FD - FLOOR DRAIN
 - FL - FLOOR
 - FTG - FOOTING
 - FW - FOUNDATION WALL
 - H - HORIZONTAL
 - INSUL - INSULATION
 - IIL - INSIDE INNER LAYER
 - IOL - INSIDE OUTER LAYER
 - JST - JOIST
 - L - ANGLE (STEEL)
 - LB - LOAD BEARING (WALL)
 - LIN - LINTEL
 - M - REBAR SIZE DESIGNATION(10M,15M)
 - OC - ON CENTRE
 - OIL - OUTSIDE INNER LAYER
 - OOL - OUTSIDE OUTER LAYER
 - PL - POINT LOAD (FROM ABOVE)
 - PT - PRESSURE TREATED
 - R - RISER
 - RFT - RAFTER
 - REBAR - REINFORCING STEEL
 - RW - RETAINING WALL
 - SWS - STRUCTURAL WOOD SCREWS
 - TBR - TO BE REMOVED
 - TBD - TO BE DETERMINED (ON SITE)
 - TLL - TOP LOWER LAYER
 - TUL - TOP UPPER LAYER
 - TYP - TYPICAL (DETAIL)
 - UNO - UNLESS NOTED OTHERWISE
 - V - VERTICAL
 - VB - VAPOUR BARRIER
 - W/ - WITH
 - WWM - WELDED WIRE MESH

FLOOR FRAMING PLAN

SPECIFICATIONS

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE:

Ontario Building Code 2012 (OBC), Applicable CSA, CCMC, CGSB Codes & Manufacturers Specifications.

1. Excavate to lines indicated, remove any soft or organic material with bearing capacity less than 100kPa and replace with Compacted Granular Backfill or Type 1 Crushed Stone.
2. Place & compact Crushed Stone in 6" layers compacted to min 150kPa Bearing Capacity
3. Confirm all dimensions and layout with building footprint to be installed.
4. Install Ground Anchors as Manufacturers instructions. Test all Ground Anchors to Specified Tension Load.
5. Connect anchors tightly to each corner and spaced evenly across the length of the building with straps or cable extending across the skids or connected directly to the skids. ensure there are no tripping or other hazards to the public.

MATERIAL SPECIFICATIONS:

1. GRANULAR BACKFILL: Granular B to OPS1010 Compacted to 150kPa Bearing Cap.
2. TYPE 1 CRUSHED STONE: OPSS 1002 37.5mm (LS-602) or HL-6 Compacted to 150kPa Bearing Cap.
3. ANCHOR BOLTS, SCREWS and HARDWARE- A307 Hot dipped galvanized.
4. GROUND ANCHOR GA-1 - Manufactured GROUND ANCHOR as per B&R STAMPING or AMERICAN EARTH ANCHOR - Installed minimum 4' below grade with an Ultimate Tension Capacity of 6.0kN or 1340lbs or Specified Allowable Tension Capacity of 3.0kN or 670lbs. (TEST LOAD).
5. LUMBER: Gr.2 S-P-F
OSB SHEATHING: LP Sheathing
PT Lumber: Gr.2 SYP (Southern Yellow Pine) Pressure Treated lumber for above ground use
PWF Lumber: Gr.2 SYP Pressure Treated for foundations, in ground and ground contact use
STRUCTURAL SCREWS: Simpson SDW or GRK RSS 1/4"Ø or eq
FASTENERS: ➤ All exposed nails shall be hot dipped galvanized,
➤ Spiral nails required as specified.
➤ Power driven nails of equivalent length & diameter may be used. Engineer shall approve variations. For smaller diameter nails use 25% more.
➤ Screws shall be #8 or greater, coated
TIES, HANGERS & CLIPS - As per SIMPSON STRONG TIE
coated to suit application.



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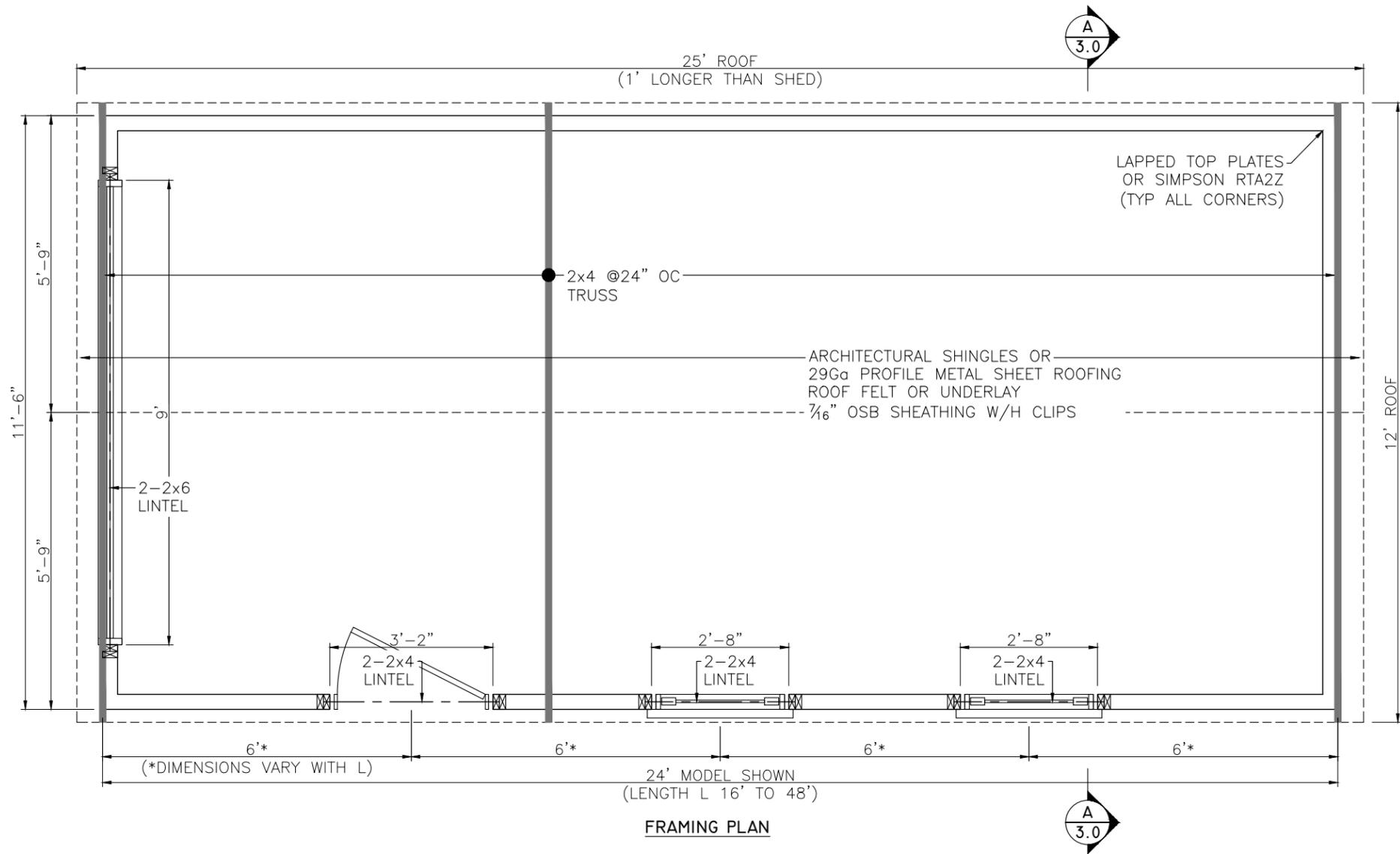
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RED SHED CO
22753 HWY 48, BROWN HILL, ONTARIO

12' WIDE "CLASSIC" SHED
FLOOR FRAMING PLAN

Contract RED SHED CO	SCALE - UNO 3/8"=1'	Drawing No. 2998-C12	Sheet 2.0	Revision 0
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Attachment 5 684 The
Queensway South (A23-22)
Page 4 of 6



FRAMING PLAN



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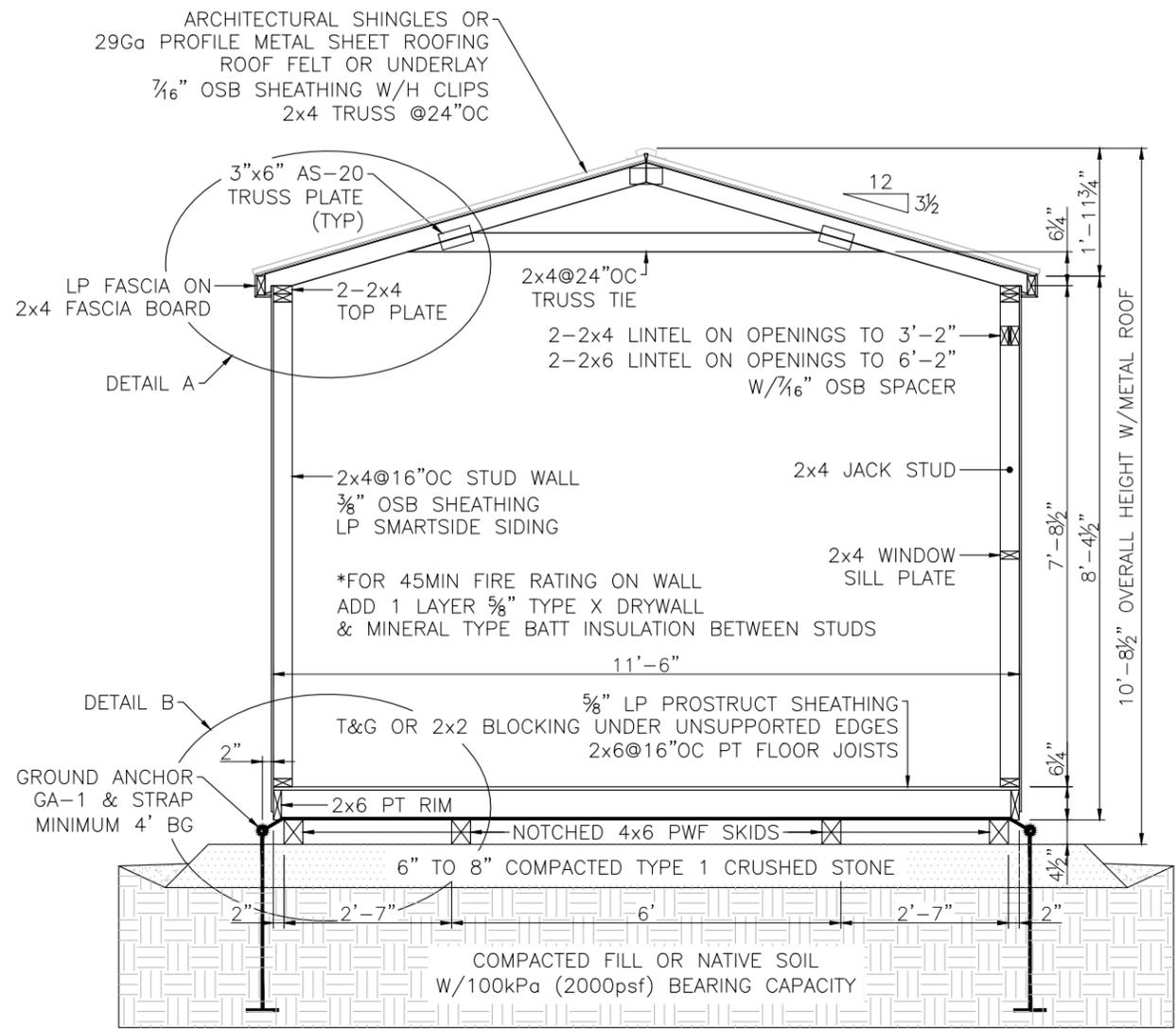
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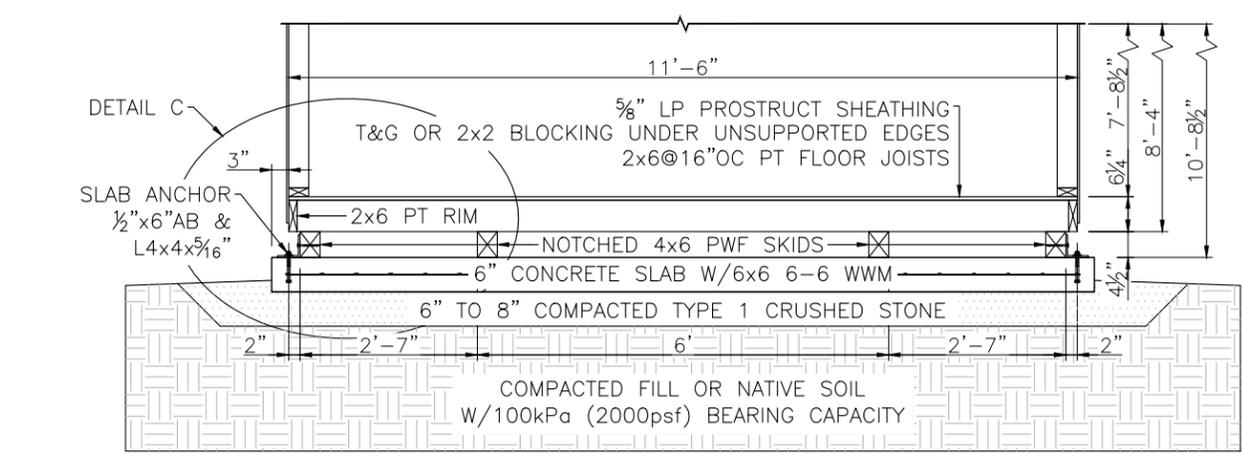
12' WIDE "CLASSIC" SHED
FRAMING PLAN

Contract RED SHED CO	SCALE - UNO 3/8"=1'	Drawing No. 2998-C12	Sheet 2.1	Revision 0
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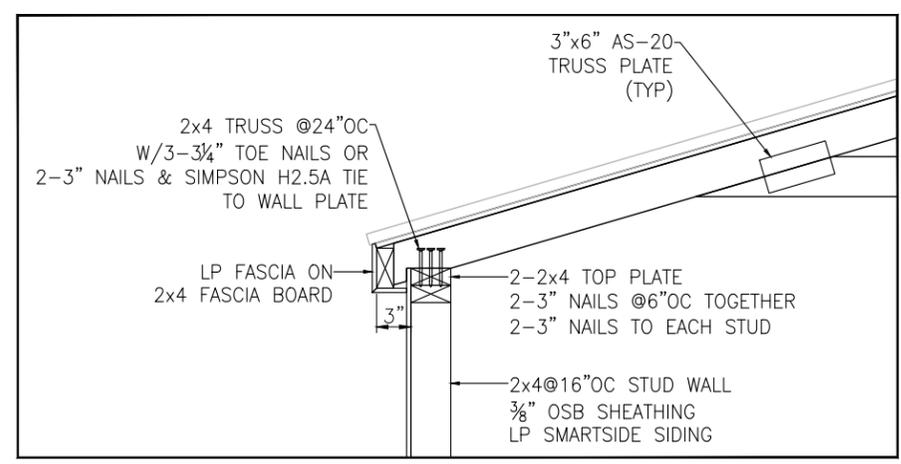
Attachment 5 684 The
Queensway South (A23-22)
Page 5 of 6



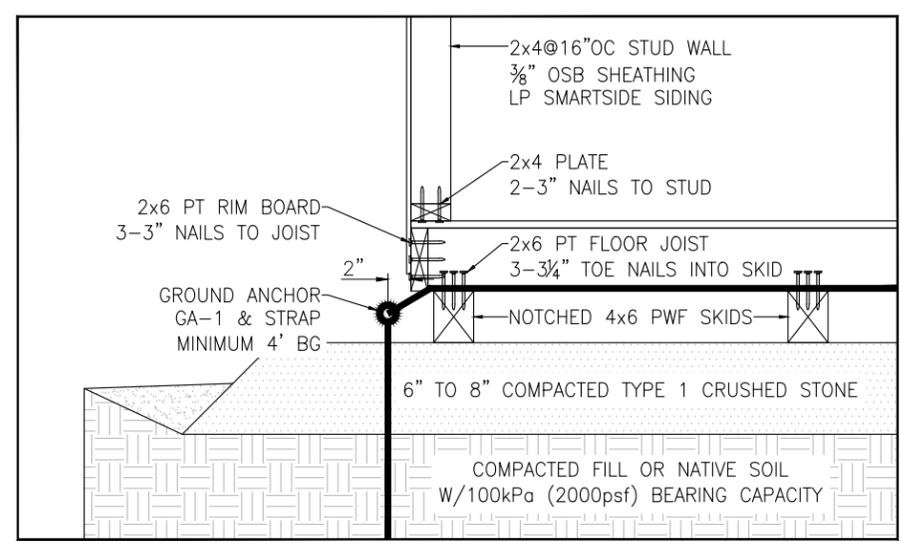
SECTION A-A
W/ GRAVEL PAD FOUNDATION 2.0 2.1



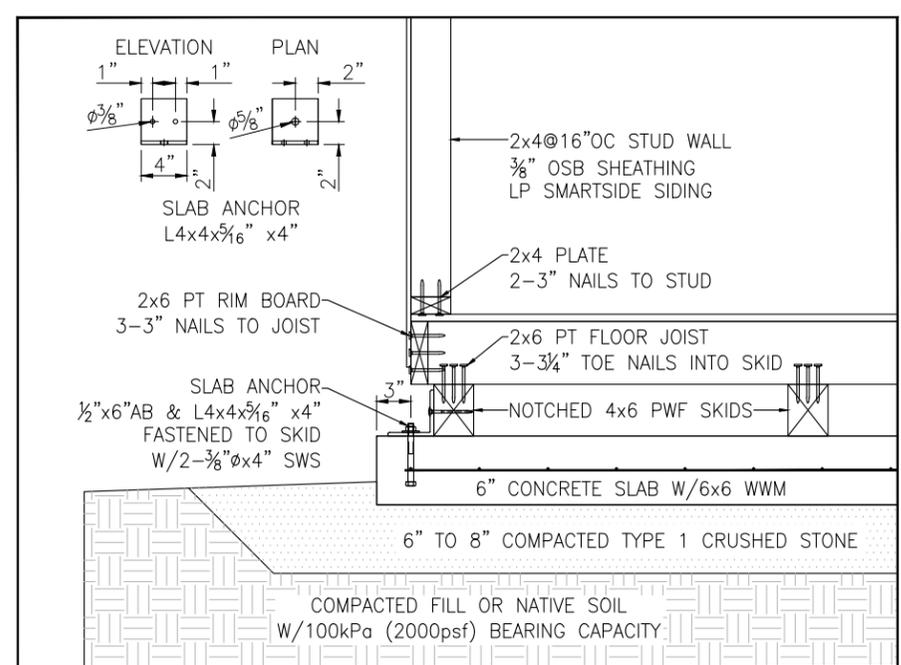
SECTION A-A
W/ CONCRETE SLAB FOUNDATION 2.0 2.1



DETAIL A
SCALE 3/4"=1" 3.0



DETAIL B
SCALE 3/4"=1" 3.0



DETAIL C
SCALE 3/4"=1" 3.0



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RED SHED CO
22753 HWY 48, BROWN HILL, ONTARIO

12' WIDE "CLASSIC" SHED
SECTIONS & DETAILS

Contract RED SHED CO	SCALE - UNO 3/8"=1"	Drawing No. 2998-C12	Sheet 3.0	Revision 0
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Consolidated Comments for A23-22 - 684 TQS

Department/Agency	Date Received	Response:
Tax & Revenue	September 9, 2022	No Comments
Engineering		1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2011-0044 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
Operations & Infrastructure	September 12, 2022	No Comments
Community Services		
Building	September 21, 2022	No Comments
Municipal Law	September 12, 2022	No Comments
Clerks Division		
Georgina Fire Department		
Building Inspector		
Economic Development	September 16, 2022	No Comments
York Catholic District School Board	September 19, 2022	No Comments
Bell Canada		
Canada Post		
Hydro One		
Enbridge Gas		
York Region District School Board		
Hydro One		
York Regional Police		
Lake Simcoe Region Conservation Authority		
Rogers		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	September 9, 2022	outside of MTO permit control area and do not require MTO permits or review.
Ontario Power Generation		
Southlake Regional Health Centre		
Planning Policy Division	September 12, 2022	1. Please provide an Arborist Report and Tree Compensation Plan to the Town in accordance with our Tree Preservation and Compensation Policy.
York Region	September 14, 2022	No Comments