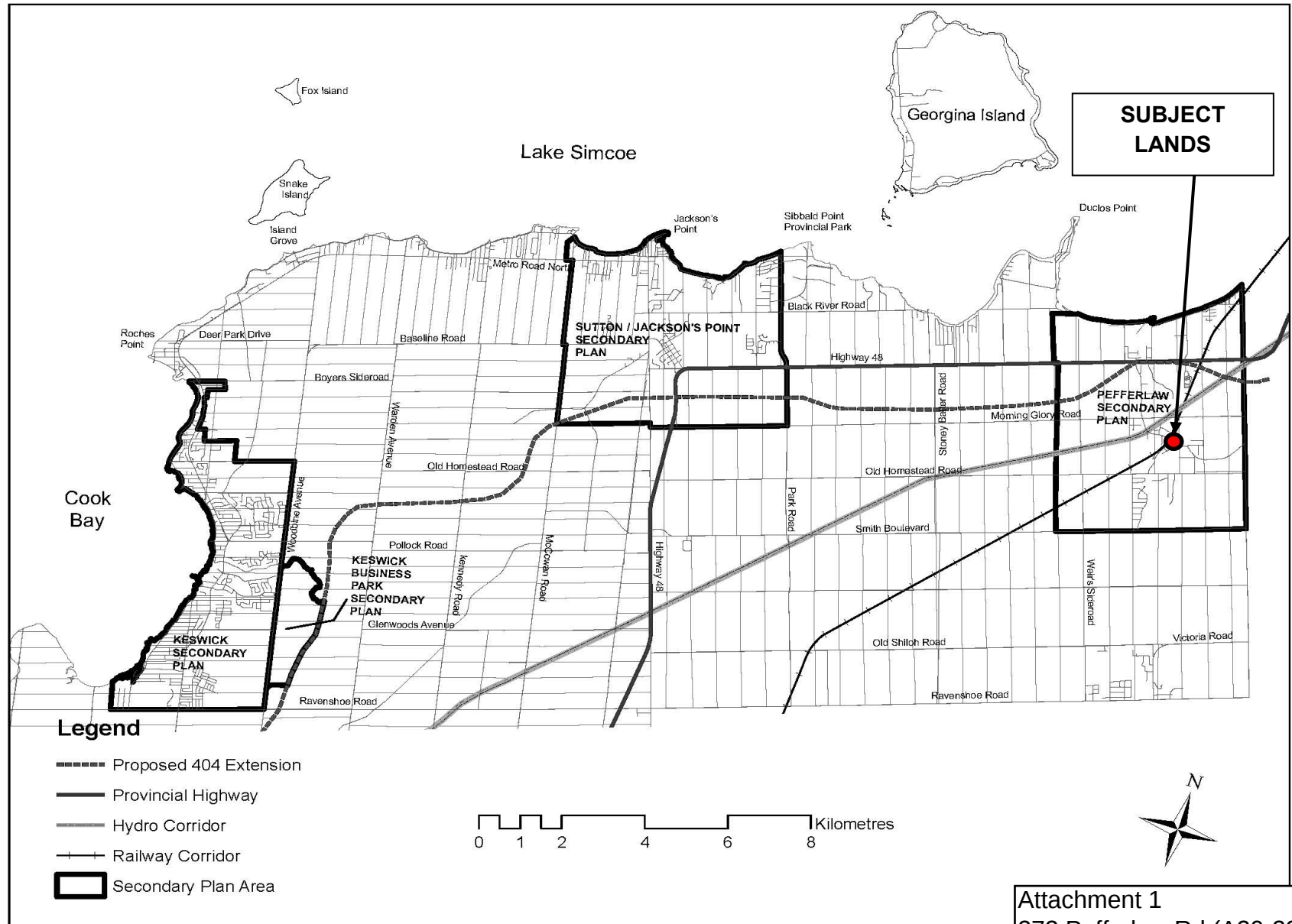
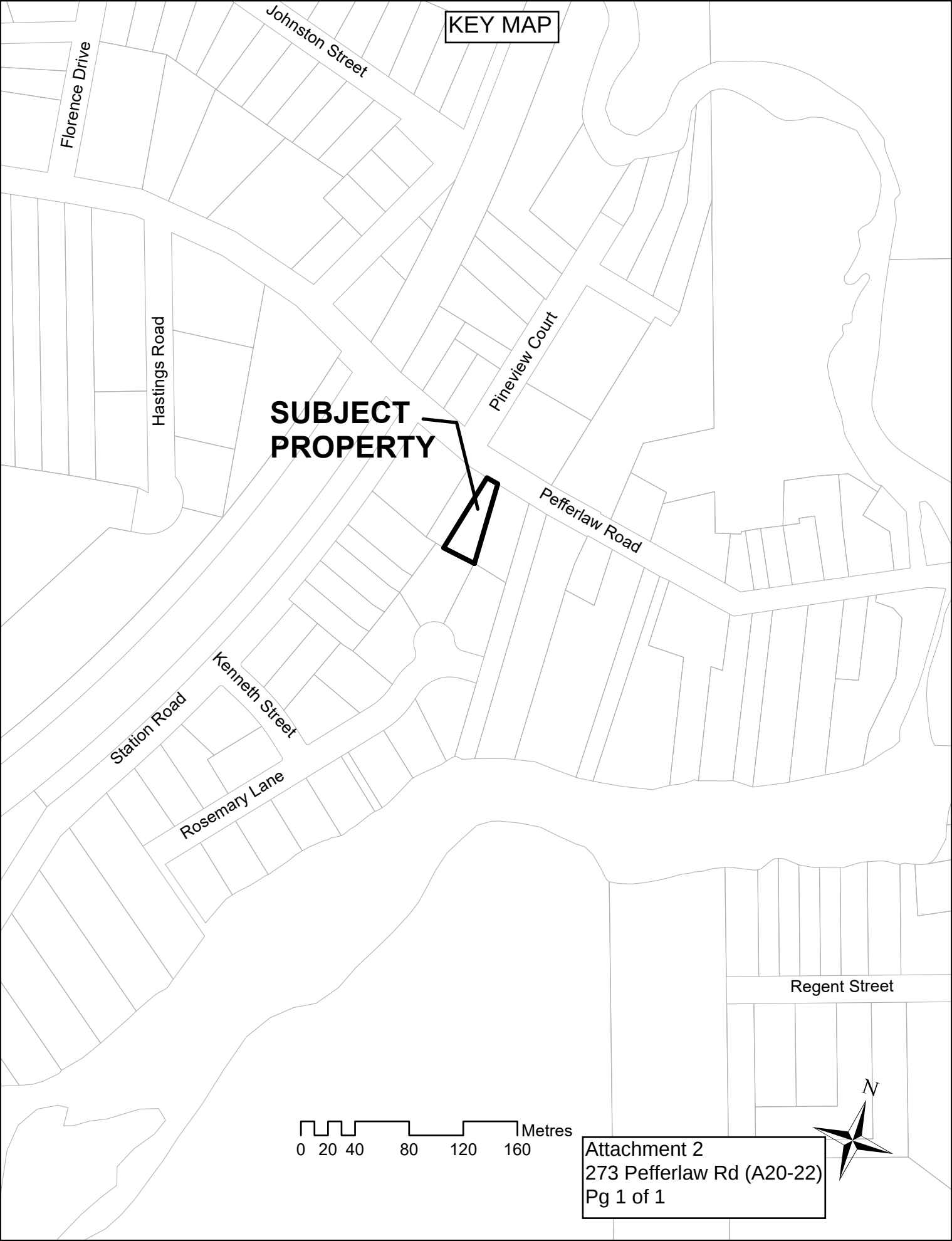


Context Map

273 Pepperlaw Road



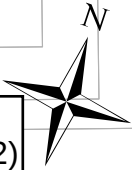


KEY MAP

**SUBJECT
PROPERTY**

0 20 40 80 120 160 Metres

Attachment 2
273 Pefferlaw Rd (A20-22)
Pg 1 of 1



AERIAL MAP

Station Road

Pineview Court

SUBJECT
PROPERTY

Pefferlaw Road



SITE PHOTOS

273 Pepperlaw Rd
Facing South



273 Pepperlaw Rd
Facing North



273 Pepperlaw Rd
Facing North



273 Pepperlaw Rd
Facing South



273 Pepperlaw Rd
Facing East



GENERAL NOTES:

1. ALL GRADING TO BE COMPLETED IN STRICT ACCORDANCE WITH THE APPROVED PLAN. THE TOWN WILL BE CONSULTED PRIOR TO ANY CHANGES BEING MADE TO THE SITE GRADING. A REVISED PLAN OR AS-BUILT DRAWING MAY BE REQUIRED AT THE DISCRETION OF THE TOWN;
2. ALL DISTURBED AREAS SHALL BE RESTORED WITH 150MM TOPSOIL AND STABILIZED WITH SEED OR SOD;
3. SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE PRIOR TO CONSTRUCTION, AND MAINTAINED FOR THE DURATION OF THE PROJECT;
4. DRAINAGE SWALES SHALL HAVE A MINIMUM DEPTH OF 0.15M AND ALL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 3:1;
5. SURFACE AND ROOF RUNOFF SHALL BE DIRECTED TOWARDS THE ROAD DITCH;
6. THE CONSULTANT'S FINAL LOT GRADING CERTIFICATE IS REQUIRED (IF REQUESTED) TO BE PROVIDED PRIOR TO THE TOWN'S FINAL INSPECTION AND DEPOSIT RELEASE.
7. EXISTING DRAINAGE PATHS OF ADJOINING LANDS SHALL NOT BE ALTERED;
8. ALL EXCESS FILL MATERIALS SHALL BE REMOVED FROM THE SITE;
9. ALL WORK TO BE IN STRICT COMPLIANCE WITH THE APPROVED PERMIT AND GRADING PLANS.

HOUSE ELEVATIONS:
FFF = 231.03
USF = 230.73
BS = 228.34
USF = 228.18

FFF: FINISHED FIRST FLOOR
TFW: TOP OF FDN WALL
BS: BASEMENT SLAB
USF: UNDERSIDE FOOTING

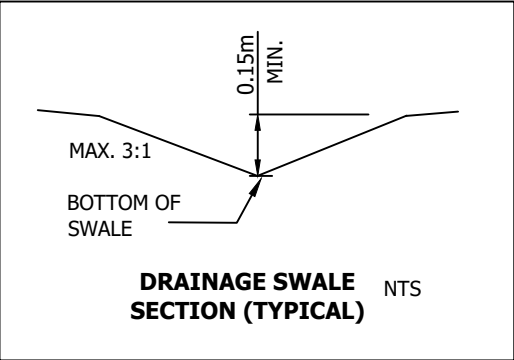
NOTE: CONTRACTOR SHALL
VERIFY BUILDING ELEVATIONS
WITH ARCHITECTURAL DRAWINGS
BEFORE FOUNDATION WORKS.

LOT AREA: 1,050.0 sq.m
PROPOSED BLDG: 145.9 sq.m
LOT COVERAGE: 13.9 %

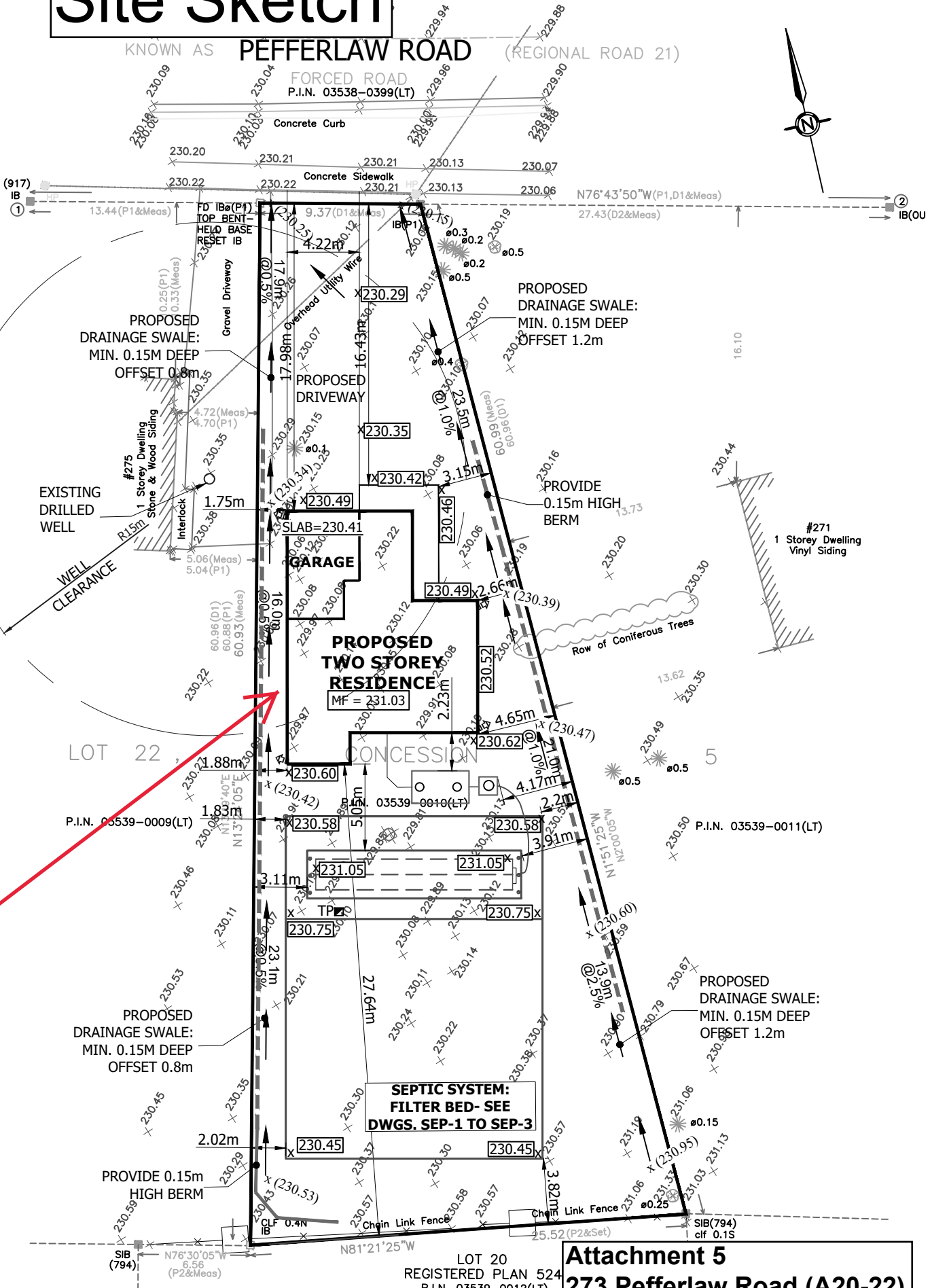
BASED ON A SURVEY

DISTANCE FROM CN
RAILWAY: 95 metres

Section 5.4: To permit the construction of a single family dwelling within 95 metres of Canadian National Railway property; whereas a minimum distance of 120 metres is required.



Site Sketch



- LEGEND**
- x 230.07 EXISTING ELEVATIONS
 - x (230.15) SWALE ELEVATIONS
 - 230.42 PROPOSED ELEVATIONS
 - ROOF DOWNSPOUTS
 - SWALE DIRECTIONS
 - SURFACE DRAINAGE DIRECTIONS
 - HP HYDRO POLE
 - EXISTING TREE
 - TP TEST PIT



RESIDENCE
PART LOT 22, CONC 5
273 PEPPERLAW ROAD
TOWN OF GEORGINA

SITE GRADING PLAN
- SINGLE FAMILY DWELLING

BJH Engineering Ltd.
#25944 Woodbine Avenue,
Keswick, Ontario L4P 0L1
phone: 1.888.530.0699
email: bjhongconsulting@gmail.com
www.bjhengineering.ca

PROJECT NO.: **22-1692**
DRAWING NO.: **GP-1**
Date: JUNE 2022
Scale: 1 : 300
Designed By: BH
Drawn By: BH

Attachment 5
273 Pepperlaw Road (A20-22)
Pg 1 of 1

Consolidated Comments for A20-22 - 273 Pepperlaw Rd

Department/Agency	Date Received	Response:
Tax & Revenue		
Engineering	August 18, 2022	The Development Engineering Division has no objection to Minor Variance Application No. A20-22, subject to the following condition(s) being fulfilled to the Engineering Development Division's satisfaction: 1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2011-0044 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division. 2. The applicant/owner shall apply for an Entrance Permit through the applicable road authority.
Operations & Infrastructure		
Community Services		
Building	August 10, 2022	No Comments
Municipal Law	August 11, 2022	No comments
Clerks Division		
Georgina Fire Department	August 15, 2022	No objections
Building Inspector		
Economic Development	August 9, 2022	No Comments
York Catholic District School Board		
Bell Canada		
Canada Post		
Hydro One		
Enbridge Gas		
York Region District School Board		
Hydro One		
York Regional Police		
Lake Simcoe Region Conservation Authority		
Rogers		
Ministry of Municipal Affairs & Housing		

Consolidated Comments for A20-22 - 273 Pefferlaw Rd

Ministry of Transportation	August 10, 2022	273 Pefferlaw Road is outside of MTO permit control and does not require MTO review or permits.
Ontario Power Generation		
Southlake Regional Health Centre		
Planning Policy Division	August 18, 2022	Please provide an Arborist Report and Tree Compensation Plan to the Town in accordance with our Tree Preservation and Compensation Policy.
CN Rail	August 16, 2022	CN recommends the following to be implemented as conditions of approval: • Registration of an environmental easement for operational noise and vibration emissions, in favor of CN • Implementation of certain basic mitigation measures in the dwelling design and construction in order to limit potential impacts, including: - o Provision for air-conditioning, allowing occupants to close windows during the warmer months; - o Exterior cladding facing the railway achieving a minimum STC rating of 54 or equivalent, e.g. masonry; - o Acoustically upgraded windows facing the railway with appropriate specifications; - o Locating noise sensitive rooms away from the railway side;
York Region		