



THE CORPORATION OF THE
TOWN OF GEORGINA
Committee of Adjustment

Monday, August 18, 2025
7:30 PM

Pages

1. ROLL CALL

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

2. INTRODUCTION OF ADDENDUM ITEM(S)

3. DECLARATION OF PECUNIARY INTEREST

4. EXPLANATION OF HEARING PROCEDURE

5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

6. APPLICATIONS FOR CONSENT

1. CONSENT APPLICATION CON-2025-0007
208 WYNHURST ROAD

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- a. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Consent Application CON-2025-0007 submitted by the owners for the properties municipally addressed as 204 and 208 Wynhurst Road; and,
- b. That in the event no public or Committee concerns are raised at the meeting, warranting investigation and a further meeting, Staff recommend the following:
 - a. That the Committee of Adjustment approve Consent Application CON-2025-0007 as it pertains to the properties

known as 204 and 208 Wynhurst Road, to sever and convey the Severed Lands from the Remainder Lands and convey same to the Beneficial Lands, as shown in Attachment 2 to Report No.; and,

- b. That the approval of Consent Applications CON-2025-0007 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of two (2) white prints of a deposited reference plan of survey to conform substantially with the applications, as submitted;
 - ii. Submission to the Secretary-Treasurer of draft transfer documents, in duplicate, conveying Severed Lands to Beneficial Lands as indicated on Attachment 2 to Report No. ;
 - iii. Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. have been addressed to the Authority's satisfaction;
 - iv. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

7. APPLICATIONS FOR MINOR VARIANCE

- 1. MINOR VARIANCE APPLICATION MV-2025-0011
34 DELLA STREET
PLAN 191, PART OF LOT 22

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- 1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Minor Variance Application MV-2025-0011, for the property municipally addressed as 34 Della Street; and,
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a. That the Committee of Adjustment approve Minor Variance Application MV-2025-0011 to permit relief from the following:
 - i. Section 6.1(f): To permit an interior side yard setback of 1.3 metres, whereas a minimum interior side yard of 2.5 metres is required;
 - ii. Section 6.1(i): To permit a maximum lot coverage of 36% whereas a maximum lot coverage of 35% is required;
 - b. That the approval of Minor Variance Application MV-2025-

0011 be subject to the following term(s):

- i. That the proposed single detached dwelling be constructed in general conformity with Attachment 2 to Report , in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application MV-2025-0011 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that the grading and drainage plan and complete drawing checklist have been addressed to the Division's satisfaction;
 - ii. Submission to the Secretary Treasurer of written confirmation from Development Planning Division that the existing shed be demolished; and
 - iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

2. MINOR VARIANCE APPLICATION MV-2025-0014
19 KLIMEK BOULEVARD
PLAN 495, LOTS 11 AND 12

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- 1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Minor Variance Application MV-2025-0014 for the property municipally addressed as 19 Klimek Boulevard; and,
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a. That the Committee of Adjustment approve Minor Variance Application MV-2025-0014 to permit relief from the following:
 - i. Section 5.1(b): To permit the construction of an accessory structure in the front yard, whereas an accessory structure shall not be erected in any yard other than in an interior side yard or rear yard;
 - b. That the approval of Minor Variance Application MV-2025-0014 be subject to the following term(s):
 - i. That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report , in accordance with the relief recommended to be approved in Recommendation 2a);
 - c. That the approval of Minor Variance Application MV-2025-0014 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of written

confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. have been addressed to the Division's satisfaction;

- ii. Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. have been addressed to the Authority's satisfaction;
- iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS

9. MINUTES OF PREVIOUS MEETING

- 1. July 14, 2025 Meeting Minutes

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10. COMMUNICATIONS

11. OTHER BUSINESS

12. NEXT MEETING

The next meeting is September 8, 2025.

13. ADJOURNMENT

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2025-0046

**FOR THE CONSIDERATION OF
THE COMMITTEE OF ADJUSTMENT
August 18, 2025**

**SUBJECT: CONSENT APPLICATION CON-2025-0007
208 WYNHURST ROAD**

1. RECOMMENDATIONS:

- a) That the Committee of Adjustment receive Report No. DS-2025-0046 prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Consent Application CON-2025-0007 submitted by the owners for the properties municipally addressed as 204 and 208 Wynhurst Road; and,
- b) That in the event no public or Committee concerns are raised at the meeting, warranting investigation and a further meeting, Staff recommend the following:
 - a. That the Committee of Adjustment approve Consent Application CON-2025-0007 as it pertains to the properties known as 204 and 208 Wynhurst Road, to sever and convey the Severed Lands from the Remainder Lands and convey same to the Beneficial Lands, as shown in Attachment 2 to Report No.DS-2025-0046; and,
 - b. That the approval of Consent Applications CON-2025-0007 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of two (2) white prints of a deposited reference plan of survey to conform substantially with the applications, as submitted;
 - ii. Submission to the Secretary-Treasurer of draft transfer documents, in duplicate, conveying Severed Lands to Beneficial Lands as indicated on Attachment 2 to Report No. DS-2025-0046;
 - iii. Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0046 have been addressed to the Authority's satisfaction;
 - iv. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

2. PURPOSE:

The purpose of this report is to provide Staff's analysis and to outline comments received with respect to Consent applications CON-2025-0007, submitted by the owners for the property known as 208 Wynhurst Road.

3. **BACKGROUND:**

Property Description: (refer to Attachments 1 to 4)
208 Wynhurst Road
Concession 3, Part of Lot 8, Registered Plan 65R-25043 Part 2
Roll No.:144-54175

204 Wynhurst Road
Plan 244 Lot 32
Roll No.: 144-543

3.1 **PROPOSAL:**

The Applicant has applied for a consent for a lot boundary adjustment, seeking approval to sever a portion of 204 Wynhurst Road (Remainder Lands) and add it to 208 Wynhurst Road (Beneficial Lands). The application is for a boundary adjustment; thus, no new lots will be created.

The Applicant owns both properties and wishes to adjust the boundaries to make the lot lines more uniform.

The proposed consent plan is included as Attachment 2.

3.2 **SUBJECT PROPERTY AND SURROUNDING AREA:**

The subject properties are located in Keswick, South of Riverglen Drive. A summary of the property characteristics is below:

General Property Information	
Municipal Address	208 Wynhurst Road (Beneficial Lands) 204 Wynhurst Road (Retained Lands)
Zoning	Low-Density Urban Residential (R1) Zone
Frontage	Retained Lands: 39.81 metres Beneficial Lands: 17.95 metres Severed Lands: 17.11 metres
Area	Retained Lands: 1391.03 square metres Beneficial Lands: 975 square metres Severed Lands: 317.06 square metres

Official Plan / Secondary Plan Land Use Designation	Existing Neighbourhood (Keswick Secondary Plan)	
Regional Official Plan Land Use Designation	Community Area	
Related Applications	NA	
Land use and Environmental	Considerations	
Existing Structures	208 Wynhurst Road: Single Detached Dwelling and one accessory structure 204 Wynhurst Road: Single Detached Dwelling and three accessory structures Proposed Severed Lands: None	
Proposed Structures	NA	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	The Beneficial Lands and the Severed Lands are partially within the Regulated Area	
Services		
	Existing	Proposed
Water	Municipal	Municipal
Sanitary	Municipal	Municipal
Driveway	Existing Driveways	Existing Driveways

The Remainder Lands has a frontage of approximately 39.81 metres and a lot area of approximately 1391.03 square metres. The Beneficial Lands has a frontage of approximately 17.95 metres and a lot area of approximately 975 square metres. Approximately 317.06 square metres (as shown on Attachment 2), as the Severed Lands are being severed and conveyed from the Remainder Lands to the Beneficial Lands. There is a single detached dwelling and one accessory structure on the Beneficial Lands. There is a single detached dwelling and three accessory structures located on the Retained lands.

The surrounding land uses are generally described as follows:

North: Krates Marina;
 East: low-density residential uses;
 South: low-density residential uses;
 West: low-density residential uses.

4. PUBLIC CIRCULATION AND NOTICE REQUIREMENTS

4.1 PUBLIC CIRCULATION:

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by Mail on July 29, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Staff have received one comment from the general public.

The submitted comment from the public does not object to the proposal but has concerns with the boundaries and land use issues in the surrounding neighbourhood and how it affects their property.

4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

Town departments and external agencies have been circulated for comments.

The Lake Simcoe Region Conservation Authority (LSRCA) has indicated no objections and requires, as a condition of the minor variance, that the application / owner shall pay the LSRCA Plan review Fee in accordance with the approved LSRCA Fee Schedule (Attachment 4).

The Operations and Infrastructure Department has indicated no objections and acknowledges that Wynhurst Road is not owned or assumed by the Town of Georgina. As a result, it falls outside the scope of the Town's regular infrastructure programs and services (Attachment 4).

The following internal departments and external agencies have indicated no concerns:

- Building Division
- Georgina Fire Department
- Hydro One
- Ministry of Transportation
- Municipal Law Enforcement Division
- Tax and Revenue Division
- York Region District School Board
- York Catholic District School Board
- York Region

5. ANALYSIS:

5.1 Provincial Planning Statement (PPS) (2024), Greenbelt Plan (GBP) (2017), and Lake Simcoe Protection Plan (LSPP) (2009)

The subject property is located in Keswick, a defined 'Settlement Area' under the Provincial Planning Statement, Greenbelt Plan, and the Lake Simcoe Protection Plan. Lot line adjustments and lot creation are permitted in Settlement Areas.

Staff have reviewed the proposal against the above-noted Provincial Plans and are of the opinion that the proposal is consistent with the Provincial Policy Statement and conforms to the Provincial Greenbelt Plan and Lake Simcoe Protection Plan. It is also noted that the Lake Simcoe Region Conservation Authority (LSRCA) did not raise any concerns with the proposal, as 208 Wynhurst Road is only partially regulated by the LSRCA.

5.2 York Region Official Plan (YROP) (2022)

The subject property is designated 'Community Area' on Map 1a of the York Region Official Plan (YROP). Staff have reviewed the subject Consent applications against the document. Section 4.2.4 of the YROP states that municipalities will provide a balance of residential uses. Pursuant to Section 70.13 (2) of the *Planning Act* (as amended by Bill 23), the relevant policies of the YROP are deemed to constitute part of the Town of Georgina Official Plan until the Town either revokes or amends them to provide otherwise. In this regard, it is anticipated that the relevant policies of the YROP will be incorporated into the Town's Official Plan as part of a future comprehensive update. Staff have reviewed the proposal against the above-noted Regional Plan and are of the opinion that the proposal is consistent with the York Region Official Plan.

5.3 KESWICK SECONDARY PLAN (2023)

The subject properties are designated 'Existing Neighbourhood' on Schedule 'B' – Lane Use Plan to the Keswick Secondary Plan (KSP) 2023. Single detached dwellings and accessory buildings are permitted in the Existing Neighbourhood Area designation.

Section 13.1.8.4.2 (b) specifies that Consents may be permitted for such reasons as the creation of a new lot, lot boundary adjustments, right-of-way, easements, or to convey additional lands to an abutting lot, provided an undersized lot is not created. Section 13.1.8.4.2 (e) of the KSP also specified eight tests that specify Consents shall only be granted where:

- i) *It is clearly not in the public interest that a plan of subdivision be registered;*

A plan of subdivision is not required since no new lots are being created.

- ii) *The lot can be adequately serviced by roads, municipal sanitary sewage disposal, municipal water supply, and storm drainage facilities;*

No new lots are being created. Both lots have frontage on Wynhurst Road, which is maintained by municipal services and is serviced by municipal services.

- iii) *No extension, improvement or assumption of municipal services is required;*

No new lots are being created; therefore, no extension, improvement or assumption of municipal services is required.

- iv) *The lot will have adequate frontage on an open and assumed public road, and access will not result in traffic hazards;*

Wynhurst Road is a private, unassumed road. However, no new lots are being created; as such, this policy does not apply to lot boundary additions/adjustments.

- v) *The lot will not restrict the ultimate development of adjacent lands;*

The properties are located in an established neighbourhood of Keswick. Staff note that the adjacent lands are already developed and are not designated for future redevelopment; therefore, the proposal is not anticipated to restrict the ultimate development of the adjacent lands.

- vi) *The size and shape of the lot conforms to the Zoning By-law, and is appropriate for the use proposed and is compatible with adjacent lots;*

The subject properties are zoned Low Density Urban Residential (R1) in Zoning Bylaw 500, as amended. Both properties already contain single-detached dwellings and accessory structures, which will remain on their respective lots. A zoning review has determined that the lot boundary addition will not cause any deficiencies in lot coverage or setbacks, nor require additional relief to be sought to the By-law. Furthermore, the lot boundary addition also complies with the minimum lot area (450 square metres) and minimum lot frontage (15 metres) requirements set out in the zoning for the R1 zone.

6. CONCLUSION:

Staff are of the opinion that Consent application CON-2025-0007 is consistent with the relevant Provincial, Regional and Town planning policies and complies with the criteria under Section 51(24) of the *Planning Act*.

Staff recommend that Consent application CON-2025-0007 be approved, subject to the recommended conditions.

APPROVAL

Prepared By: Monika Sadler
Planner I

Approved By: Jeff Healey, MCIP, RPP
Supervisor of Development Planning

Attachments:

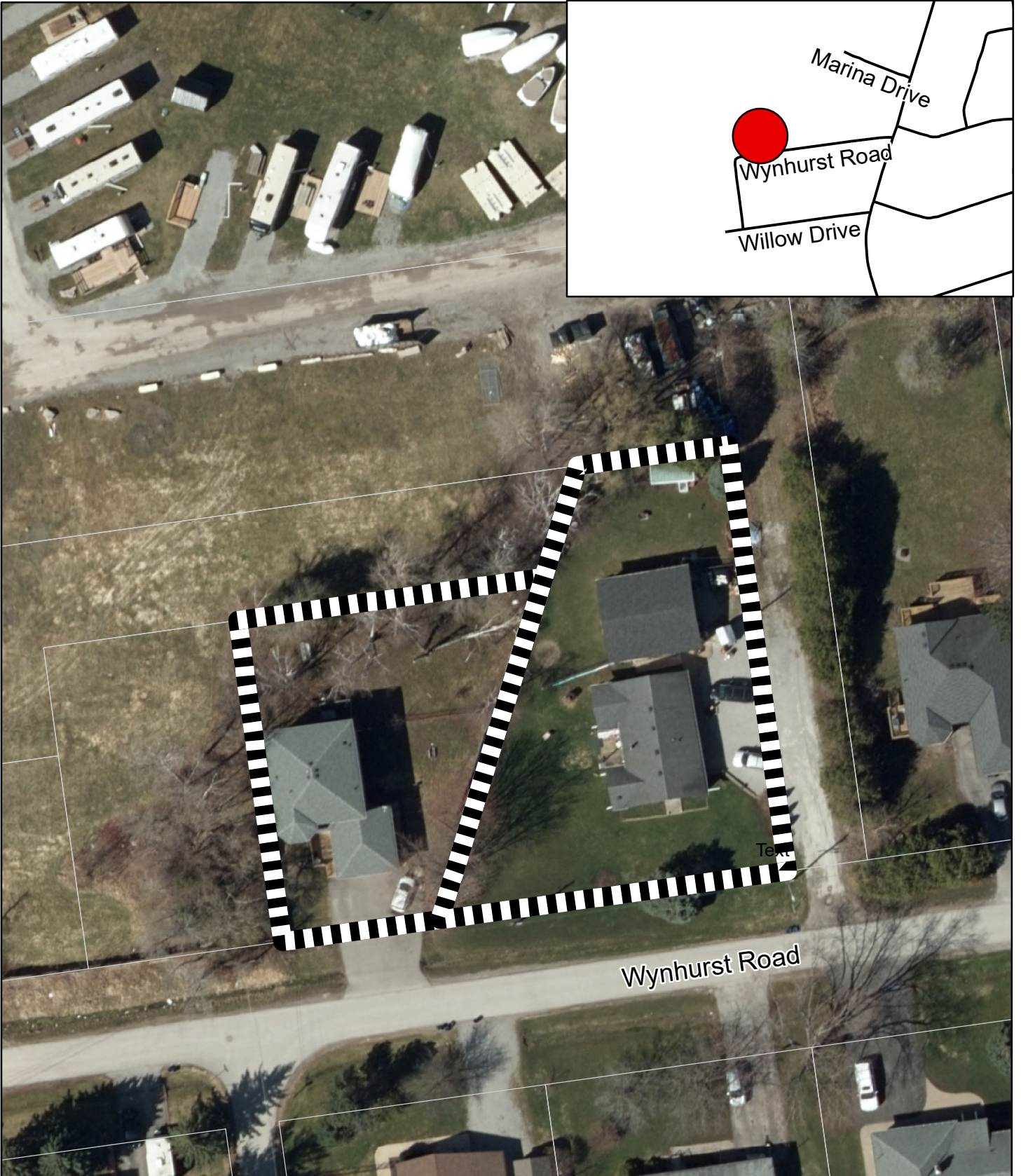
Attachment 1 – Location Map

Attachment 2 – Site Sketch

Attachment 3 – Site Photos

Attachment 4 – Consolidated Comment Chart

Attachment 5 – Public Comments



LOCATION MAP

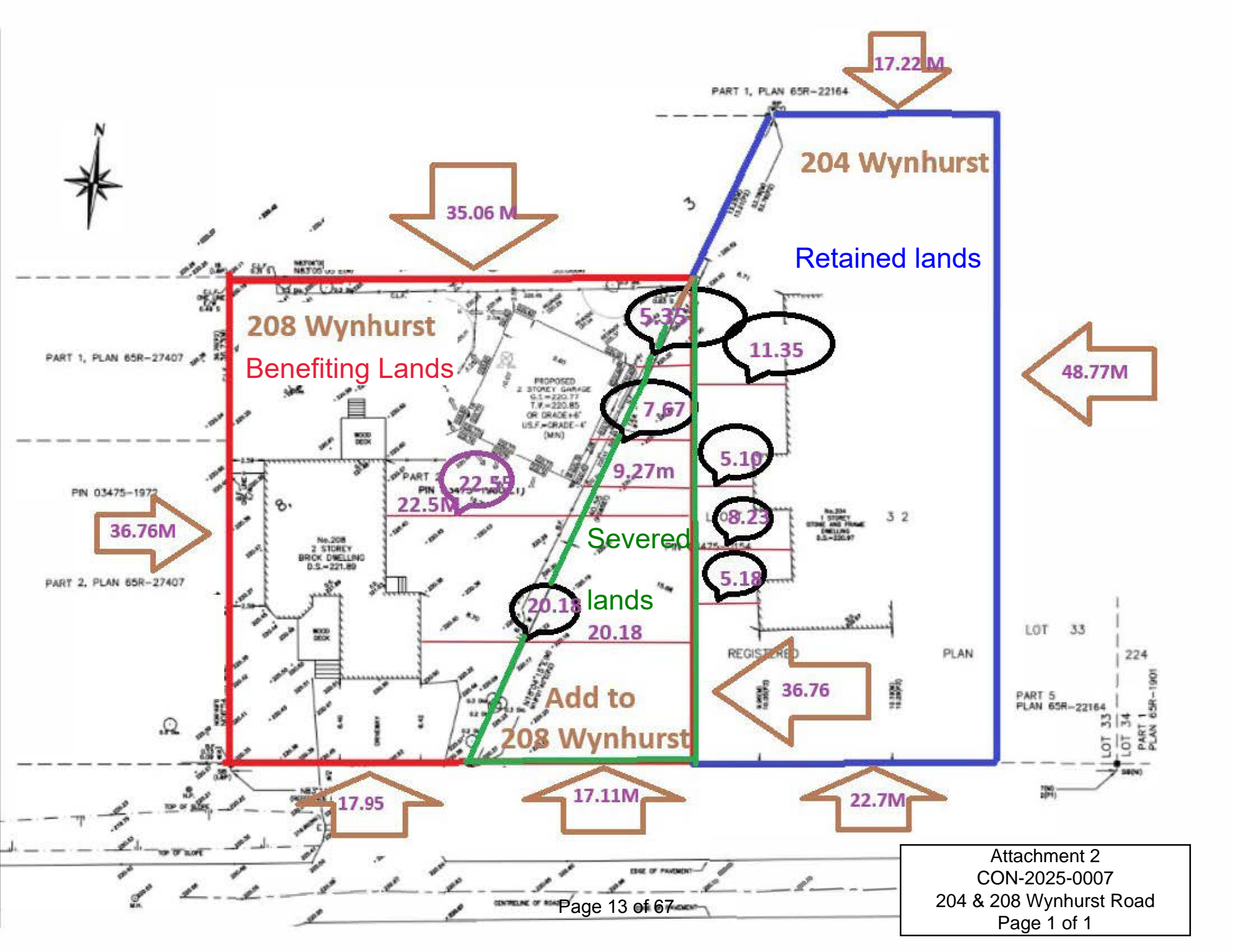


SUBJECT LAND

0 5 10 20 Meters
|-----|-----|-----|-----|

N





Site Photos

204 & 208 Wynhurst Road
Facing North



204 & 208 Wynhurst Road
Facing North





204 & 208 Wynhurst Road
Facing South



204 & 208 Wynhurst Road
Facing West



Consolidated Comments for CON-2025-0007 208 Wynhurst Road

Department/Agency	Date Received	Response:
Building Division	July 4, 2025	No concerns
Building/Plumbing Inspector	July 25, 2025	No objections
Development Engineering	July 24, 2025	No comments
Economic Development		
Georgina Fire Department	July 8, 2025	Georgina Fire Department has no objections to this consent.
Municipal Law	July 7, 2025	No comments
Operations & Infrastructure	July 30, 2025	The Operations and Infrastructure Department acknowledges that Wynhurst Road is not owned or assumed by the Town of Georgina. As a result, it falls outside the scope of the Town's regular infrastructure programs and services.
Tax & Revenue	July 2, 2025	No Tax concerns
Lake Simcoe Region Conservation Authority (LSRCA)	July 30, 2025	See Attached
York Catholic Separate District School Board	July 3, 2025	No comments or objections
York Region - Community Planning & Development Services	July 3, 2025	No comment
York Region District School Board	July 2, 2025	No comments or objections



Sent via e-mail: bflatt@georgina.ca

July 29, 2025

Municipal File No.: CON-2025-0007
LSRCA File No.: VA-157685-070225

Brianna Flatt
Secretary-Treasurer to the Committee of Adjustment
Planning Division, Development Services Department
26557 Civic Centre Rd
Keswick, ON L4P 3G1

Dear Ms. Flatt,

Re: Application for Consent
204 & 208 Wynhurst Road
Town of Georgina
Owner/Applicant: Michael and Lisa Herman

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner has submitted an application for Consent to facilitate a lot line adjustment to convey a portion of 204 Wynhurst Road to 208 Wynhurst Road.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Agency Circulation
- Consent Sketch

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Recommendation

Based on our review of the submitted information in support of the application, the proposal is consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Consent. It is recommended that any approval of this application be subject to the following conditions:

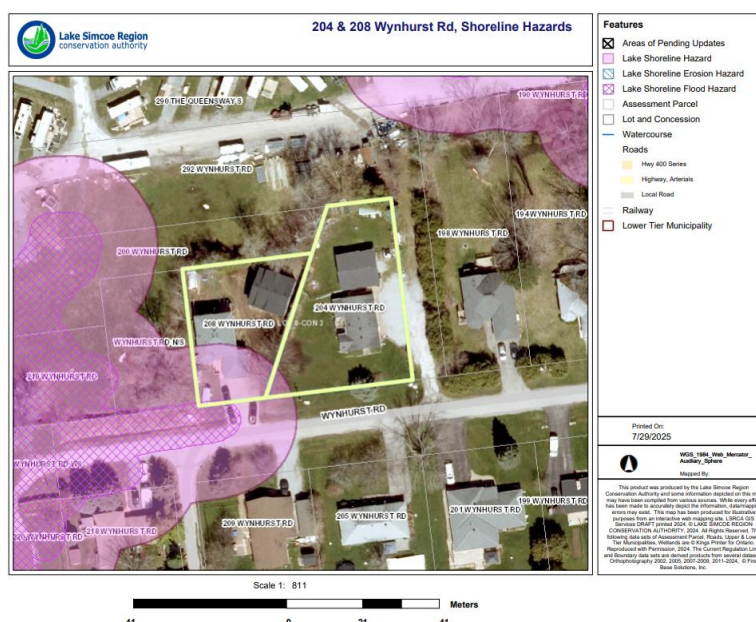
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Consent (Minor – planner review only) is \$536.

Site Characteristics

The subject properties are located north of Wynhurst Road within the Town of Georgina. The subject properties are currently zoned 'Low Density Urban Residential (R1)' per the Town of Georgina Zoning By-law Number 500, as amended.

Existing environmental mapping indicates the following:

- The subject properties are partially regulated by the LSRCA under Ontario Regulation 41/24 for shoreline flooding and erosion hazards. Please see a detailed regulatory map below.
- The subject properties are within the Protected Countryside designation per the Greenbelt Plan.



Delegated Responsibility and Statutory Comments

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS). There are identified natural hazards on the subject lands (floodplain, erosion hazard area). Development or site alteration is not being proposed and no new lots are being created as a result of the lot line adjustment, therefore the proposal is consistent with 5.2 of the PPS.
2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables

conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject properties. In future, a permit from the LSRCA is required prior to any development or site alteration within the regulated area.

Advisory Comments

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

Summary

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Consent.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 5.2 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject sites. In future, a permit from the LSRCA will be required prior to any development or site alteration taking place in the regulated area;
3. The Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Consent (Minor – planner review only) is \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,



Jessica Lim
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)

From: [REDACTED]
To: [Brianna Flatt](#); [Monika Sadler](#)
Cc: [REDACTED]
Subject: [REDACTED] request fo clarification regarding application Con_2025-0007 (204&208 wynhurst road)
Date: August 5, 2025 12:59:16 PM
Attachments: [image001.png](#)



Morning Flatt

Thanks for your information . since 2017 . I had visit town of Georgins several times and reported my property issue and seeking for the help until now .

My situation is : I bought [REDACTED] on 2017 . I got the survey dated May15 2017 {survey } which shows a portion of the back of the property is covered by gravel(gravel area P and is apparently used ny the adjacent [REDACTED] as part of its road . the owner of [REDACTED] indiacted to me that he purchase the [REDACTED] out of bankrupacy and that he had contacted the vendor about the Gravel area , which let to the vendor obtaining the survey which showed that the Gravel area was within the bounds for the property [REDACTED] inquired about purchasing the Gravel area from the vendor. The vendor advised [REDACTED] that he did not want to sell the Grave area to [REDACTED] . sine it would require a severance which cold take a time and he dint not want it to interfere with the pending sale of the property [REDACTED] also indicated he offered [REDACTED] to purchase the Gravel area and to pay all legal fees to sever the land . but after I become the house owner , [REDACTED] try to buy the area more than the {Graved area } ,I reject their offer . then [REDACTED] [REDACTED] (base on (adverse possession) indicated they has legal rights over the road lands and storage lands . [REDACTED] [REDACTED] .

Since the hearing is for a lot boundary adjustment between 204 and 208 wynhurst road , and my property [REDACTED] is adjacent and affected by similar boundary concerns

.While I am not opposing or supporting the application outright , I would like to raise a serious , related conern reagarding boundary and land use issues that affect my property and may be relevant and may be relevant to the committee's broader planning and zoning considerations in this area .

.I bring this to the committee's attention because :

These types of private land disputes and encroachments can affect the integrity and fairness of lot boundary decisions in the area .

.In my case , there appears to be an attempt to assert ownership through occupation , rather than legal title , which could set a troubling precedent .

.I would ask the committee to consider the broader impacts of approving boundary adjustments where similar disputes are ongoing , unresolved or may encourage further unauthorized land use .
.I respectfully request that the committee be aware of this situation and if possible ,refer it to appropriate city departments for review –especially as it relates to enforcement of land use, zoning compliance , and property rights in the wynhurst road area

Thanks you again for your time and consideration

Sincerely

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2025-0045

**FOR THE CONSIDERATION OF
COMMITTEE OF ADJUSTMENT**

August 18, 2025

SUBJECT: MINOR VARIANCE APPLICATION MV-2025-0011

34 DELLA STREET

PLAN 191, PART OF LOT 22

1. RECOMMENDATIONS:

- 1) That the Committee of Adjustment receive Report No. DS-2025-0045 prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Minor Variance Application MV-2025-0011, for the property municipally addressed as 34 Della Street; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a) That the Committee of Adjustment approve Minor Variance Application MV-2025-0011 to permit relief from the following:
 - i) Section 6.1(f): To permit an interior side yard setback of 1.3 metres, whereas a minimum interior side yard of 2.5 metres is required;
 - ii) Section 6.1(i): To permit a maximum lot coverage of 36% whereas a maximum lot coverage of 35% is required;
 - b) That the approval of Minor Variance Application MV-2025-0011 be subject to the following term(s):
 - i) That the proposed single detached dwelling be constructed in general conformity with Attachment 2 to Report DS-2025-0045, in accordance with the relief recommended to be approved in Recommendation 2a);
 - c) That the approval of Minor Variance Application MV-2025-0011 be subject to the following condition(s):
 - i) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that the grading and drainage plan and complete drawing checklist have been addressed to the Division's satisfaction;

ii) **Submission to the Secretary Treasurer of written confirmation from Development Planning Division that the existing shed be demolished; and**

iii) **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

2. PURPOSE:

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application MV-2025-0011 for the property located at 34 Della Street regarding the construction of a single detached dwelling.

3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)
34 Della Street
Plan 191, Part of Lot 22
Roll #: 043-289

PROPOSAL

The owner of the subject property is proposing to construct a single detached dwelling on the subject lands.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed detached dwelling:

- i) Section 6.1(f): To permit an interior side yard setback of 1.3 metres, whereas a minimum interior side yard of 2.5 metres is required.
- ii) Section 6.1(i): To permit a maximum lot coverage of 36% whereas a maximum lot coverage of 35% is required.

A Site Sketch and building plans showing the proposal and the requested relief are included as Attachment 2.

3.1 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 34 Della Street. A summary of the characteristics of the property is as follows:

General Property Information	
Municipal Address	34 Della Street
Zoning	Residential (R) Zone

Frontage	15.24 Metres	
Area	696.77 Square Metres	
Official Plan Land Use Designation	Hamlet Area	
Regional Official Plan Land Use Designation	Hamlet	
Related Applications	None	
Land Use and Environmental Considerations		
Existing Structures	Shed (To be demolished)	
Proposed Structures	Single Detached Dwelling	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	Yes	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Private	Private
Sanitary	Private	Private
Access	Existing driveway	Existing driveway

4. **PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:**

4.1 **PUBLIC CIRCULATION**

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on July 29, 2025, to all landowners within 60.0 metres of the subject property.

4.2 **EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS**

All Town department and external agency comments for Minor Variance Application MV-2025-0011 are outlined below.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, including existing and proposed entrances, prepared by a Professional Engineer or an Ontario Land Surveyor (Attachment 4).

The Development Planning Division requires a condition that the owner provide written confirmation that the existing shed is removed from the subject property.

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Building Division

- Plumbing and Building Inspector – Building Division
- Georgina Fire Department
- Lake Simcoe Region Conservation Authority
- Ministry of Transportation
- Municipal Law Enforcement Division
- Operations and Infrastructure Department
- Tax and Revenue
- York Catholic District School Board
- York Region District School Board
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

5. ANALYSIS:

The following evaluation of Minor Variance Application MV-2025-0011 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

i. Is the general intent and purpose of the Official Plan maintained? – Yes

The subject property is designated Hamlet Area in the Official Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes

The subject property is zoned Residential (R) Zone on Map 8 (Page 1) of Schedule 'A' to Zoning By-law No. 500, as amended. A single-detached dwelling and accessory structures are permitted in the R zone.

a. Interior Side Yard Setback

Section 6.1 (f) of Zoning By-law No. 500, as amended, requires a minimum interior side yard setback of 2.5 metres for a single detached dwelling. The Applicant has requested relief to allow a minimum interior side yard setback of 1.3 metres.

The intent of the side yard setback provisions is to create a buffer between properties, to allow ease of travel from the front yard to the rear yard, and to provide adequate space for drainage. In addition, the 2.5 metre setback requirement is intended for properties on private services, allowing for the septic system to be accessed for maintenance.

Staff note that septic systems have changed over the years, and the plumbing/building inspector has no concerns with the reduced setback.

Additionally, Staff note that the lot is slightly smaller than the neighbouring properties; therefore, having a house fit within the required interior side yard setback reduces the width of the house and living space.

b. Lot Coverage

Section 6.1 (i) of Zoning By-law 500, as amended, permits a maximum lot coverage of 35%. The Applicant is requesting relief to permit a maximum lot coverage of 36%.

The intent of lot coverage is to ensure consistency and compatibility with surrounding lots with respect to overall massing and to ensure sufficient open space is provided. The increased maximum lot coverage will not adversely impact any neighbouring properties, given that the existing lot is smaller in comparison to the neighbouring lots and the increase in lot coverage is a 1% increase over the by-law requirement. Staff note that the increased lot coverage will not impact the streetscape in a negative manner

Staff are of the opinion that the proposed variances maintain the general intent and purpose of Zoning By-law 500, as amended.

iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes

The proposed relief to the side yard setbacks and lot coverage is in keeping with the existing physical character of the neighbourhood, as the area generally consists of various lot sizes with single detached dwellings and accessory structures

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and surrounding neighbourhood.

iv) Is the relief sought minor in nature? – Yes

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

6. CONCLUSION:

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application MV-2025-0011, as it pertains to the proposed

single detached dwelling, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

APPROVALS:

Prepared by:

Monika Sadler
Planner I

Approved By:

Jeff Healey, MCIP, RPP
Supervisor of Development Planning

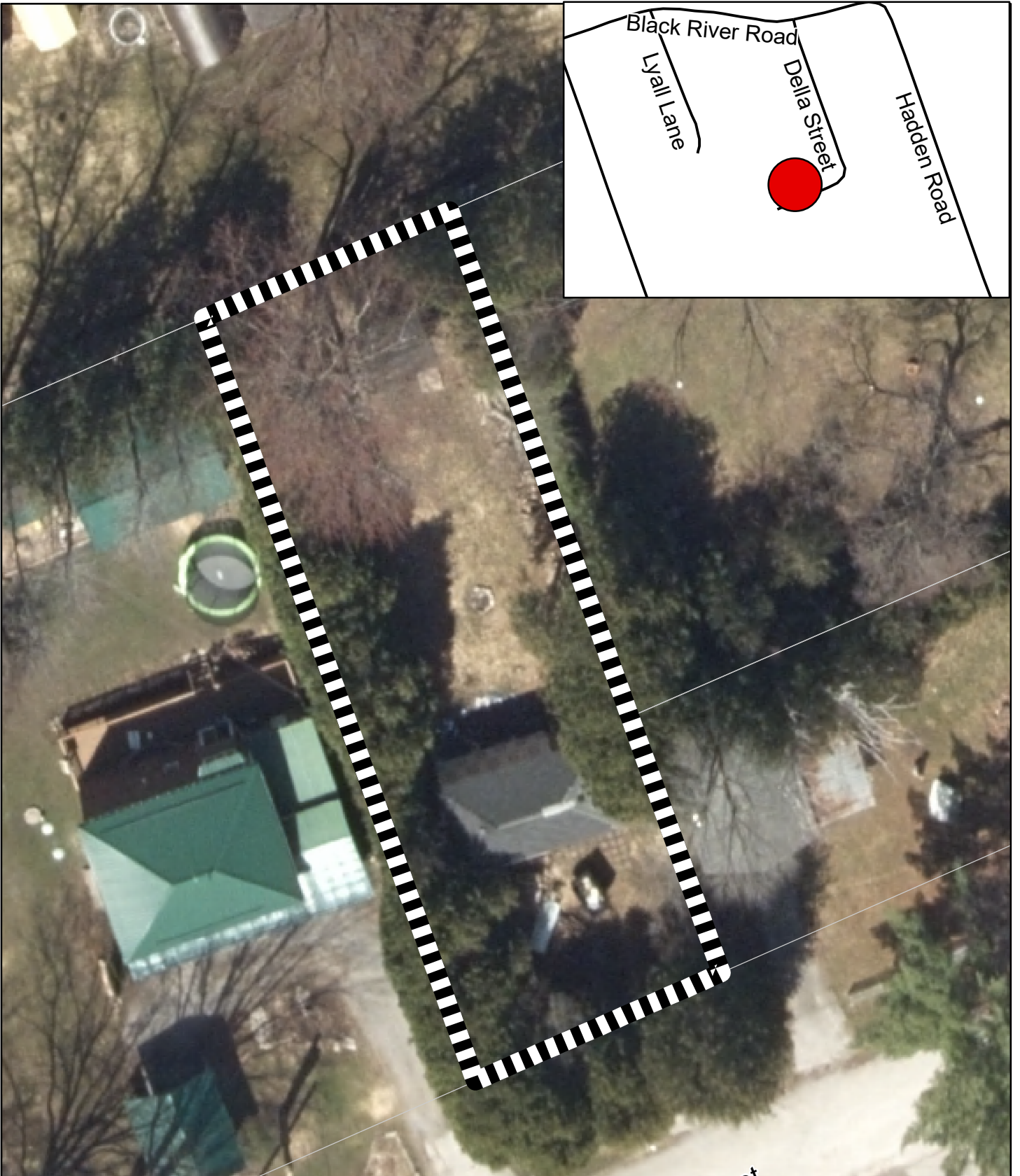
Attachments:

Attachment 1 – Location Map

Attachment 2 – Site Plan and Drawings

Attachment 3 – Site Photos

Attachment 4 – Comments



LOCATION MAP



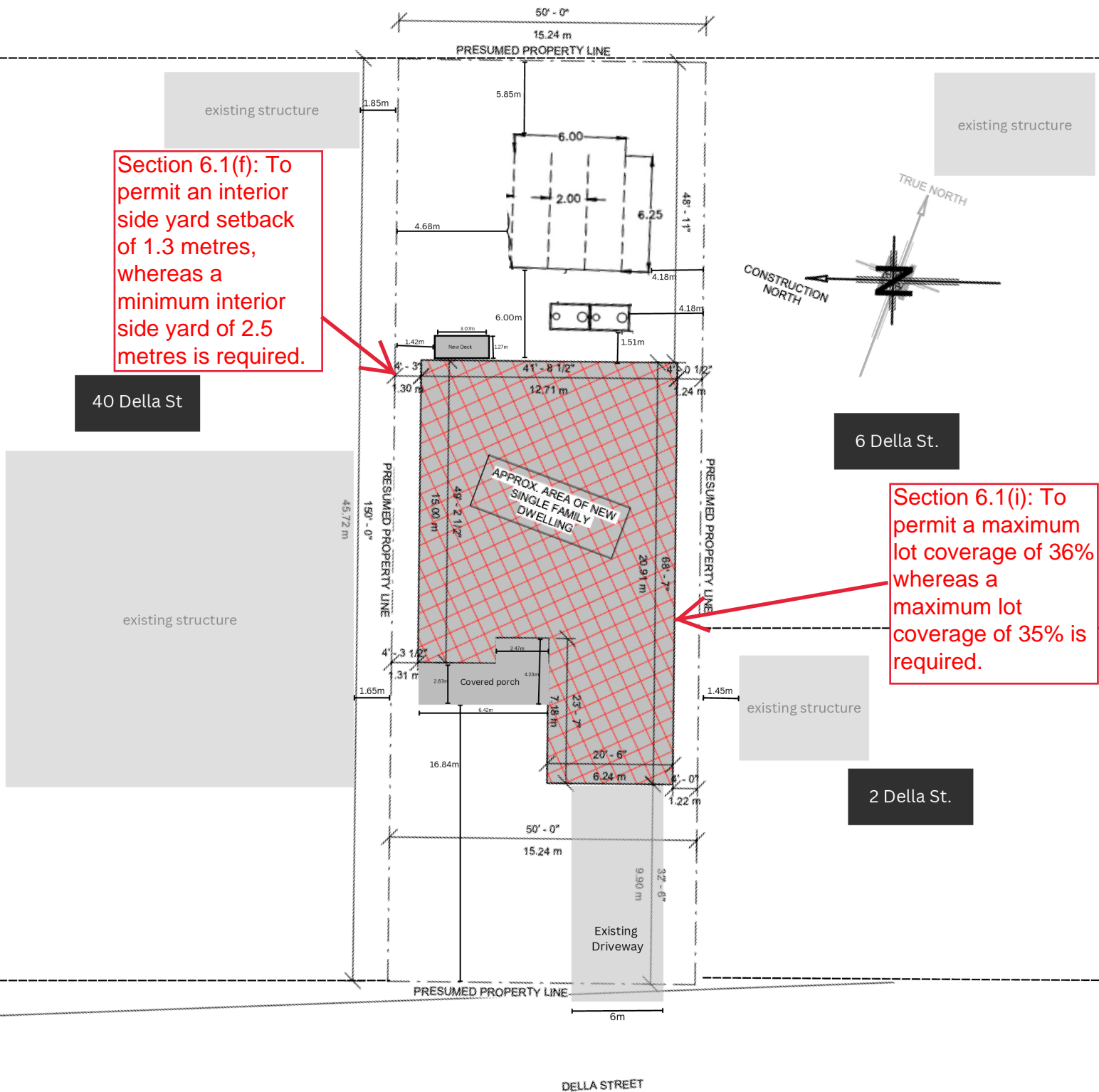
SUBJECT LAND

0 3.5 7 14 Meters

N



10 Della St



Section 6.1(f): To permit an interior side yard setback of 1.3 metres, whereas a minimum interior side yard of 2.5 metres is required.

Section 6.1(i): To permit a maximum lot coverage of 36% whereas a maximum lot coverage of 35% is required.

GENERAL REQUIREMENTS

- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF DETAILING THE STRUCTURAL REQUIREMENTS FOR A PROPOSED SINGLE FAMILY DWELLING AT THE ADDRESS LOCATED IN THE TITLE BLOCK BELOW
- DIMENSIONS AND ALL OTHER INFORMATION SHOWN AND DESCRIBED SHALL BE VERIFIED ON-SITE BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.
- DISCREPANCIES SHALL BE REPORTED TO DAHL GROUP ENGINEERING (DGE)
- DRAWINGS SHALL NOT BE SCALED UNLESS OTHERWISE NOTED.
- THE SCOPE OF THE WORK OUTLINED ON THESE DRAWINGS SATISFIES THE MINIMUM REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.).
- DAHL GROUP ENGINEERING MUST BE NOTIFIED OF ANY CHANGES PRIOR TO COMMENCING THE WORK OUTLINED HEREIN.
- ELECTRICAL, HVAC, PLUMBING AND SEPTIC SYSTEM DESIGNS ARE THE RESPONSIBILITY OF OTHERS. COORDINATE WITH ALL SUB-TRADES (INCLUDING MECHANICAL AND ELECTRICAL) REGARDING PROVISIONS FOR ALL BUILT-INS.
- THE REQUIREMENTS OF DIVISION 'C', PART 1, ARTICLE 1.2.2.1 "GENERAL REVIEW BY ARCHITECT OR PROFESSIONAL ENGINEER" MAY APPLY TO THE PROPOSED WORK DETAILED ON THESE PLANS. CONTACT DGE FOR ALL REQUIRED INSPECTIONS AS PER THE PRESCRIBED NOTICES IF A "COMMITMENT TO GENERAL REVIEW" FORM HAS BEEN ISSUED WITH THESE PLANS.

APPLICATION

- AS PER ARTICLE 1.1.2.4., DIVISION A, PART 1 OF THE 2012 ONTARIO BUILDING CODE (OBC); PART 9, DIVISION B (OBC) IS APPLICABLE TO THE BUILDING DETAILED HEREIN.

USE AND OCCUPANCY

- GROUP C
- BUILDING HEIGHT = 14'-3"
- BUILDING AREA = 2410.65 sq. ft.
- BUILDING IS NEW DWELLING

DESIGN STANDARDS

- PROPOSED CONSTRUCTION CONFORMS TO PART 9 OBC 2012.
- CONCRETE DESIGNS CONFORM TO CAN/CSA A23.3-14.
- STRUCTURAL STEEL DESIGN CONFORMS TO CAN/CSA S16-14.
- WHERE EXISTING ASSEMBLIES ARE TO BE REPAIRED, PROPOSED REPAIRS CONFORM TO ARTICLE 11.3.1.1.
- MATERIAL ALTERATION OR REPAIR OF A BUILDING SYSTEM

DESIGN LOADS

- GROUND SNOW LOAD Ss 2.10 kPa (GEORGINA)
- GROUND RAIN LOAD Sr 0.40 kPa
- LIVE LOAD (DUE TO SNOW) LL 1.56 kPa
- FLOOR LIVE LOAD (DUE TO OCCY) LL 1.90 kPa

SITE LAYOUT NOTES:

THIS SITE LAYOUT HAS BEEN INCLUDED FOR REFERENCE PURPOSES ONLY AND ILLUSTRATES THE APPROXIMATE LOCATION OF EXISTING SITE FEATURES (i.e. BUILDINGS, PROPERTY LINES, ETC.). THE PROPOSED WORK SHALL NOT ADVERSELY ALTER EXISTING LOT GRADING/COVERAGE BEYOND THE BOUNDARIES SHOWN. THIS SITE LAYOUT SHALL NOT BE RELIED UPON AS A LEGAL SURVEY. A LEGAL SURVEY MAY BE REQUIRED BY THE LOCAL AUTHORITIES AND SHALL BE PROVIDED BY OTHERS IF DEEMED TO BE NECESSARY.

INFORMATION HEREIN IS DERIVED PRIMARILY FROM THE COUNTY OF SIMCOE INTERACTIVE MAP, FOUND AT [HTTPS://MAPS.SIMCOE.CA/PUBLIC](https://maps.simcoe.ca/public), SHOWING 34 DELLA STREET, GEORGINA, ON, TOWNSHIP OF GEORGINA

CONTRACTOR NOTES

- CONTRACTOR TO COMPLY WITH ALL PROVISIONS OF THE ONTARIO BUILDING CODE, LATEST EDITION, IN ALL AREAS OF CONSTRUCTION.
- ALL PRODUCTS SPECIFIED (OR APPROVED EQUIVALENTS) TO BE INSTALLED AS PER THE CERTIFIED MANUFACTURER'S INSTRUCTIONS AND ANY APPLICABLE CODE REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND WEATHER PROTECTION DURING ALL STAGES OF CONSTRUCTION NOT SPECIFICALLY DETAILED BY THESE PLANS.
- WHERE GENERAL REVIEW BY AN ENGINEER IS REQUESTED BY THE CHIEF BUILDING OFFICIAL OR OTHER PARTY, THE OWNER MUST REQUEST A "COMMITMENT TO GENERAL REVIEW" FORM FROM DGE PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL CONTACT DAHL GROUP ENGINEERING FOR INSPECTION AT ALL STAGES PRESCRIBED IN O.B.C. 2012, DIV C, PART 1 ARTICLE 1.3.5.1. NO WORK IS TO CONTINUE UNTIL APPROVAL IS OBTAINED FROM DGE AND LOCAL BUILDING AUTHORITY.
- ALL INQUIRIES WITH RESPECT TO CLARIFICATION OR EXPANSION OF THE ENCLOSED SPECIFICATIONS MUST BE FORWARDED TO DGE PRIOR TO COMMENCING ANY WORK.
- ANY CONFLICT BETWEEN THE ENCLOSED SPECIFICATIONS AND APPLICABLE STATUTES OR REGULATIONS MUST BE REPORTED TO DGE IMMEDIATELY UPON DISCOVERY. CLARIFICATION MUST BE RECEIVED BEFORE COMMENCING OR CONTINUING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF THE WORK. A COPY OF ALL OBTAINED PERMITS TO BE FORWARDED TO DGE BEFORE WORK IS COMMENCED.

WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT
1	2' - 1"	4' - 1"
2	6' - 1"	5' - 1"
4	3' - 0"	4' - 0"
8	5' - 0"	3' - 0"
9	8' - 0"	5' - 0"

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF S16.1 AND THE CISC CODE OF STANDARD PRACTICE.
- ALL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER. TOUCH UP ON SITE AS REQUIRED.
- ALL WELDS WITH E49XX ELECTRODES. WELDING TO CONFORM TO THE LATEST EDITION OF C.S.A. SPECIFICATIONS W57 AND W59, BY THE CANADIAN WELDING BUREAU.
- BOLTED CONNECTIONS SHALL BE MADE USING HIGH TENSILE BOLTS, GRADE A325, UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL SHALL BE NEW MATERIAL UNLESS APPROVED BY THE ENGINEER.
- STRUCTURAL STEEL MEMBERS SHALL NOT BE SPLICED WITHOUT APPROVAL OF THE ENGINEER. DO NOT CUT OPENINGS IN STRUCTURAL STEEL WITHOUT THE APPROVAL OF THE ENGINEER.
- ALL STEEL PLATES, ANGLES AND HSS SHALL CONFORM TO CAN/CSA-G40.21-M87 GRADE 350W (CLASS C) UIN.
- GALVANIZING FOR METALS SHALL CONFORM TO C.S.A. G164 UNLESS OTHERWISE NOTED.
- SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- COLUMN BEARING GROUT SHALL BE 35 MPa (MINIMUM) AND NON-SHRINK.
- ALL STEEL EXPOSED TO THE WEATHER TO BE PROTECTED WITH AMERLOCK 400, OR APPROVED EQUIVALENT, INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.

CONCRETE

- INSULATE OR APPLY HEAT TO PREVENT GROUND FROM FREEZING AT ALL STAGES OF CONSTRUCTION IF APPLICABLE.
- EXCAVATION TO BE KEPT DRY AND WATER FREE AT ALL TIMES.
- ASSUMED MINIMUM SOIL BEARING CAPACITY BELOW NEW FOUNDATION SYSTEM IS 75kPa. CONTACT DAHL GROUP ENGINEERING IF SOFT CLAY, FILL, SILT, OR ORGANIC SOIL IS ENCOUNTERED.
- CONCRETE FOUNDATIONS TO BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 75kPa.
- CONTRACTOR TO VERIFY SUITABILITY OF SOIL. OBTAIN GEOTECHNICAL REPORT IF NECESSARY.
- CONCRETE FOR SLAB TO BE MIN. 32MPa UNLESS NOTED OTHERWISE.
- CONCRETE FOUNDATIONS AND PIERS TO BE MIN. 25MPa UNLESS NOTED OTHERWISE.
- CONCRETE FOOTINGS TO BE MIN. 20 MPa.
- ALLOW CONCRETE TO CURE FOR 7 DAYS PRIOR TO PLACEMENT OF BEARING SYSTEMS.
- CONCRETE EXPOSED TO FREEZE / THAW CYCLES IS TO BE AIR ENTRAINED 5% TO 8%.
- CONCRETE MIXING, MATERIALS, PLACEMENT, CURING TO BE IN CONFORMANCE WITH CAN3-A23.1
- MAINTAIN CONCRETE AT A MINIMUM TEMPERATURE OF 7°C FOR 72 HOURS AFTER PLACEMENT.
- INSTALL 1" DEEP SAW CUT IN CONCRETE SLABS WITHIN 24 HOURS OF PLACEMENT. CUTS TO BE EQUAL DISTANCE (MAX. 10' O.C.) IN BOTH DIRECTIONS.

REINFORCING STEEL

- REINFORCING STEEL TO CONFORM TO O.B.C. 9.39.1.3.
- GRADE 400 IN CAN/CSA-G30.18-M, "BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT".
- MAINTAIN MIN. 3" CONCRETE COVER AT ALL REINFORCEMENT LOCATIONS.
- WIRE TIE REBAR AT ALL INTERSECTIONS.
- FILL ALL CONNECTOR NAIL/SCREW HOLES AS SPECIFIED BY MANUFACTURER.

LUMBER

- ALL LUMBER TO BE SPF NO.1/NO.2 UNLESS OTHERWISE INDICATED.
- ALL LUMBER EXPOSED TO WEATHER TO BE PRESERVATIVE TREATED.
- PREFABRICATED HANGERS AND FRAMING CONNECTORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FILL ALL CONNECTOR NAIL/SCREW HOLES AS SPECIFIED BY MANUFACTURER.

NAILS

- NAILS SHALL CONFORM TO ARTICLE 9.26.2.2.
- NAILS SHALL CONFORM TO TABLE 9.23.3.4.
- NAILS USED FOR ROOFING SHALL BE CORROSION-RESISTANT ROOFING OR SHINGLE NAILS CONFORMING TO CSA B111, "WIRE NAILS, SPIKES AND STAPLES".

BUILDING ASSEMBLIES

FW1

FOUNDATION WALL ASSEMBLY

- DAMP-PROOFING / WATER-PROOFING
- 8" CMU BLOCK FOUNDATION WALL
- 15M VERT. REBAR @ 48" O.C.
- R20 CONTINUOUS INSUL.
- CONTINUOUS 6 MIL POLYETHYLENE VAPOUR BARRIER

FW2

FOUNDATION WALL ASSEMBLY

- 8" CMU BLOCK FOUNDATION WALL

EW1

EXTERIOR STONE/SIDING WALL ASSEMBLY

- THIN STONE VENEER w/ SIDING SYSTEM (CLADDING VARIES, REFER TO ELEVATIONS. ALL CLADDING SYSTEMS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS, NO BRICK LEDGE PROVIDED)
- WEATHER RESISTANT BARRIER
- 1/2" OSB SHEATHING
- 2x6 STUDS @ 16" O.C. w/ 2 ROWS SOLID BLOCKING
- R22 BATT INSULATION (GARAGE EXCLUDED)
- CONTINUOUS 6 mil. POLYTHYLENE VAPOUR BARRIER
- 1/2" DRYWALL / INTERIOR FINISH PER OWNER

EW2

EXTERIOR SIDING WALL ASSEMBLY

- SIDING SYSTEM (CLADDING VARIES, REFER TO ELEVATIONS. ALL CLADDING SYSTEMS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS)
- WEATHER RESISTANT BARRIER
- 1/2" OSB SHEATHING
- 2x6 STUDS @ 12" O.C. w/ 2 ROWS SOLID BLOCKING
- R22 BATT INSULATION (GARAGE EXCLUDED)
- CONTINUOUS 6 mil. POLYTHYLENE VAPOUR BARRIER
- 1/2" DRYWALL / INTERIOR FINISH PER OWNER

IW1

INTERIOR WALL ASSEMBLY

- 1/2" DRYWALL
- 2x4 WOOD STUDS AT 16" O.C.
- 1/2" DRYWALL

IW2

INTERIOR WALL ASSEMBLY

- 1/2" DRYWALL
- 2x6 WOOD STUDS AT 16" O.C.
- 1/2" DRYWALL

IW3

INTERIOR WALL ASSEMBLY

- 1/2" DRYWALL (SEALED GAS TIGHT)
- 2x6 WOOD STUDS AT 16" O.C.
- R22 BATT INSUL.
- 6mil. POLY V.B.
- 1/2" DRYWALL

FL1

CONCRETE FLOOR ASSEMBLY (DWELLING CRAWLSPACE LEVEL)

- 3" THICK 32MPa CONC.
- 6x6 WWM RECOMMENDED
- 6mil. POLY VAPOUR BARRIER
- R10 XPS INSUL. (RECOMMENDED)
- MIN. 8" LAYER OF 3/4" CRUSHED STONE
- UNDISTURBED SOIL OR COMPACTED ENG. FILL (MIN. 75 kPa BEARING)

FL2

NEW FLOOR ASSEMBLY (GARAGE)

- 5" THICK 32MPa CONCRETE SLAB
- 6x6 WWM
- MIN. 8" LAYER OF 3/4" CRUSHED STONE
- UNDISTURBED SOIL OR COMPACTED ENG. FILL (MIN. 75 kPa BEARING)

FL3

FLOOR ASSEMBLY (FRONT PORCH)

- 6" THICK 32MPa CONCRETE SLAB w/ 10M REBAR @ 8" O.C. EACH WAY

FL4

FLOOR ASSEMBLY (DWELLING MAIN LEVEL)

- FINISH FLOOR PER OWNER SELECTION
- 3/4" T&G PLYWOOD SHEATHING
- 9/2" DEEP WOOD I JOIST SYSTEM (BY OTHERS)
- DRYWALL / INTERIOR FINISH PER OWNER SELECTION

R1

ROOF ASSEMBLY (MAIN DWELLING)

- METAL ROOFING SYSTEM / SHINGLES PER OWNER SELECTION
- ICE & WATER SHIELD ON PERIMETER 6' - 0" AND 3' - 0" EACH SIDE OF ALL VALLEYS, AND UNDERLAYMENT PER ROOFING MANUFACTURER ON REMAINING ROOF SURFACE
- 1/2" PLYWOOD SHEATHING WITH 'H' CLIPS
- PRE-ENG TRUSSES AT 24" O.C. (BY OTHERS)
- MIN. R60 INSULATION
- CONTINUOUS 6 MIL. POLYTHYLENE VAPOUR BARRIER
- 1x3 STRAPPING AT 16" O.C.
- 1/2" DRYWALL / INTERIOR FINISH PER OWNER SELECTION

R2

ROOF ASSEMBLY (EYEBROW)

- ROOFING PER OWNER SELECTION
- UNDERLAYMENT PER ROOFING MANUF. SPEC.
- 1/2" PLYWOOD SHEATHING
- 2x6 RAFTERS @ 16" O.C.
- 2x4 CEILING JOISTS @ 16" O.C.
- CLADDING PER OWNER SELECTION w/ VENTED SOFFITS

ZONE 1 - COMPLIANCE PACKAGE (A1) (PER SB-12 TABLE 3.1.1.2A(P))

Component	Thermal Values ^(a)	A1
Ceiling with Attic Space	Min. Nominal R ⁽¹⁾	60
	Max. U ⁽²⁾	0.017
	Min. Effective R ⁽³⁾	59.22
Ceiling Without Attic Space	Min. Nominal R ⁽¹⁾	31
	Max. U ⁽²⁾	0.036
	Min. Effective R ⁽³⁾	27.65
Exposed Floor	Min. Nominal R ⁽¹⁾	31
	Max. U ⁽²⁾	0.034
	Min. Effective R ⁽³⁾	29.80
Walls Above Grade	Min. Nominal R ⁽¹⁾	22
	Max. U ⁽²⁾	0.059
	Min. Effective R ⁽³⁾	17.03
Basement Walls ^(a)	Min. Nominal R ⁽¹⁾	20 ci
	Max. U ⁽⁴⁾	0.047
	Min. Effective R ⁽⁴⁾	21.12
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal R ⁽¹⁾	—
	Max. U ⁽⁴⁾	—
	Min. Effective R ⁽⁴⁾	—
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10
	Max. U ⁽⁴⁾	0.090
	Min. Effective R ⁽⁴⁾	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10
	Max. U ⁽⁴⁾	0.28
	Energy Rating	25
Windows and Sliding Glass Doors	Max. U ⁽⁵⁾	0.49
Skylights	Max. U ⁽⁵⁾	0.49
Space Heating Equipment	Min. AFUE	96%
HRV	Min. SRE	75%
Domestic Water Heater ⁽¹⁾	Min. EF	0.80
Column 1	2	3



DRAWINGS TO BE PRINTED ON ARCH C PAPER (24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 2 of 10



DAHL GROUP
ENGINEERING

31-35 Cedar Pointe Drive, Barrie, Ontario, L4N 5R7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

THE WORK OUTLINED ON THIS SHEET MUST BE CONSIDERED IN CONJUNCTION WITH ALL OTHER SHEETS FORMING THIS DRAWING SET AND ANY DOCUMENTS ISSUED WITH THIS SET OR REFERENCED HEREIN

DRAWING TITLE:

GENERAL NOTES

PROJECT TITLE:

NEW SINGLE FAMILY DWELLING

OWNER: TBD

LOCATION: 34 DELLA STREET, GEORGINA, ON.

PROJECT NO.: DGE24140

SCALE: As indicated DRAWING NO. S-1

DRAWINGS REMAIN THE PROPERTY OF DGE

1 SITE LAYOUT
S-1 1" = 20'-0"

4 PERSPECTIVE VIEW
S-1

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the text "MAR. 21, 2025" is displayed above the name "S. L. DAHL" and the license number "100181426". Below the license number is a stylized graphic of a bridge or arch, which is partially crossed out by several diagonal lines.



DAHL GROUP
ENGINEERING

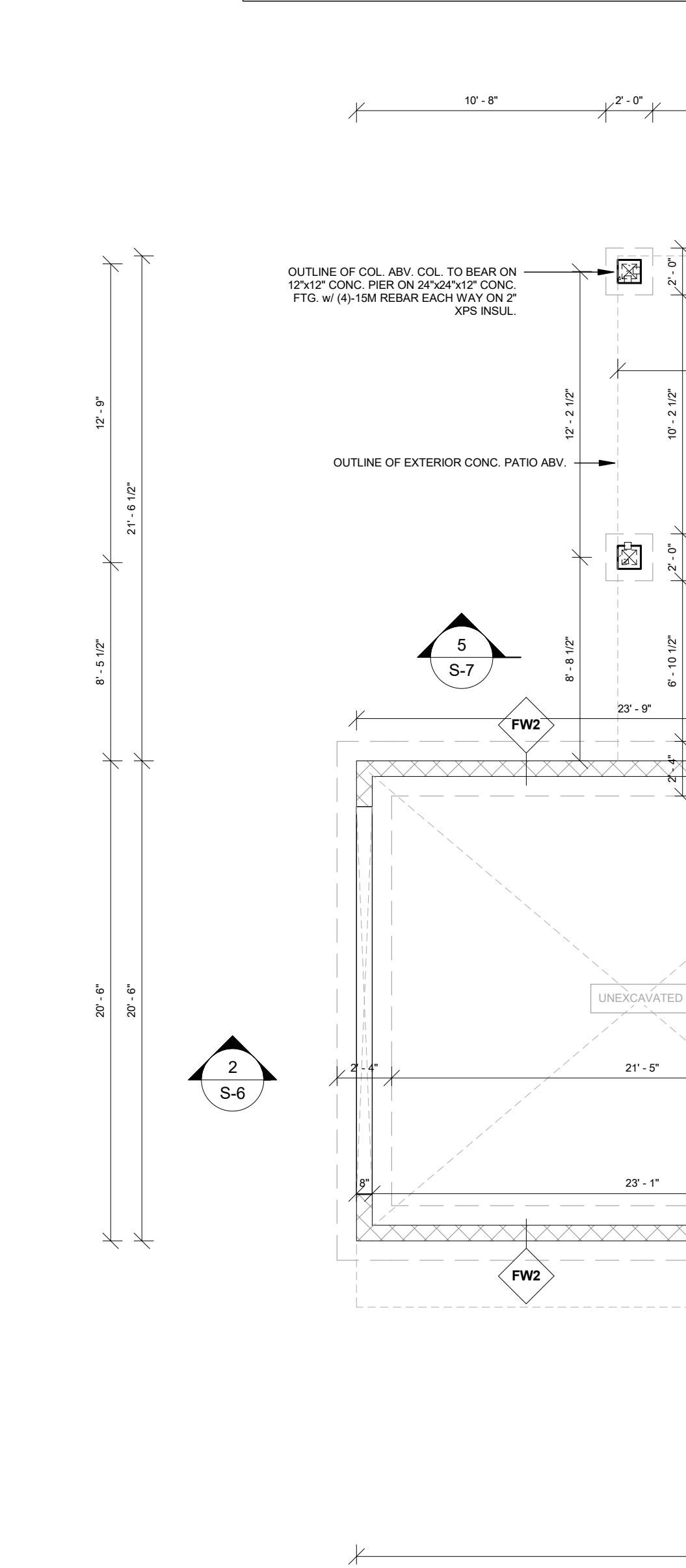
31-35 Cedar Pointe Drive, Barrie, Ontario, L4N 5R7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

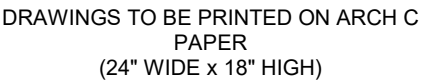
DRAWING TITLE:
FOUNDATION PLAN

OWNER:	TBD
LOCATION:	34 DELLA STREET, GEORGINA,

SCALE: 3/16" = 1'-0" DRAWING NO. **S-3**

DRAWINGS REMAIN THE PROPERTY OF DGE





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SET AND ANY DOCUMENTS ISSUED WITH
THIS SET OR REFERENCED HEREIN

DRAWING TITLE:
MAIN FLOOR PLAN

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING

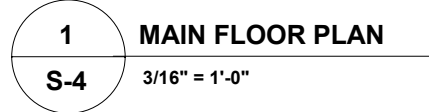
OWNER: TBC

LOCATION: 34 DELLA STREET, GEORGINA
ON.

PROJECT NO.: DGE24140

SCALE: 3/16" = 1'-0" DRAWING NO. **S-4**

DRAWINGS REMAIN THE PROPERTY OF DGE

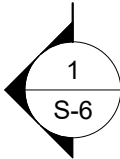
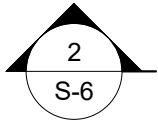
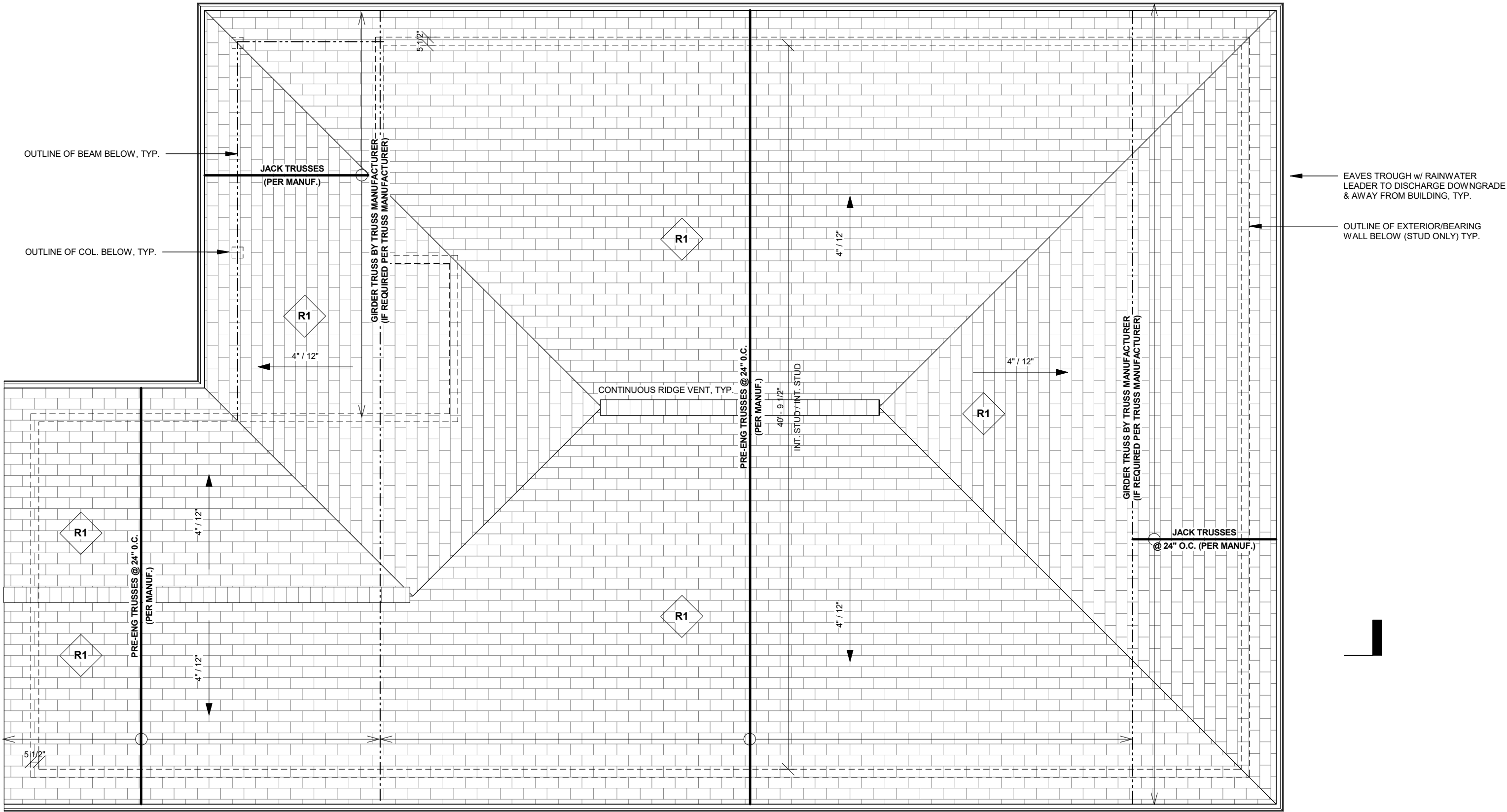
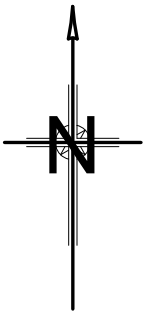


NOTE:
CONTRACTOR TO PROVIDE DGE w/ FINAL TRUSS LAYOUT AND PROFILES FOR REVIEW AND INTEGRATION w/ BUILDING PRIOR TO CONSTRUCTION

NOTE:
CONTRACTOR TO ENSURE NO LIVE LOAD ON ROOF ABOVE AT ANY TIME DURING STRUCTURAL WORK

NOTES:

- ALL INTERIOR WOOD FRAME HEADERS TO BE MIN. 2 - 2x10 UNLESS NOTED OTHERWISE



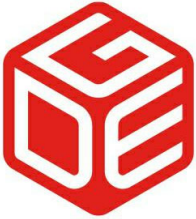
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S-5 **ROOF PLAN**
3/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	CONCEPT FOR CLIENT REVIEW	OCT. 21, 2024
2	ISSUED FOR FINAL REV	DEC. 6, 2024
3	ISSUED FOR PERMIT	DEC. 12, 2024



DRAWINGS TO BE PRINTED ON ARCH C PAPER
(24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 6 of 10



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DRAWING TITLE:
ROOF PLAN

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING

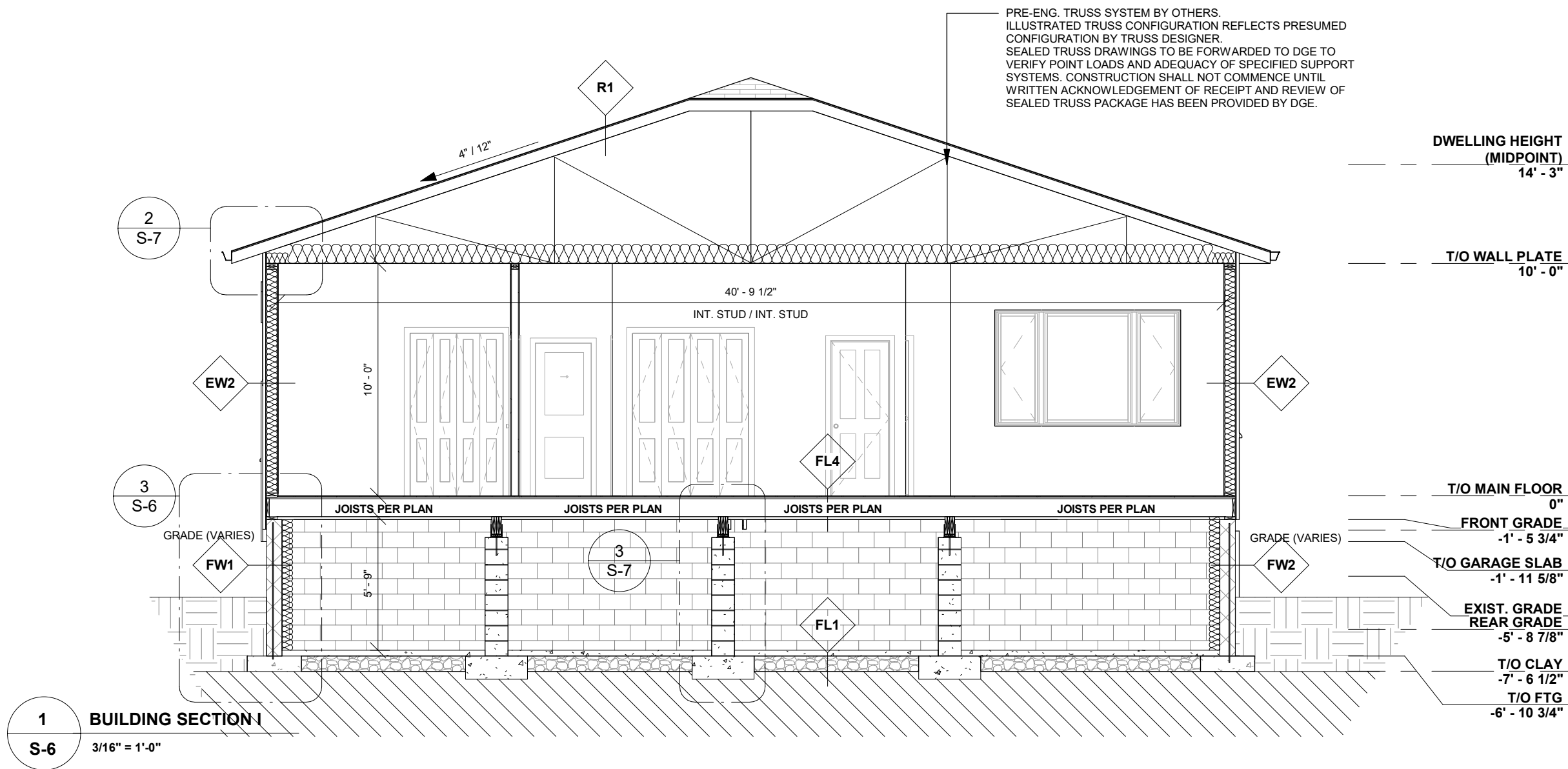
OWNER: TBD

LOCATION: 34 DELLA STREET, GEORGINA, ON.

PROJECT NO.: DGE24140

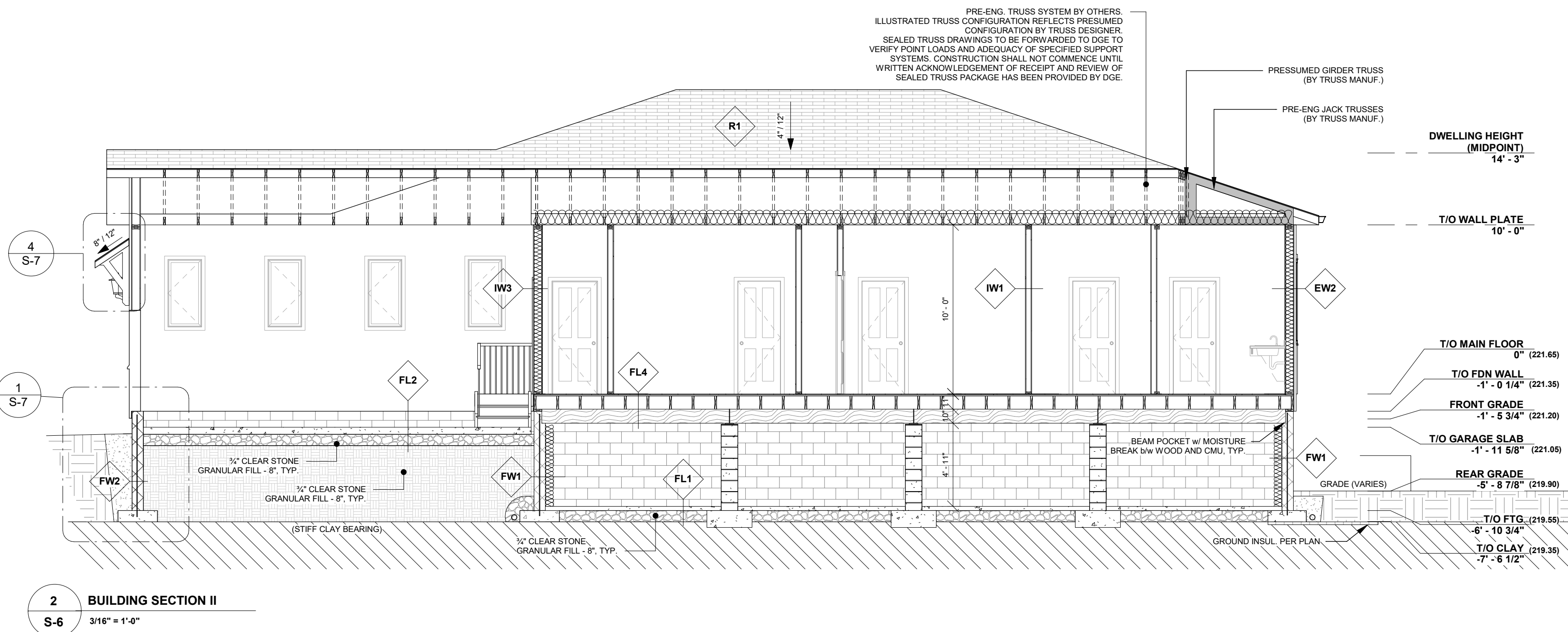
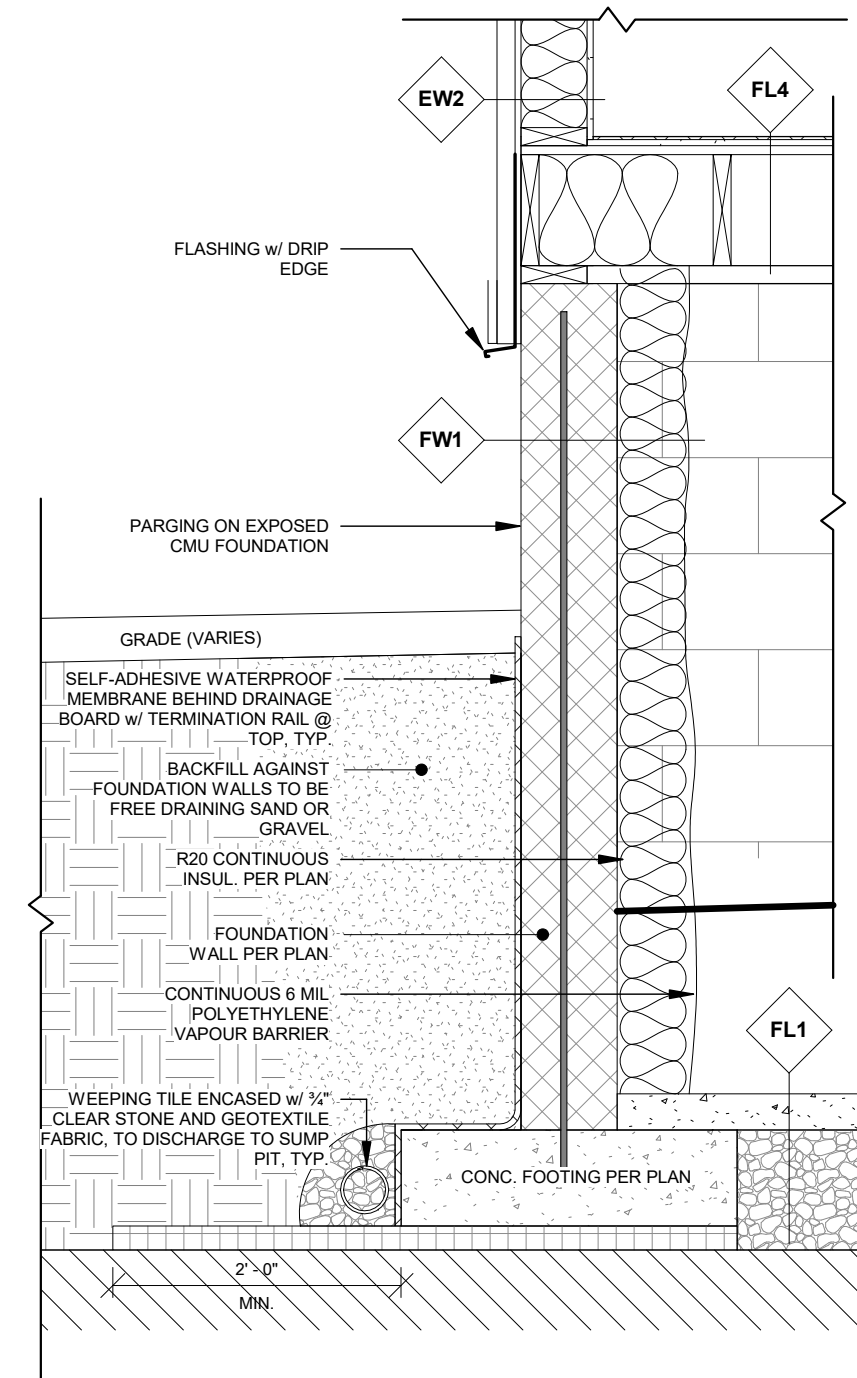
SCALE: 3/16" = 1'-0" DRAWING NO. **S-5**

DRAWINGS REMAIN THE PROPERTY OF DGE



3 FOUNDATION SECTION DETAIL

S-6 3/4" = 1'-0"

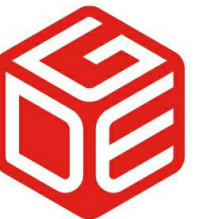


NO.	DESCRIPTION	DATE
1	CONCEPT FOR CLIENT REVIEW	OCT. 21, 2024
2	ISSUED FOR FINAL REV	DEC. 6, 2024
3	ISSUED FOR PERMIT	DEC. 12, 2024



DRAWINGS TO BE PRINTED ON ARCH C PAPER (24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 7 of 10



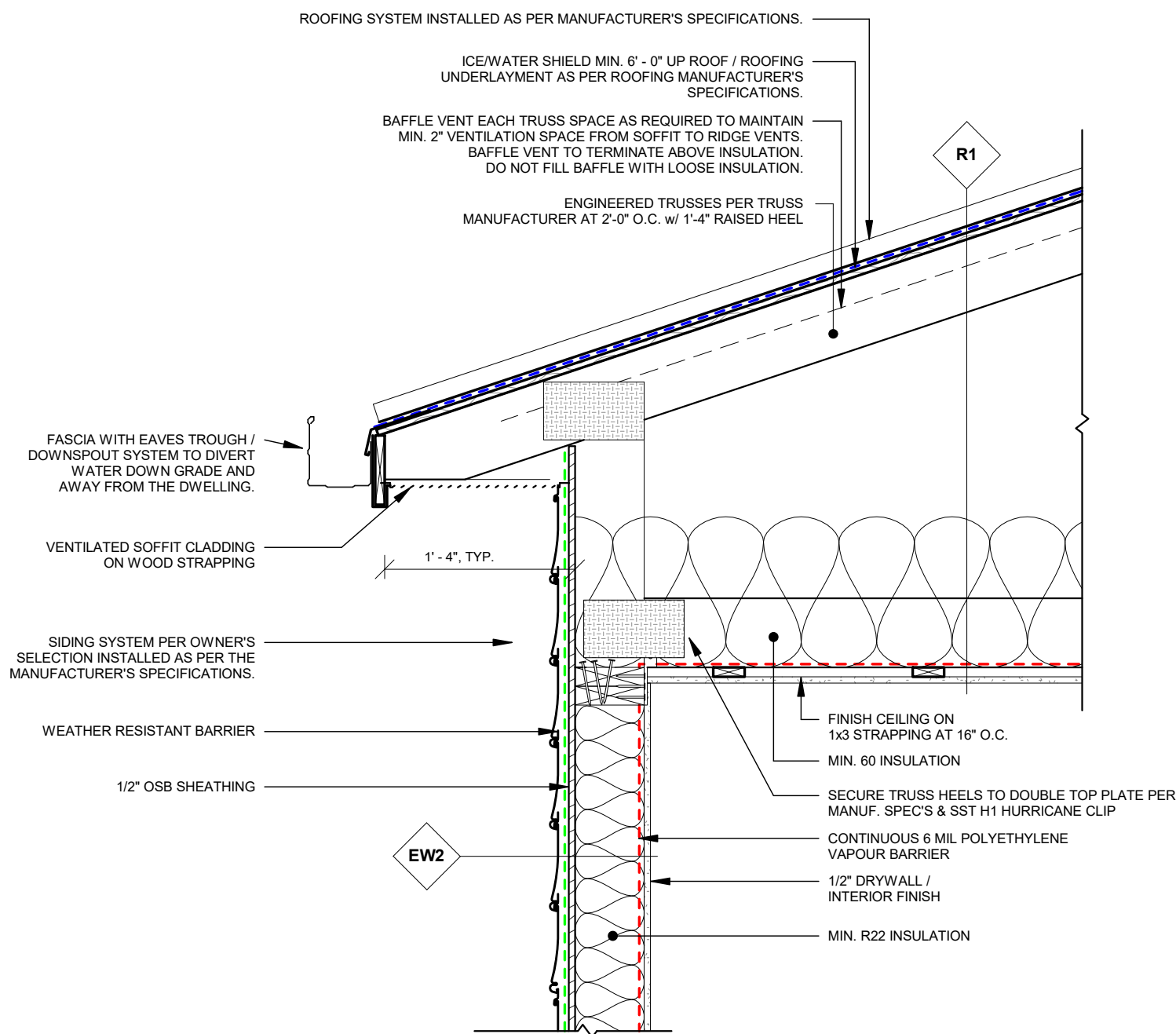
DAHL GROUP
ENGINEERING

31-35 Cedar Pointe Drive, Barrie, Ontario, L4N SR7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

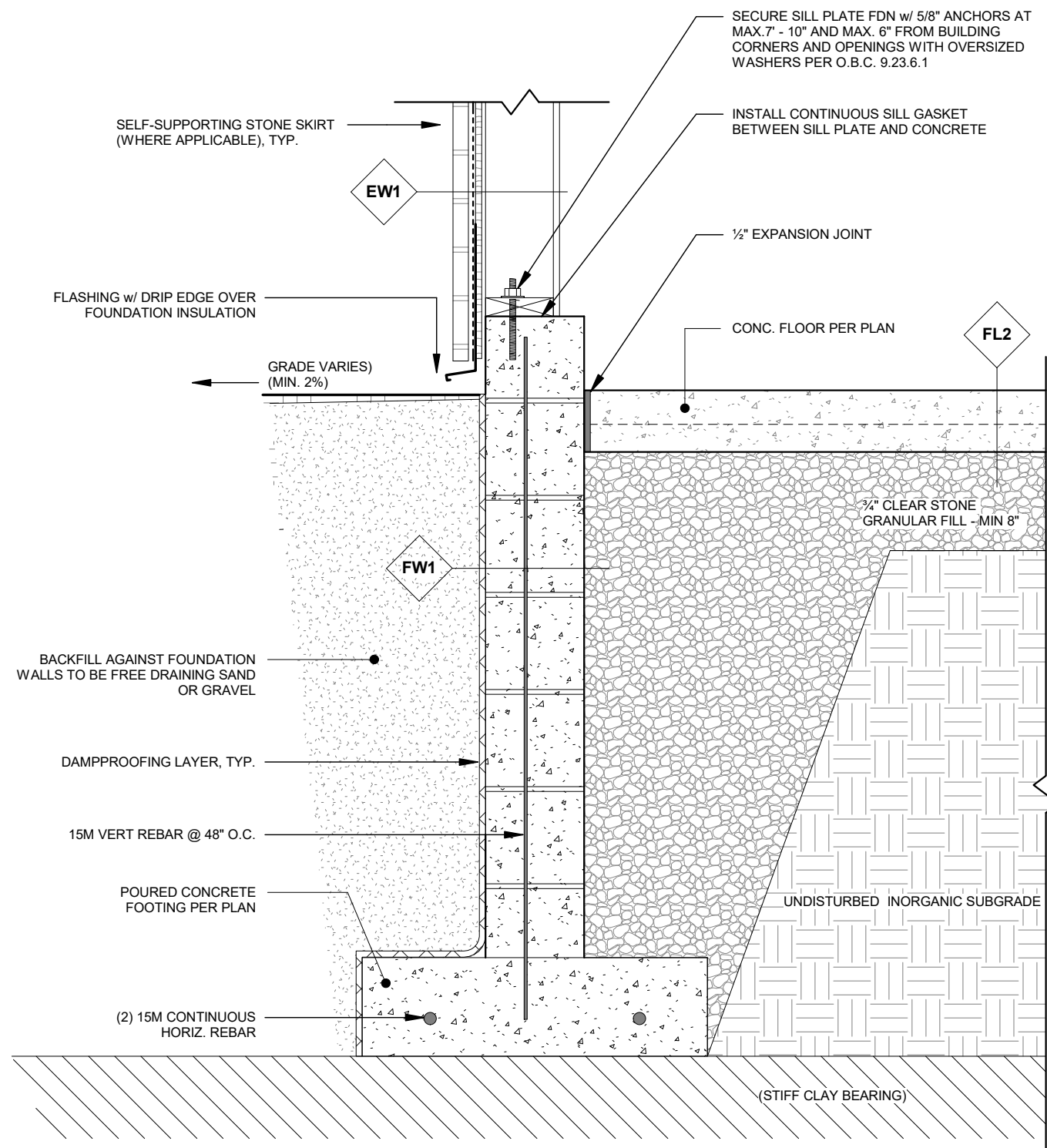
THE WORK OUTLINED ON THIS SHEET MUST BE CONSIDERED IN CONJUNCTION WITH ALL OTHER SHEETS FORMING THIS DRAWING SET AND ANY DOCUMENTS ISSUED WITH THIS SET OR REFERENCED HEREIN

DRAWING TITLE:	BUILDING SECTIONS
PROJECT TITLE:	NEW SINGLE FAMILY DWELLING
OWNER:	TBD
LOCATION:	34 DELLA STREET, GEORGINA, ON.
PROJECT NO.:	DGE24140
SCALE:	As indicated
DRAWING NO.	S-6
DRAWINGS REMAIN THE PROPERTY OF DGE	

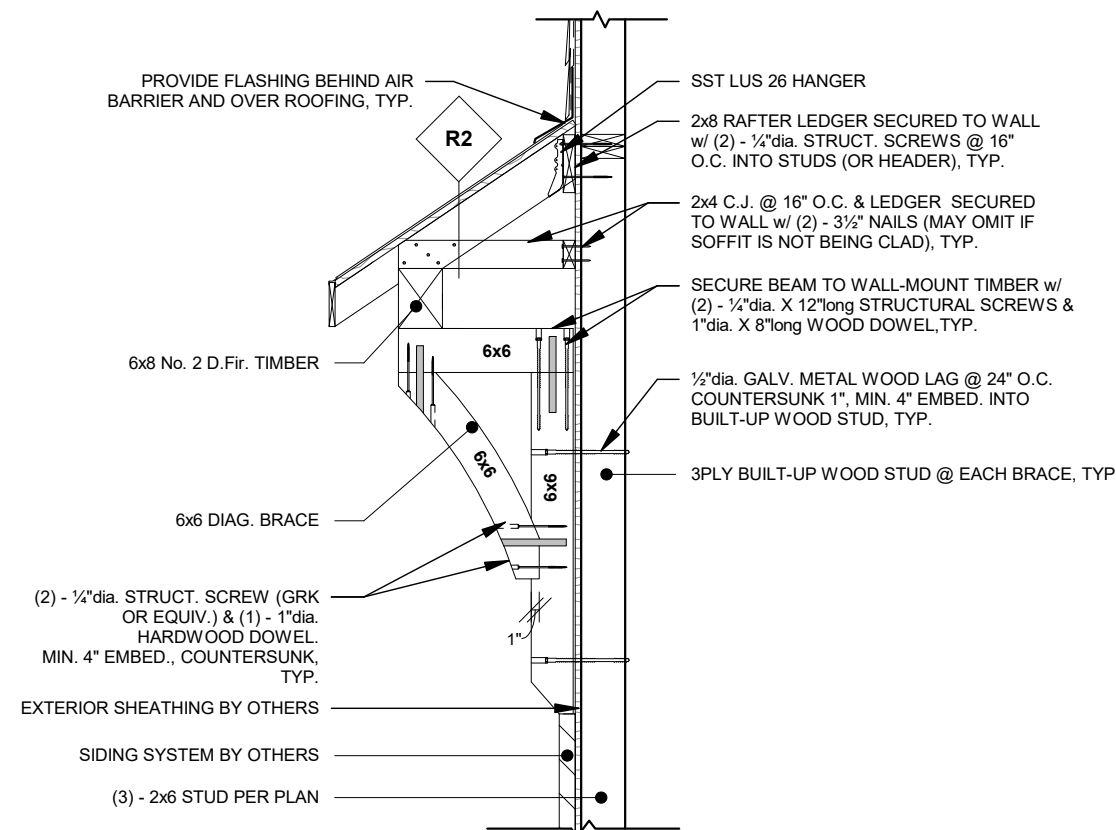
2 EAVE SECTION DETAIL1
S-7 1" = 1'-0"



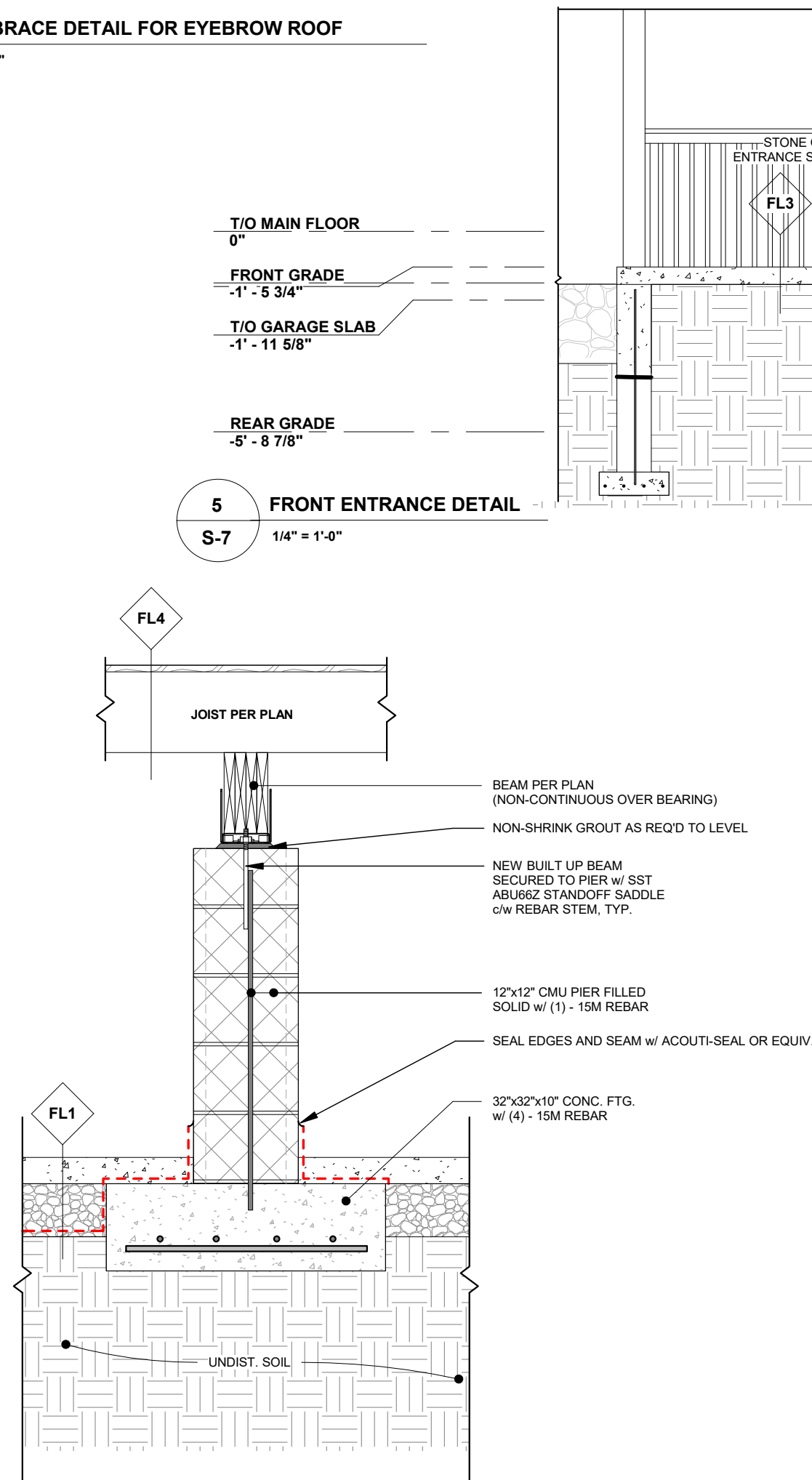
1 FROST WALL DETAIL @ GARAGE
S-7 1" = 1'-0"



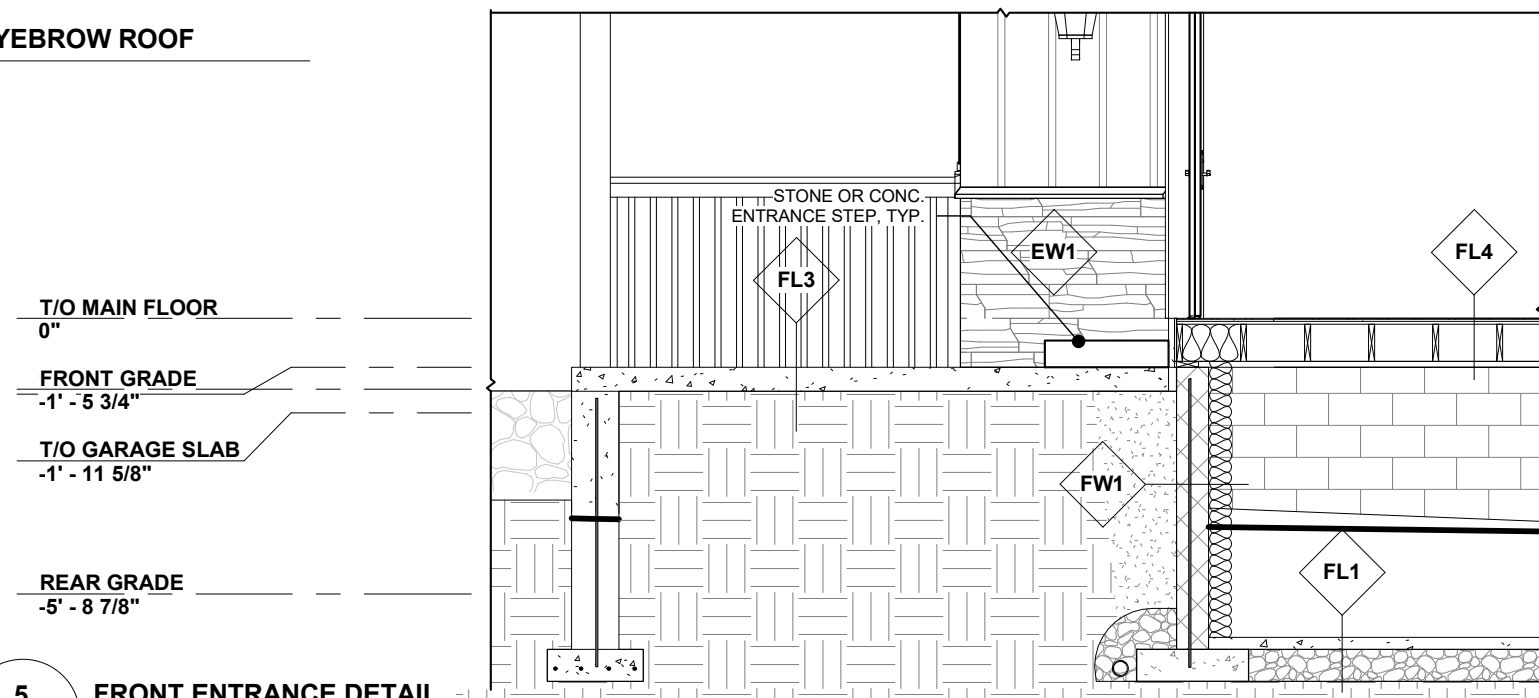
4 KNEE BRACE DETAIL FOR EYEBROW ROOF
S-7 1/2" = 1'-0"



3 TYP. BEAM / PIER CONNECTION DETAIL
S-7 3/4" = 1'-0"



5 FRONT ENTRANCE DETAIL
S-7 1/4" = 1'-0"



NO.	DESCRIPTION	DATE
1	CONCEPT FOR CLIENT REVIEW	OCT. 21, 2024
2	ISSUED FOR FINAL REV	DEC. 6, 2024
3	ISSUED FOR PERMIT	DEC. 12, 2024



DRAWINGS TO BE PRINTED ON ARCH C PAPER (24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 8 of 10



DAHL GROUP

ENGINEERING

31-35 Cedar Pointe Drive, Barrie, Ontario, L4N 5R7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

THE WORK OUTLINED ON THIS SHEET MUST BE CONSIDERED IN CONJUNCTION WITH ALL OTHER SHEETS FORMING THIS DRAWING SET AND ANY DOCUMENTS ISSUED WITH THIS SET OR REFERENCED HEREIN

DRAWING TITLE:
SECTION DETAILS

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING

OWNER: TBD

LOCATION: 34 DELLA STREET, GEORGINA, ON.

PROJECT NO.: DGE24140

SCALE: As indicated DRAWING NO. S-7

DRAWINGS REMAIN THE PROPERTY OF DGE

NO.	DESCRIPTION	DATE
1	CONCEPT FOR CLIENT REVIEW	OCT. 21, 2024
2	ISSUED FOR FINAL REV	DEC. 6, 2024
3	ISSUED FOR PERMIT	DEC. 12, 2024



DRAWINGS TO BE PRINTED ON ARCH C PAPER
(24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 9 of 10



DAHL GROUP
ENGINEERING

31-35 Cedar Pointe Drive, Barrie, Ontario, L4N 5R7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

THE WORK OUTLINED ON THIS SHEET MUST BE CONSIDERED IN CONJUNCTION WITH ALL OTHER SHEETS FORMING THIS DRAWING SET AND ANY DOCUMENTS ISSUED WITH THIS SET OR REFERENCED HEREIN

DRAWING TITLE:
ELEVATIONS I

PROJECT TITLE:
NEW SINGLE FAMILY DWELLING

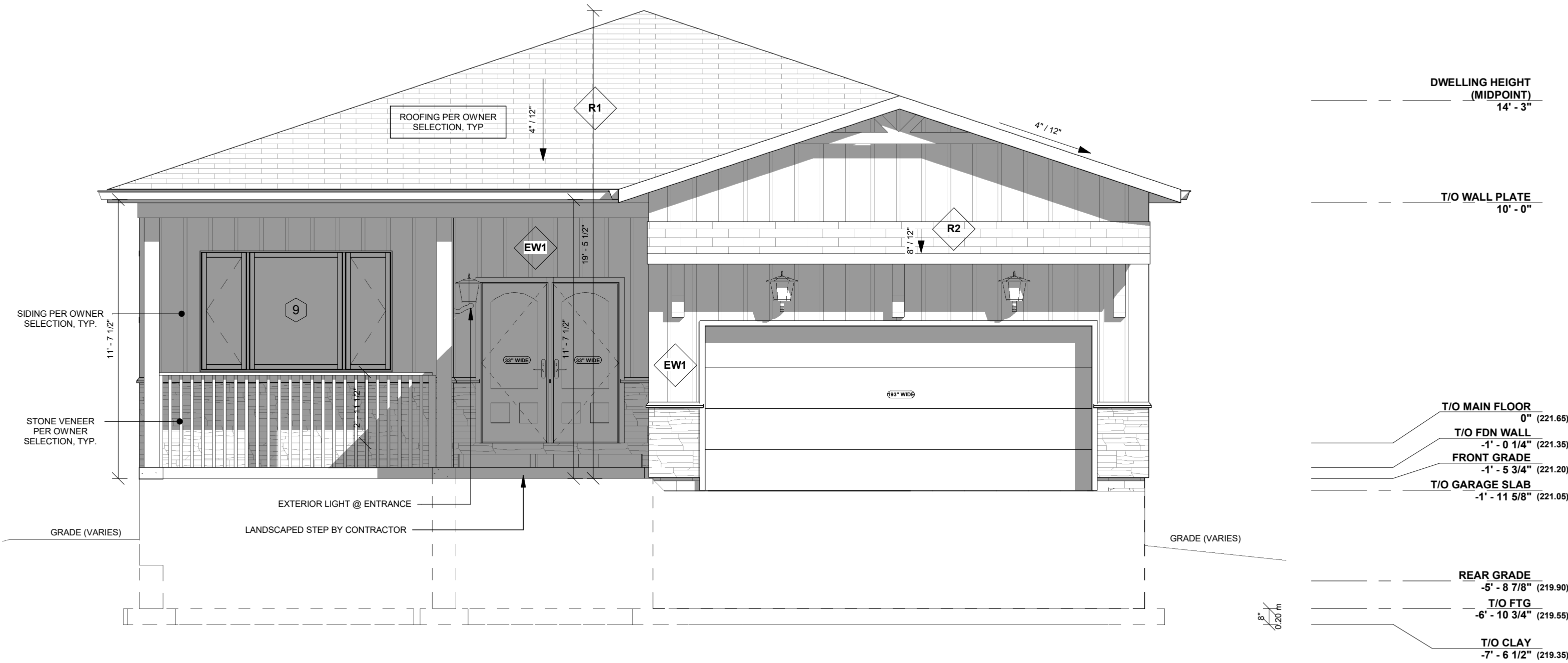
OWNER: TBD

LOCATION: 34 DELLA STREET, GEORGINA, ON.

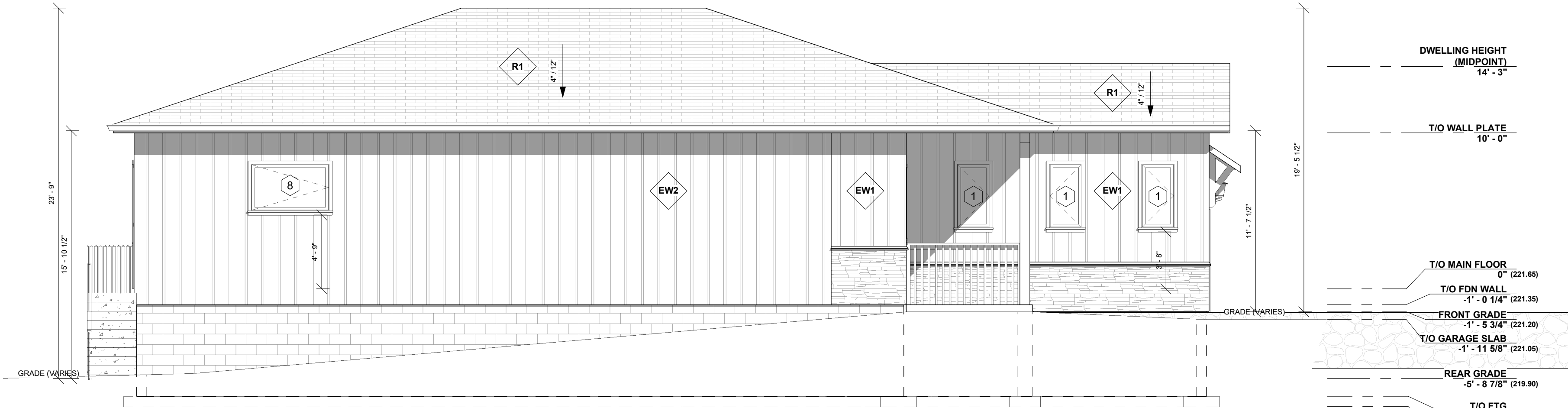
PROJECT NO.: DGE24140

SCALE: As indicated DRAWING NO. **S-8**

DRAWINGS REMAIN THE PROPERTY OF DGE



1 WEST Elevation
S-8 1/4" = 1'-0"



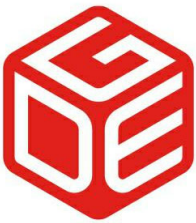
2 NORTH Elevation
S-8 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	CONCEPT FOR CLIENT REVIEW	OCT. 21, 2024
2	ISSUED FOR FINAL REV	DEC. 6, 2024
3	ISSUED FOR PERMIT	DEC. 12, 2024
5	REV'D PER TOWN COMMENT	MAR. 21, 2025



DRAWINGS TO BE PRINTED ON ARCH C
PAPER
(24" WIDE x 18" HIGH)

Attachment 2
MV-2025-0011
34 Della Street
Page 10 of 10



DAHL GROUP
ENGINEERING

31-35 Cedar Pointe Drive, Barrie, Ontario, L4N 5R7
Telephone: 705-259-5380
Email: info@dahlgroupengineering.ca

THE WORK OUTLINED ON THIS SHEET MUST
BE CONSIDERED IN CONJUNCTION WITH ALL
OTHER SHEETS FORMING THIS DRAWING
SET AND ANY DOCUMENTS ISSUED WITH
THIS SET OR REFERENCED HEREIN

DRAWING TITLE:

ELEVATIONS II

PROJECT TITLE:

NEW SINGLE FAMILY DWELLING

OWNER: TBD

LOCATION: 34 DELLA STREET, GEORGINA,
ON.

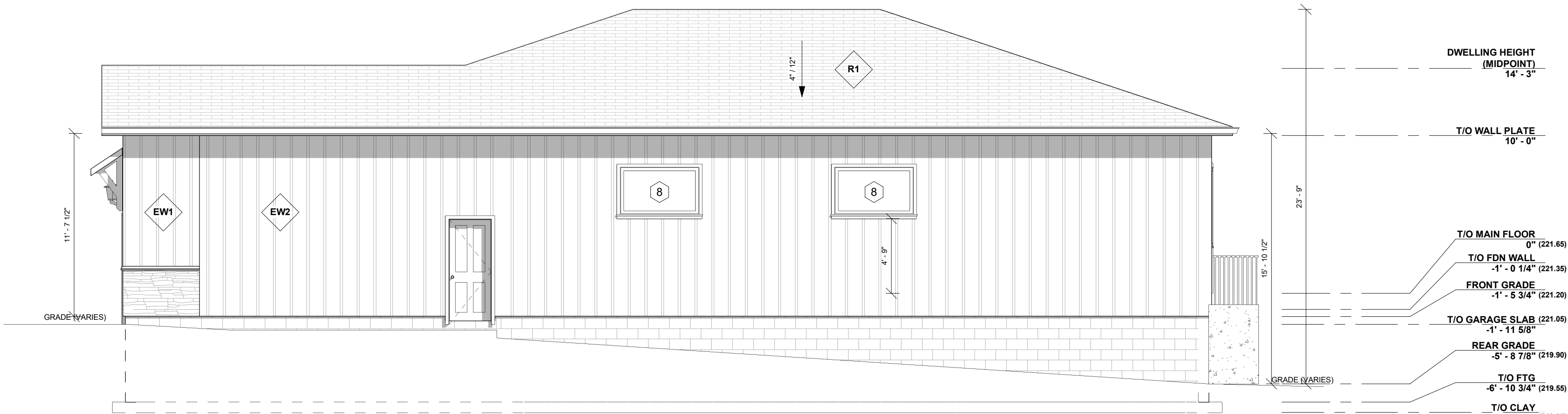
PROJECT NO.: DGE24140

SCALE: As indicated DRAWING NO. **S-9**

DRAWINGS REMAIN THE PROPERTY OF DGE



1 EAST Elevation
S-9 1/4" = 1'-0"



2 SOUTH Elevation
S-9 3/16" = 1'-0"

Site Photos

34 Della Street
Facing North



34 Della Street
Facing North



34 Della Street
Facing West



34 Della Street
Facing West



34 Della Street
Facing East



34 Della Street
Facing South



To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Iampietro, Manager, Development Engineering
Monika Saddler, Planner
Cory Repath, Sr. Development Inspector
Ashwin Kannuthurai, Junior Development Inspector

Date: July 24th, 2025

Re: MINOR VARIANCE MV-2025-0011
34 Della Street
Plan 191 Part Lot 22
Roll No: 043-289

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0011:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing engineering2@georgina.ca to fulfill your conditions, or if you have any questions or concerns, please email ssial@georgina.ca.

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2025-0044

**FOR THE CONSIDERATION OF
COMMITTEE OF ADJUSTMENT**

August 18, 2025

**SUBJECT: MINOR VARIANCE APPLICATION MV-2025-0014
19 KLIMEK BOULEVARD
PLAN 495, LOTS 11 AND 12**

1. RECOMMENDATIONS:

- 1) That the Committee of Adjustment receive Report No. DS-2025-0044 prepared by the Development Planning Division, Development Services Department, dated August 18, 2025, respecting Minor Variance Application MV-2025-0014 for the property municipally addressed as 19 Klimek Boulevard; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a) That the Committee of Adjustment approve Minor Variance Application MV-2025-0014 to permit relief from the following:
 - i) Section 5.1(b): To permit the construction of an accessory structure in the front yard, whereas an accessory structure shall not be erected in any yard other than in an interior side yard or rear yard;
 - b) That the approval of Minor Variance Application MV-2025-0014 be subject to the following term(s):
 - i) That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0044, in accordance with the relief recommended to be approved in Recommendation 2a);
 - c) That the approval of Minor Variance Application MV-2025-0014 be subject to the following condition(s):
 - i) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0044 have been addressed to the Division's satisfaction;

ii) **Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0044 have been addressed to the Authority's satisfaction;**

iii) **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

2. PURPOSE:

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application MV-2025-0014 for the property located at 19 Klimek Boulevard regarding the construction of a detached garage in the front yard.

3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)
19 Klimek Boulevard
Plan 495, Lots 11 and 12
Roll #: 051-652

PROPOSAL

The owner of the subject property is proposing to construct an accessory structure on the subject lands.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed accessory structure:

- i) Section 5.1 (b): To permit the construction of an accessory structure in the front yard, whereas an accessory structure shall not be erected in any yard other than in an interior side yard or rear yard.

A Site Plan, showing the proposal and the requested relief are included as Attachment 2.

3.1 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 19 Klimek Boulevard. A summary of the characteristics of the property is as follows:

General Property Information	
Municipal Address	19 Klimek Boulevard
Zoning	Residential (R) Zone
Frontage	60.96 Metres
Area	2787.09 Square Metres

Official Plan / Secondary Plan Land Use Designation	Residential (Pefferlaw Secondary Plan)	
Regional Official Plan Land Use Designation	Community Area	
Related Applications	NA	
Land Use and Environmental Considerations		
Existing Structures	Single Detached Dwelling and two accessory structures (temporary tents)	
Proposed Structures	Detached Garage	
Heritage Status	No	
Regulated by LSRCA	Partially, Northwest Corner	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Private	Private
Sanitary	Private	Private
Access	Existing driveway	Existing driveway

4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

4.1 PUBLIC CIRCULATION

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on July 29, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application MV-2025-0014 are outlined below.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, as well as a drawing checklist (Attachment 4).

The Lake Simcoe Region Conservation Authority (LSRCA) has indicated no objections and requires, as a condition of the minor variance, that the applicant / owner pay the LSRCA review fee in accordance with the approved LSRCA fee schedule and obtain a permit or written clearance from the LSRCA (attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Building Division
- Plumbing / Building Inspector – Building Division
- Georgina Fire Department
- Ministry of Transportation
- Municipal Law Enforcement Division
- Operations and Infrastructure Department
- Tax and Revenue Division
- York Catholic District School Board
- York Region District School Board
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

5. ANALYSIS:

The following evaluation of Minor Variance Application MV-2025-0014 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

i. Is the general intent and purpose of the Official Plan maintained? – Yes

The subject property is designated Residential Area in the Pepperlaw Secondary Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes

The subject property is zoned Residential (R) Zone on Map 10 of Schedule 'A' to Zoning By-law No. 500, as amended. A Single-detached dwelling and accessory structures, buildings and uses are permitted in the Residential (R) zone.

a. Accessory Structure in the Front Yard

Section 5.1 (b) of Zoning By-law No. 500, as amended, permits accessory structures in the rear and interior side yards. The Applicant has requested relief to allow an accessory structure to be constructed in the front yard.

The general intent of this requirement is to ensure that the streetscape develops in an orderly manner and that adequate amenity space and landscaping is provided in the front yard and exterior side yard.

Staff note that the detached garage will replace the two temporary tents used as a garage which are located in the same location as the proposed detached garage. Additionally, the subject property is two whole lots on a plan subdivision that were deemed together in 2011; as such, there is plenty of amenity space located in the front yard and the interior side yard.

Staff have reviewed the proposed location and note that if the applicant wanted to build a similarly sized garage in the rear yard, it would be difficult to accommodate due to the housing being setback near the rear lot line and the location of existing septic tanks and beds.

Staff are of the opinion that the proposed variance maintains the general intent and purpose of Zoning By-law 500, as amended.

iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes

Klimek Boulevard is generally comprised of 1 and 1 ½ storey detached dwellings with a mix of attached garages, detached garages, or no garage. It is noted that a minor variance application (Town File A24-24) was approved by the Committee at 38 Klimek Boulevard to permit a detached garage in the front yard.

Furthermore, the proposed garage is hidden behind large trees and is set back 9.14 metres from the lot line, which is more than required for a house (6 metres).

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and the surrounding neighbourhood.

iv) Is the relief sought minor in nature? – Yes

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

6. CONCLUSION:

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application MV-2025-0014, as it pertains to the proposed accessory structure, meets the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*, R.S.O. 1990 and represents good planning.

APPROVALS:

Prepared by:

Monika Sadler
Planner I

Approved By:

Jeff Healey, MCIP, RPP
Supervisor of Development Planning

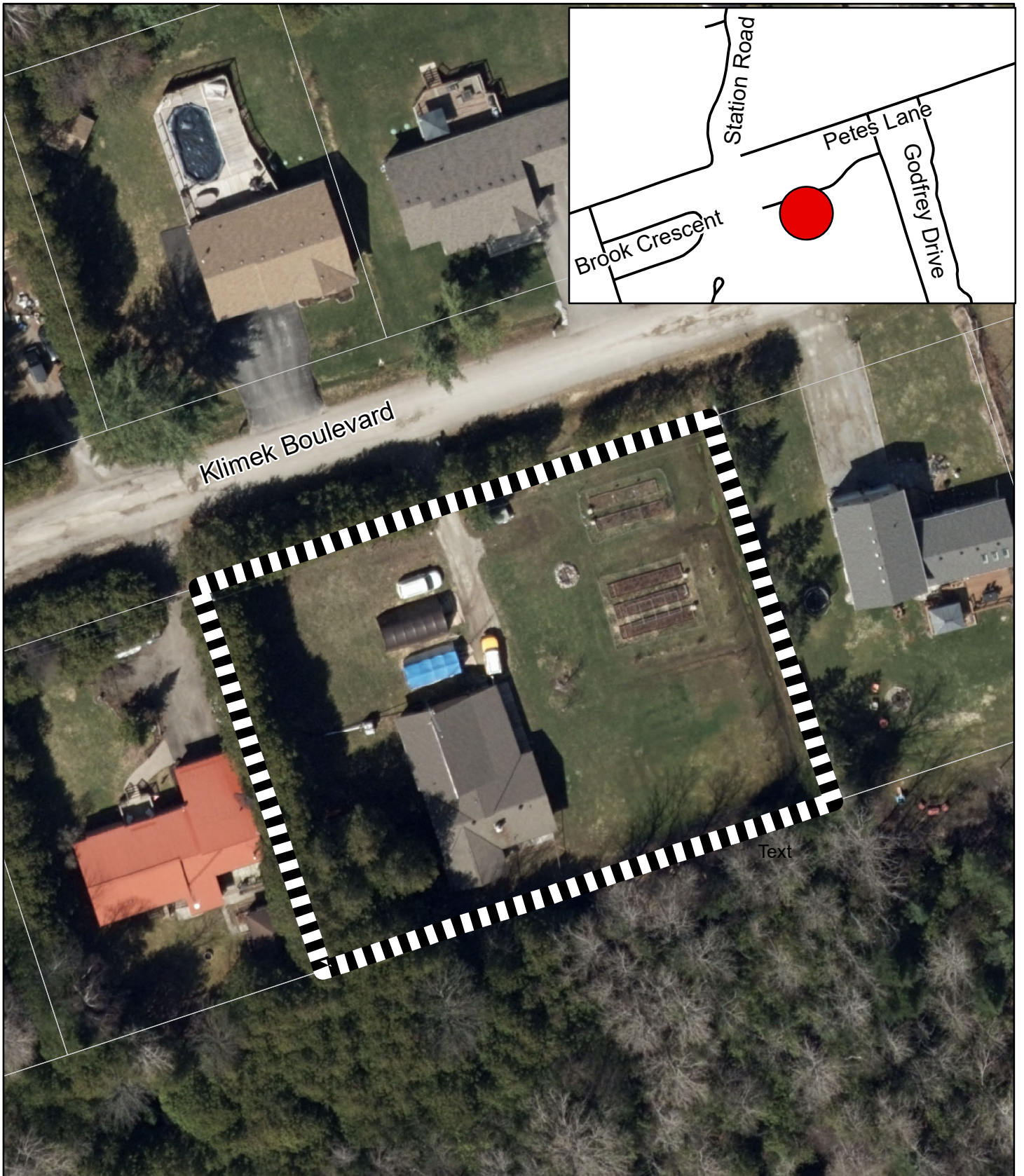
Attachments:

Attachment 1 – Location Map

Attachment 2 – Site Plan

Attachment 3 – Site Photos

Attachment 4 – Comments



LOCATION MAP

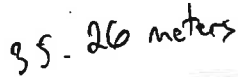


SUBJECT LAND

0 5 10 20 Meters
|-----|-----|-----|-----|

N





Site Photos

19 Klimek Blvd
Facing South



19 Klimek Blvd
Facing South



19 Klimek Blvd
Facing South



19 Klimek Blvd
Facing West



19 Klimek Blvd
Facing East



19 Klimek Blvd
Facing North



To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Iampietro, Manager, Development Engineering
Monika Saddler, Planner
Cory Repath, Sr. Development Inspector
Ashwin Kannuthurai, Junior Development Inspector

Date: July 24th, 2025

Re: MINOR VARIANCE MV-2025-0014
19 Klimek Blvd
PLAN 495 LOTS 11 & 12
Roll No.: 051-652

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0014:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing engineering2@georgina.ca to fulfill your conditions, or if you have any questions or concerns, please email ssial@georgina.ca.



Sent via e-mail: bflatt@georgina.ca

July 29, 2025

Municipal File No.: MV-2025-0014
LSRCA File No.: VA-211892-070225

Brianna Flatt
Secretary-Treasurer to the Committee of Adjustment
Planning Division, Development Services Department
26557 Civic Centre Rd
Keswick, ON L4P 3G1

Dear Ms. Flatt,

Re: Application for Minor Variance
19 Klimek Boulevard
Town of Georgina
Owner/Applicant: James RD White and Ursula Pelletier-White

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to construct a detached garage. The Applicant/Owner is seeking relief from the following section of the Town of Georgina Zoning By-law Number 500, as amended:

- Section 5.1(b) of the By-law which does not permit an accessory structure to be erected in any yard other than in an interior side yard or rear yard, whereas the proposal is requesting to erect an accessory structure in the front yard.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Agency Circulation
- Site Plan Drawing

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Based on our review of the submitted information in support of the application, the proposal is consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536;
- That the Applicant/Owner obtain a permit or written clearance from the LSRCA.

The subject land is approximately 0.28 hectares (0.69 acres) in area and is located south of Klimek Boulevard within the Town of Georgina. The subject land is currently zoned 'Residential (R)' per the Town of Georgina Zoning By-law Number 500, as amended.

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24 for regulatory floodplain setback. Please see a detailed regulatory map below.
- The subject property is within the Protected Countryside designation per the Greenbelt Plan.



1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS). There are identified natural hazards on the subject lands (floodplain). Based on the information submitted as part of this application, the proposal is located outside of hazardous lands and is therefore consistent with 5.2 of the PPS.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. A permit from the LSRCA is required prior to any development or site alteration within the regulated area.

Advisory Comments

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

Summary

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 5.2 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject site. A permit or written clearance from the LSRCA will be required prior to any development or site alteration taking place;
3. The Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,



Jessica Lim
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)



**THE CORPORATION OF THE
TOWN OF GEORGINA
Committee of Adjustment Minutes**

Date: Monday, July 14, 2025
Time: 7:30 PM

Members of
Committee Present:

John Rogers, Chair
Karen Whitney
Chris Burns
Lynda Rogers
Joseph Bonello

Staff Present:

Jeff Healey, Supervisor of Development Planning
Monika Sadler, Planner I
Brianna Flatt, Secretary-Treasurer

1. ROLL CALL

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council and Committee, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

As noted above.

2. INTRODUCTION OF ADDENDUM ITEM(S)

There were three (3) addendum items:

1. MV-2025-0009 - Letter of Support
2. MV-2025-0009 - Letter of Opposition
3. MV-2025-0009 - Letter of Opposition

3. DECLARATION OF PECUNIARY INTEREST

No pecuniary interests were declared.

4. EXPLANATION OF HEARING PROCEDURE

Brianna Flatt, Secretary-Treasurer, read the explanation of hearing procedure.

5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

None.

6. APPLICATIONS FOR CONSENT

None.

7. APPLICATIONS FOR MINOR VARIANCE

1. MINOR VARIANCE APPLICATION MV-2025-0008
151 OAKCREST DRIVE
PLAN 65M-2480, LOT 37

The Owner, Olena Rybakova, gave a brief overview of the application.

Monika Sadler, Planner I, gave a brief presentation on the application.

There was one (1) written comment received, this was circulated to the Committee members due to the nature of the document.

There was one verbal comment received over the phone advising that they oppose the application.

Committee Chair John Rogers advised the members of the public that the Committee of Adjustment handles Zoning By-law issues and does not review neighbourhood complaint issues or property standard issues.

There were three members of the public who spoke. The three speakers were Ryan O'Kelly, Amanda Skelly and Robert Cole who raised a number of concerns including drainage issues, compliance with the Ontario Building Code, property standard issues, inspection issues, parking, concerns with a potential future building further into rear yard and the fence in the middle of the rear yard.

Amanda Skelly did ask why By-Law did not provide comments on the application. Monika Sadler, Planner I, advised that the Town does circulate to all internal and external agencies, and that By-Law is not giving comments on the property standards as the comments are for the minor variance.

Ms. Sadler advised that the grading and drainage plan must meet the Town's Development Engineering standards, to make sure there is no additional drainage onto neighbouring properties. Should members of the public request a copy of the grading plan, you will need to make a freedom of information request. Ms. Sadler further advised that Bill 23 permits accessory apartments as of right, this allows up to three units within a house. Ms. Sadler noted that the dwelling units will have to be Ontario

Building Code compliant, this includes the Fire department review of drawings. Ms. Sadler advised that Zoning By-Law 500 only requires three parking spots for houses with accessory apartment. Ms. Sadler advised that there are lot coverage requirements and that fences are allowed anywhere on the property, if they exceed two (2) metres they must comply with the Accessory structures standard and set back in accordance with the Zoning.

Committee member Chris Burns asked the owner Olena if they reside at the property. Ms. Rybakova advised that they do not live there.

Committee member Chris Burns asked if the deck and stairs in the side yard required a permit and if it complies with the setback requirements. Ms. Sadler advised that stairs that are below grade are allowed to encroach into the interior side yard and can be less than 0.6 metres in height. As the stairs are located in the rear yard they are below grade. Committee member Chris Burns asked if the stairs could encroach fully in the side yard. Ms. Sadler agreed that the stairs could fully encroach based on the wording of the zoning by-law.

Committee member Chris Burns asked if the front yard set back complies. Ms. Sadler advised that there was already a minor variance completed to reduce the front yard setback.

Committee member Karen Whitney asked the Owner, Olena Rybakova if they were ok with adding a condition of the minor variance to legalize the accessory apartment. Ms. Rybakova advised that once the minor variance is completed, they can move forward with legalization of the accessory apartment.

Committee member Karen Whitney asked if the fire department would allow for the legalization of the apartment without the minor variance. Ms. Sadler advised that the applicant has applied for a building permit to legalize the existing accessory apartment. The building permit submitted to the Town was put on hold due to the rear yard set-back discrepancy. Ms. Sadler further advised that the minor variance would need to be finalized to pass the Ontario Building Code review.

Committee Chair John Rogers stated that the Owner indicated they found documentation stating that the structure was in place in 1991. Committee Chair John Rogers asked Ms. Sadler if the Town received these documents. Ms. Sadler advised that the Town initially received some documents, but the documents received were not sufficient in order to confirm the legal non-conforming use.

Committee Chair John Rogers thanked all the members of the public for speaking and sending in comments.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period.

Moved By Karen Whitney
Seconded By Chris Burns

1. **That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0008 for the property municipally addressed as 151 Oakcrest Drive; and,**
2. **Staff recommend the following:**
 - a. **That the Committee of Adjustment approve Minor Variance Application MV-2025-0008 to permit relief from the following:**
 - i. **Section 6.1 (e): To permit a minimum rear yard setback of 6.8 metres, whereas a minimum rear yard setback of 7 metres is required;**
 - b. **That the approval of Minor Variance Application MV-2025-0008 be subject to the following term(s):**
 - i. **That the addition be constructed in general conformity with Attachment 2 to Report DS-2025-0039, in accordance with the relief recommended to be approved in Recommendation 2a);**
 - c. **That the approval of Minor Variance Application MV-2025-0008 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0039 have been addressed to the Division's satisfaction; and**
 - ii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

2. MINOR VARIANCE APPLICATION MV-2025-0009
S/S VAMBOLA AVENUE
PLAN 544, LOT 121

The Agent, Karen Parn, gave a brief presentation on the application.

Monika Sadler, Planner I, gave a brief presentation on the application.

There were three (3) comments received, and they were posted as addendum items.

There was one public speaker, Garry Leonard. Mr. Leonard raised a few concerns as well as looking for clarification on the application. The concerns that were raised were that it is an eyesore, impact on property values, setting a precedent for others, if this is enforceable after the two years is up, as well as Mr. Leonard did not believe that two years is temporary. Mr. Leonard looked for clarification on whether the two temporary structures would be removed once a building was built and whether or not a building permit application has been submitted.

Monika Sadler, Planner I, advised that a two-year term is a standard term for temporary use minor variances, as typically the Town requires the owner or applicants to fulfill the conditions within the two-year time frame. Ms. Sadler advised that the owner can re-apply after two years, and it will be re-evaluated by the Committee if an application is made. Ms. Sadler further went on to say if the temporary use surpasses the two years and By-Law is called, they will receive another complaint on the property. Ms. Sadler advised that the shipping container can stay during construction, the shed can remain as long as it complies with the setbacks, and the trailer can stay as long as it is not used for human habitation.

Committee member Chris Burns asked Ms. Sadler the time frames of the two years, and if they are concurrent with completing the conditions. In other words, the owners completing the conditions and then having the two-year use period. Ms. Sadler advised that the temporary use is only permitted for two years from the date of the notice of decision.

Committee member Chris Burns asked Karen Parn, Agent if there is a timeline for the proposed build. Ms. Parn advised that there are a few issues holding up building, including flooding from a blocked ditch on the property and compliance with the Lake Simcoe Region Conservation Authority regarding the ditch. Ms. Parn advised that the land is quite wet, in terms of building that plays a factor in the design. Ms. Parn advised that the flooding issues would need to be resolved before moving forward.

Committee member Chris Burns asked Ms. Parn if they felt they had ample time to complete this project in two years. Ms. Parn advised that they are going to be building a house and will make time to do so.

Committee member Chris Burns stated that there were comments about waste disposal/septic, Ms. Parn was asked how the waste is currently being dealt with on the site. Ms. Parn advised that they have a self-contained composting toilet, it is fully self contained and does not affect the soil.

Committee member Chris Burns further asked about the gray water. Ms. Parn advised that they do not produce any gray water, and that they are only at the property two days at a time.

Committee member Chris Burns further asked if the land was the Estonian camp. Ms. Parn advised that the land was parceled off to the Estonians around 70 years ago. There is a camp that operates the first few weeks of July and then can be rented out to anyone else. Committee member Chris Burns was seeking confirmation on whether the camp was located on these lands. Ms. Parn advised that it was not.

Committee member Joseph Bonello advised that a site visit was conducted and advised that the property was very well maintained, from all angles excepting Mr. Leonards' property it would be hard to see the trailer and shipping container. Committee member Joseph Bonello further advised that there is nothing offensive on the property.

Committee Chair John Rogers asked Ms. Sadler if the roads were assumed roads or are they private. Ms. Sadler advised that Operations and Infrastructure assumed a few roads in Udora, it isn't clear if this was one of the roads, which is why it has the R-1 Zoning to allow a house on those streets.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period.

Moved By Chris Burns

Seconded By Lynda Rogers

1. **That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0009, for the property municipally addressed as S/S Vambola Avenue; and,**
2. **Staff recommend the following:**
 - a. **The Committee of Adjustment approves Minor Variance Application MV-2025-0009 to permit relief from the following:**
 - i. **Section 5.1(a): To temporarily permit accessory structures without a primary use structure; whereas no accessory structure will be permitted without a primary use structure;**
 - ii. **Section 5.40: To temporarily permit a trailer for human habitation; whereas no trailer shall be permitted for human habitation;**

- iii. **Section 5.40: To temporarily permit a shipping container, whereas a shipping container shall be permitted for storage;**
- b. **That the approval of Minor Variance Application MV-2025-0009 be subject to the following term(s):**
 - i. **That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0040, in accordance with the relief recommended to be approved in Recommendation 2a);**
 - ii. **That the relief provided in Recommendation 2(a) be provided on the property for a limited period of two years following the date of the decision of the Committee of Adjustment.**
- c. **That the approval of Minor Variance Application MV-2025-0009 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Authority's satisfaction;**
 - ii. **Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Division's satisfaction; and**
 - iii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

3. **MINOR VARIANCE APPLICATION MV-2025-0010
10101 OLD SHILOH ROAD
CONCESSION 1, PART OF LOT 21**

The owner, Vanessa Cabrera, spoke to the application.

Monika Sadler, Planner I, gave a brief presentation on the application.

There were no public speakers or comments.

Committee member Chris Burns asked the owner, if they had done a study of the existing septic. Mrs. Cabrera advised that they had replaced

the septic previously, they received a permit to replace it. Committee member Chris Burns asked if the new septic was appropriately sized for the bathrooms proposed. Mrs. Cabrera confirmed that it was and that they had to submit a drainage plan.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period.

Moved By Karen Whitney

Seconded By Joseph Bonello

1. **That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0010, for the property municipally addressed as 10101 Old Shiloh Road; and,**
2. **Staff recommend the following:**
 - a. **The Committee of Adjustment approves Minor Variance Application MV-2025-0010 to permit relief from the following:**
 - i. **Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required;**
 - ii. **Section 6.1 (f): To legalize an interior side yard setback of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings;**
 - b. **That the approval of Minor Variance Application MV-2025-0010 be subject to the following term(s):**
 - i. **That the proposed addition be constructed in general conformity with Attachment 2 to Report DS-2025-0041, in accordance with the relief recommended to be approved in Recommendation 2a);**
 - c. **That the approval of Minor Variance Application MV-2025-0010 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0041 have been addressed to the Division's satisfaction; and**
 - ii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS

None.

9. MINUTES OF PREVIOUS MEETING

1. June 16, 2025 Meeting Minutes

The June 16, 2025 meeting minutes were adopted.

Moved By Lynda Rogers

Seconded By Chris Burns

Carried Unanimously

10. COMMUNICATIONS

None.

11. OTHER BUSINESS

Quarter 2 expense reports are due July 14, 2025.

Reminder that we have the learning session on September 15, 2025 at 5:30 p.m.

12. NEXT MEETING

The next meeting is August 18, 2025.

13. ADJOURNMENT

Meeting was adjourned.

John Rogers, Chair

Brianna Flatt, Secretary-Treasurer