



THE CORPORATION OF THE  
TOWN OF GEORGINA  
Committee of Adjustment

Monday, July 14, 2025  
7:30 PM

Pages

1. ROLL CALL

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

2. INTRODUCTION OF ADDENDUM ITEM(S)

3. DECLARATION OF PECUNIARY INTEREST

4. EXPLANATION OF HEARING PROCEDURE

5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

6. APPLICATIONS FOR CONSENT

7. APPLICATIONS FOR MINOR VARIANCE

1. MINOR VARIANCE APPLICATION MV-2025-0008  
151 OAKCREST DRIVE  
PLAN 65M-2480, LOT 37

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1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0008 for the property municipally addressed as 151 Oakcrest Drive; and,
2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:

- a. That the Committee of Adjustment approve Minor Variance Application MV-2025-0008 to permit relief from the following:
  - i. Section 6.1 (e): To permit a minimum rear yard setback of 6.8 metres, whereas a minimum rear yard setback of 7 metres is required;
- b. That the approval of Minor Variance Application MV-2025-0008 be subject to the following term(s):
  - i. That the addition be constructed in general conformity with Attachment 2 to Report DS-2025-0039, in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application MV-2025-0008 be subject to the following condition(s):
  - i. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0039 have been addressed to the Division's satisfaction; and
  - ii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

2. MINOR VARIANCE APPLICATION MV-2025-0009  
S/S VAMBOLA AVENUE  
PLAN 544, LOT 121

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1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0009, for the property municipally addressed as S/S Vambola Avenue; and,
2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application MV-2025-0009 to permit relief from the following:
    - i. Section 5.1(a): To temporarily permit accessory structures without a primary use structure; whereas no accessory structure will be permitted without a primary use structure;
    - ii. Section 5.40: To temporarily permit a trailer for human habitation; whereas no trailer shall be permitted for human habitation;
    - iii. Section 5.40: To temporarily permit a shipping container, whereas a shipping container shall be



permitted for storage;

- b. That the approval of Minor Variance Application MV-2025-0009 be subject to the following term(s):
  - i. That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0040, in accordance with the relief recommended to be approved in Recommendation 2a);
  - ii. That the relief provided in Recommendation 2(a) be provided on the property for a limited period of two years following the date of the decision of the Committee of Adjustment.
- c. That the approval of Minor Variance Application MV-2025-0009 be subject to the following condition(s):
  - i. Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Authority's satisfaction;
  - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Division's satisfaction; and
  - iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

3. MINOR VARIANCE APPLICATION MV-2025-0010  
10101 OLD SHILOH ROAD  
CONCESSION 1, PART OF LOT 21

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- 1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0010, for the property municipally addressed as 10101 Old Shiloh Road; and,
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application MV-2025-0010 to permit relief from the following:
    - i. Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required;
    - ii. Section 6.1 (f): To legalize an interior side yard setback

of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings;

- b. That the approval of Minor Variance Application MV-2025-0010 be subject to the following term(s):
  - i. That the proposed addition be constructed in general conformity with Attachment 2 to Report DS-2025-0041, in accordance with the relief recommended to be approved in Recommendation 2a);

- a. That the approval of Minor Variance Application MV-2025-0010 be subject to the following condition(s):
  - i. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0041 have been addressed to the Division's satisfaction; and
  - ii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

**8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS**

**9. MINUTES OF PREVIOUS MEETING**

- 1. June 16, 2025 Meeting Minutes

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**10. COMMUNICATIONS**

**11. OTHER BUSINESS**

**12. NEXT MEETING**

The next meeting is August 18, 2025.

**13. ADJOURNMENT**

**THE CORPORATION OF THE TOWN OF GEORGINA**

**REPORT NO. DS-2025-0039**

**FOR THE CONSIDERATION OF  
COMMITTEE OF ADJUSTMENT**

**July 14, 2025**

**SUBJECT: MINOR VARIANCE APPLICATION MV-2025-0008**

**151 OAKCREST DRIVE**

**PLAN 65M-2480, LOT 37**

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**1. RECOMMENDATIONS:**

- 1) That the Committee of Adjustment receive Report No. DS-2025-0039 prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0008 for the property municipally addressed as 151 Oakcrest Drive; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a) That the Committee of Adjustment approve Minor Variance Application MV-2025-0008 to permit relief from the following:
    - i) Section 6.1 (e): To permit a minimum rear yard setback of 6.8 metres, whereas a minimum rear yard setback of 7 metres is required;
  - b) That the approval of Minor Variance Application MV-2025-0008 be subject to the following term(s):
    - i) That the addition be constructed in general conformity with Attachment 2 to Report DS-2025-0039, in accordance with the relief recommended to be approved in Recommendation 2a);
  - c) That the approval of Minor Variance Application MV-2025-0008 be subject to the following condition(s):
    - i) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0039 have been addressed to the Division's satisfaction; and
    - ii) That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

## 2. **PURPOSE:**

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application MV-2025-0008 for the property located at 151 Oakcrest Road. The reduced rear yard setback is proposed to legalize the existing addition, which in turn would legalize an existing accessory apartment.

## 3. **BACKGROUND:**

Property Description: (refer to Attachments 1 to 3)  
151 Oakcrest Drive  
PLAN 65M-2480, LOT 37  
Roll #: 095-55274

### **PROPOSAL**

The owner of the subject property is proposing to legalize an addition at the rear of the single detached dwelling on the subject lands.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed accessory structure:

- i) Section 6.1 (e): To permit a minimum rear yard setback of 6.8 metres, whereas a minimum rear yard setback of 7 metres is required.

A Site Sketch showing the proposal and the requested relief is included as Attachment 2.

## 3.1 **SUBJECT PROPERTY AND THE SURROUNDING AREA:**

The subject property is located at 151 Oakcrest Drive. A summary of the characteristics of the property is as follows:

General Property Information	
Municipal Address	151 Oakcrest Drive
Zoning	Low-Density Urban Residential (R1) Zone
Frontage	15.1 Metres
Area	468.1 Square Metres
Official Plan / Secondary Plan Land Use Designation	Existing Neighbourhood (Keswick Secondary Plan)
Regional Official Plan Land Use Designation	Community Area
Related Applications	None
Land Use and Environmental Considerations	

Existing Structures	Single Detached Dwelling	
Proposed Structures	None	
Heritage Status	No	
Regulated by LSRCA	No	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Municipal	Municipal
Sanitary	Municipal	Municipal
Access	Existing driveway	Existing driveway

#### 4. **PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:**

##### 4.1 **PUBLIC CIRCULATION**

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on June 27, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Staff have not received any comments from the general public.

##### 4.2 **EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS**

All Town department and external agency comments for Minor Variance Application MV-2025-0008 are outlined below.

The Georgina Fire Department has indicated no objects and advises the applicant / owner that Fire has an open file for the owner to legalize the accessory apartment.

The Development Engineering Division has indicated no objections and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, including existing and proposed entrances, prepared by a Professional Engineer or an Ontario Land Surveyor and a Complete drawing checklist for the lot grading and drainage plan (Attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Building Division
- Ministry of Transportation
- Municipal Law Enforcement Division
- Operation and Infrastructure Department
- Tax and Revenue
- Senior Landscape Architect, Planning Policy

- York Catholic District School Board
- York Region
- York Region District School Board

A number of external agencies and Town departments / divisions have not provided comments.

## **5. ANALYSIS:**

### **5.1 Evaluation of Proposed Minor Variance**

The following evaluation of Minor Variance Application MV-2025-0008 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

#### *i. Is the general intent and purpose of the Official Plan maintained? – Yes*

The subject property is designated Existing Neighbourhood in the Keswick Secondary Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

#### *ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes*

The subject property is zoned Low Density Urban Residential (R1) Zone on Map 3 (page 1) of Schedule 'A' to Zoning By-law No. 500, as amended. A Single-detached dwelling and accessory structures, buildings and uses are permitted in the R1 zone.

##### **a. Rear Yard Setback**

Section 6.1 (e) of Zoning By-law No. 500, as amended, requires a rear yard setback of 7.0 metres. The Applicant has requested relief to legalize the existing rear yard setback of 6.8 metres.

The intent of the minimum front yard setback is to ensure adequate amenity area and compatibility with surrounding lots.

The existing addition has been located on the property since the mid-to-late 1990s and serves as the main entrance to the accessory dwelling unit. The backyard amenity space is currently divided into two areas by a chain link fence, serving both residential units on the property, and has been suitable for this purpose for several years.

The applicant has come in to legalize the rear yard setback as they wish to legalize the existing accessory apartment.

Staff are of the opinion that the proposed variance maintains the general intent and purpose of Zoning By-law 500, as amended.

*iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes*

The proposed addition is in keeping with the existing physical character of the neighbourhood, as the area generally consists of various lot sizes with single detached dwellings. The proposed addition does not negatively affect the neighbourhood or streetscape.

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and the surrounding neighbourhood.

*iv) Is the relief sought minor in nature? – Yes*

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

## **6. CONCLUSION:**

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application MV-2025-0008, as it pertains to the legalizing the existing addition, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

## **APPROVALS:**

Prepared by:

Monika Sadler  
Planner I

Approved By:

Jeff Healey, MCIP, RPP  
Supervisor of Development Planning

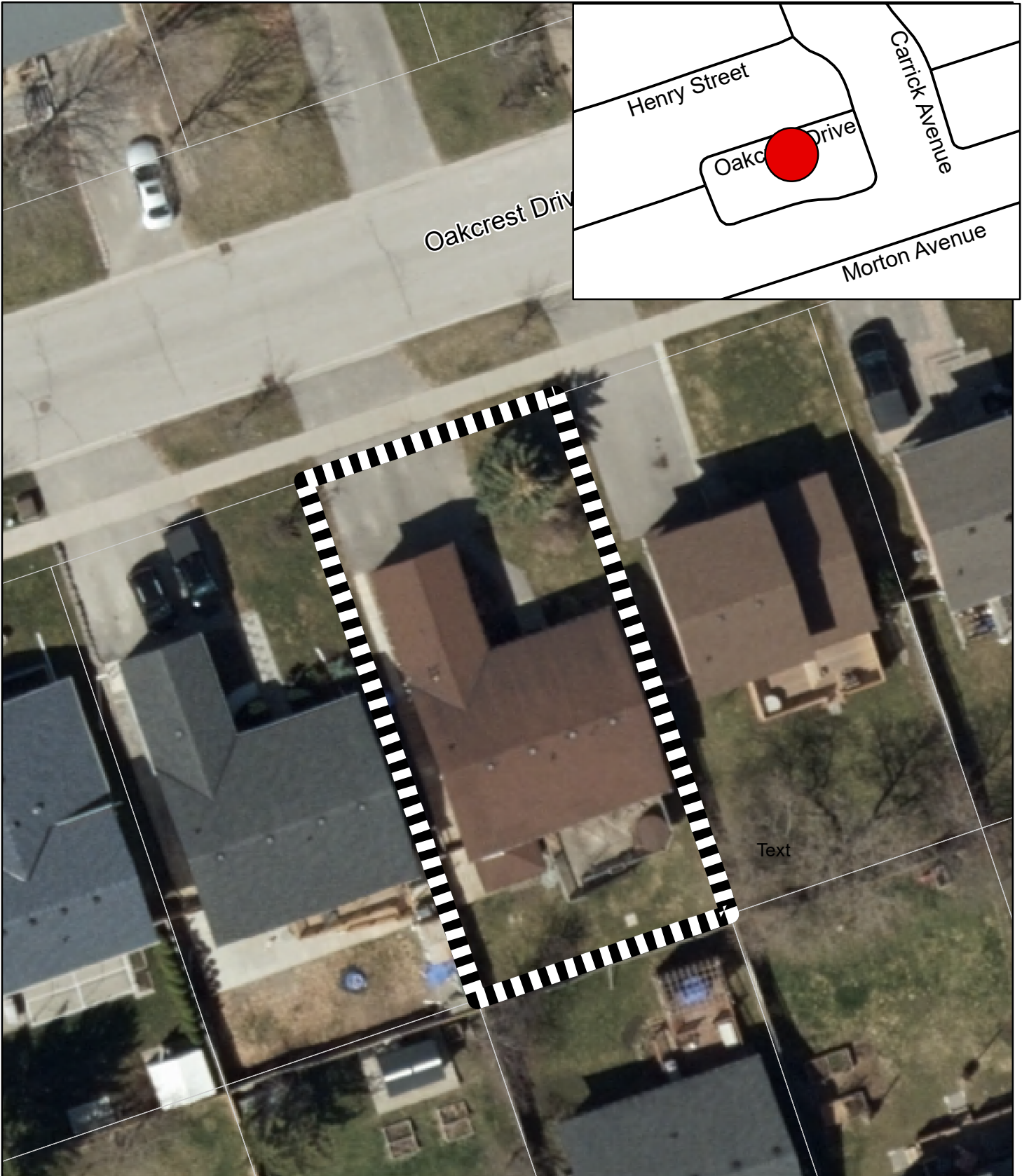
## **Attachments:**

*Attachment 1 – Location Map*

*Attachment 2 – Site Plan*

*Attachment 3 – Site Photos*

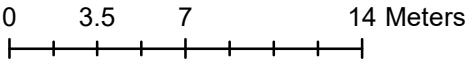
*Attachment 4 – Consolidated Comment Chart*



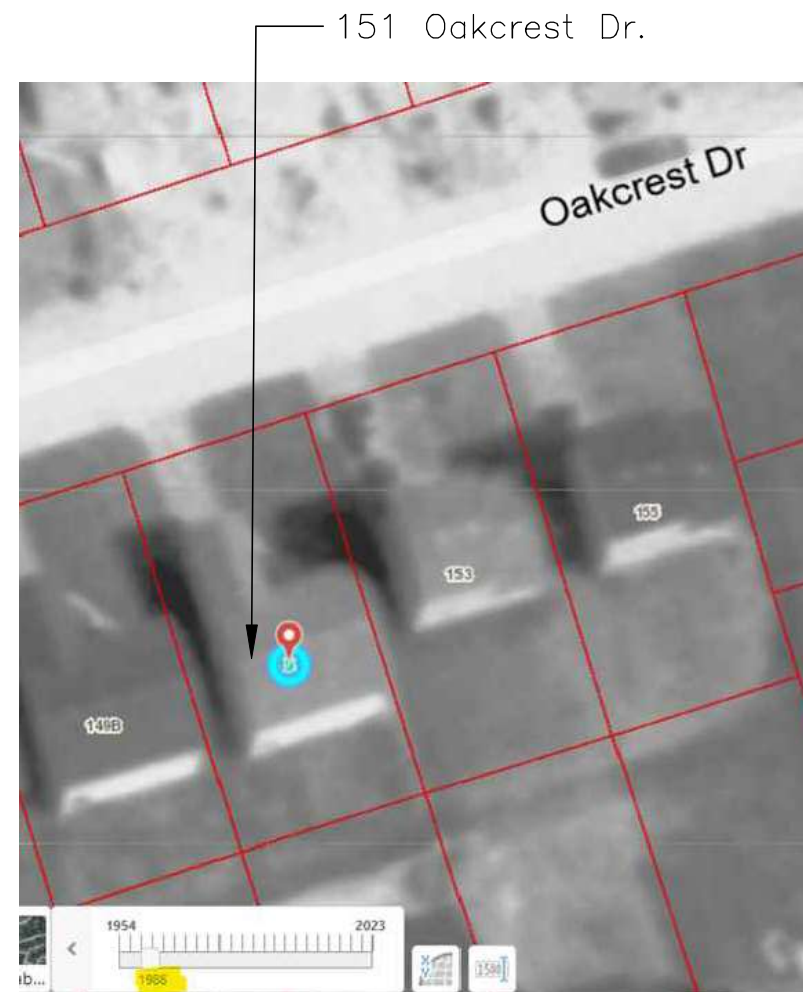
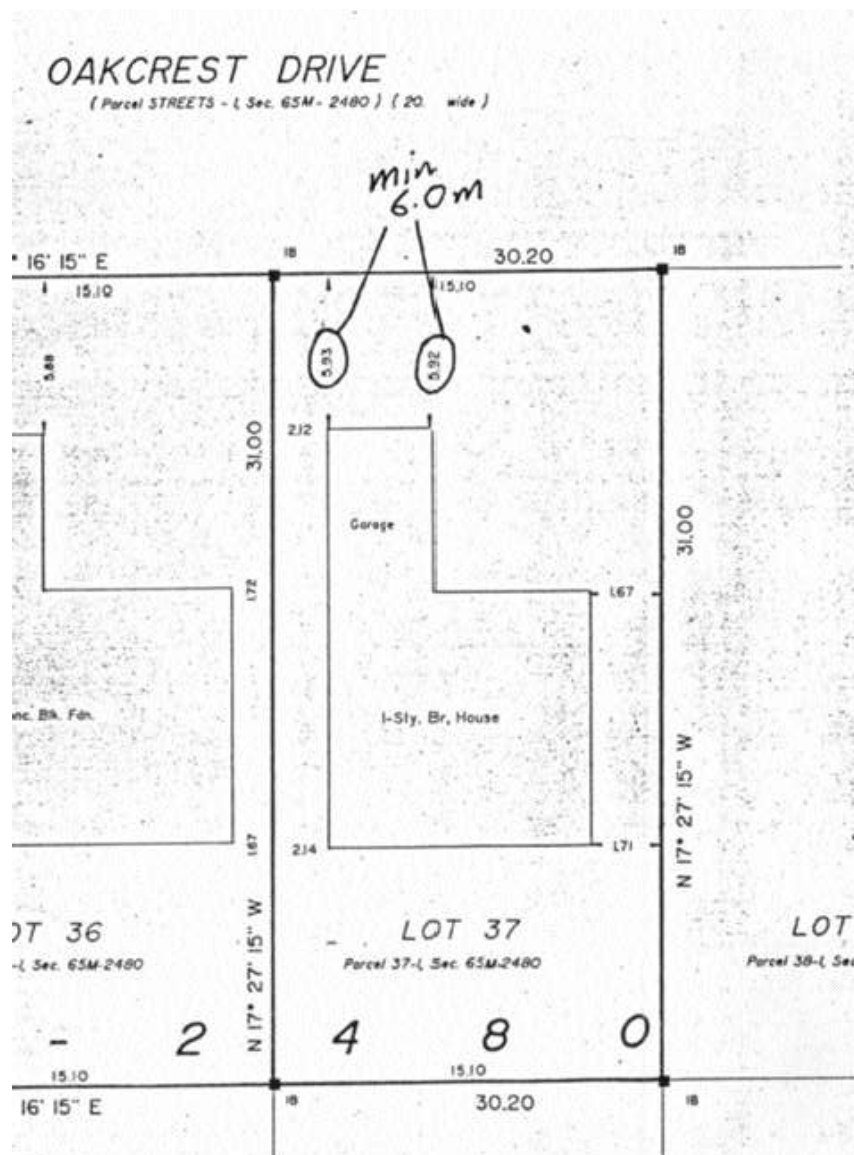
**LOCATION MAP**



**SUBJECT LAND**







Attachment 2  
MV-2025-0008  
151 Oakcrest Drive  
Page 1 of 2

I, IGOR RYBAKOV, AS A HOME OWNER,  
REVIEW AND TAKE RESPONSIBILITY FOR  
THE DESIGN THAT IS EXEMPT FROM  
THE REGISTRATION AND QUALIFICATION  
REQUIREMENTS OF THE BUILDING CODE

SIGNED\_\_\_\_\_

DATE\_\_\_\_\_

Project

151 Oakcrest Dr.

KESWICK, ON

Drawing Title  
**City Site Plan**

Scale	As indicated
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Date \_\_\_\_\_

Drawn	Igor Rybakov
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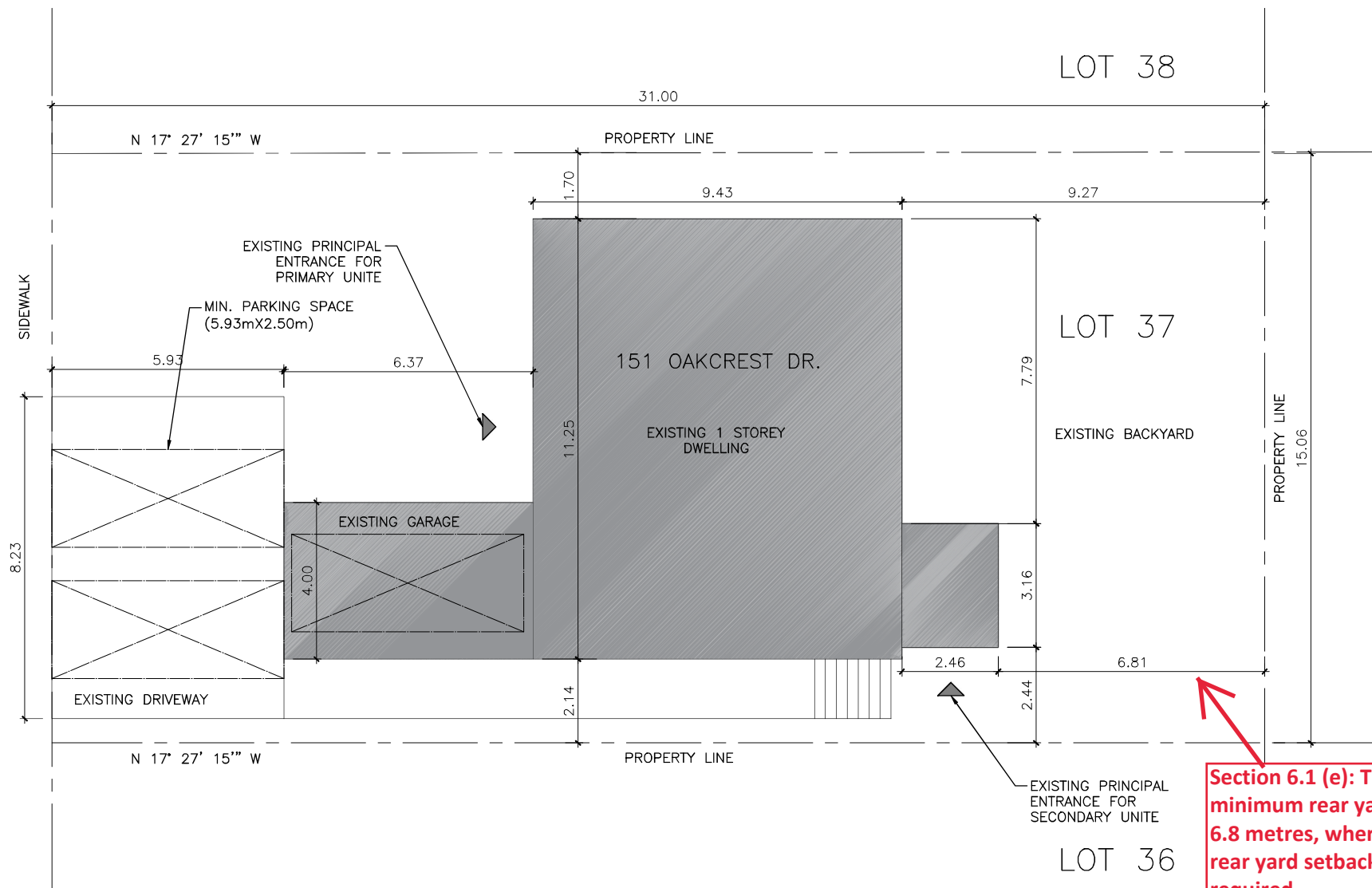
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File No./Drawing No.
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**A101**

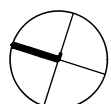
OAKCREST DR.



**Section 6.1 (e): To permit a minimum rear yard setback of 6.8 metres, whereas a minimum rear yard setback of 7 metres is required**

**1** EXISTING SITE PLAN  
1:150

Attachment 2  
MV-2025-0008  
151 Oakcrest Drive  
Page 2 of 2



PROJECT  
NORTH

I, IGOR RYBAKOV, AS A HOME OWNER,  
REVIEW AND TAKE RESPONSIBILITY FOR  
THE DESIGN THAT IS EXEMPT FROM  
THE REGISTRATION AND QUALIFICATION  
REQUIREMENTS OF THE BUILDING CODE

SIGNED \_\_\_\_\_

DATE \_\_\_\_\_

Project  
**151 Oakcrest Dr.**

KESWICK, ON

Drawing Title  
Existing Site Plan

Scale	As indicated
Date	
Drawn	Igor Rybakov
Checked	
Printed	
File No./Drawing No.	

**A102**



# Site Photos

151 Oakcrest Drive  
Facing South



151 Oakcrest Drive  
Facing East





151 Oakcrest Drive  
Facing North



151 Oakcrest Drive  
Facing North - East





151 Oakcrest Drive  
Facing North



151 Oakcrest Drive  
Facing South



Department/Agency	Date Received	Response:
Building Division	June 13, 2025	No concerns
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	June 24, 2025	See Attached
Economic Development		
Georgina Fire Department	June 18, 2025	Georgina Fire Department has no objections to this minor variance.  Please note: Fire has an open file for the owner to legalize the accessory apartment.
Municipal Law	June 6, 2025	No comments
Operations & Infrastructure	June 23, 2025	No Objections or Comments
Policy Planning	June 20, 2025	No comments
Tax & Revenue	June 7, 2025	No Tax concerns
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)		
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	June 9, 2025	No comments or concerns
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		

## Consolidated Comments for MV-2025-0008 - 151 Oakcrest Drive

Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board	June 6, 2025	No comments or objections
York Region - Community Planning & Development Services	June 11, 2025	No comment
York Region District School Board	June 9, 2025	No comments or concerns
York Regional Police		

**To:** Brianna Raines, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

**cc:** Mike Iampietro, Manager, Development Engineering  
Monika Saddler, Planner  
Cory Repath, Sr. Development Inspector  
Ashwin Kannuthurai, Junior Development Inspector  
Laura Taylor, Operations Administrative Assistant

**Date:** June 11<sup>th</sup>, 2025

**Re:** MINOR VARIANCE MV-2025-0008  
151 OAKCREST DRIVE KESWICK  
PLAN 65M2480 LOT 37  
BLK D PT WATER LOT RP 65R9790 PART 3  
Roll No.: 095-55274

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The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0008:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing [engineering2@georgina.ca](mailto:engineering2@georgina.ca) to fulfill your conditions, or if you have any questions or concerns, please email [ssial@georgina.ca](mailto:ssial@georgina.ca).



**THE CORPORATION OF THE TOWN OF GEORGINA**

**REPORT NO. DS-2025-0040**

**FOR THE CONSIDERATION OF  
COMMITTEE OF ADJUSTMENT**

**July 14, 2025**

**SUBJECT: MINOR VARIANCE APPLICATION MV-2025-0009  
S/S VAMBOLA AVENUE  
PLAN 544, LOT 121**

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**1. RECOMMENDATIONS:**

- 1) That the Committee of Adjustment receive Report No. DS-2025-0040 prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0009, for the property municipally addressed as S/S Vambola Avenue; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a) That the Committee of Adjustment approve Minor Variance Application MV-2025-0009 to permit relief from the following:
    - i) Section 5.1(a): To temporarily permit accessory structures without a primary use structure; whereas no accessory structure will be permitted without a primary use structure;
    - ii) Section 5.40: To temporarily permit a trailer for human habitation; whereas no trailer shall be permitted for human habitation;
    - iii) Section 5.40: To temporarily permit a shipping container, whereas a shipping container shall be permitted for storage;
  - b) That the approval of Minor Variance Application MV-2025-0009 be subject to the following term(s):
    - i) That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0040, in accordance with the relief recommended to be approved in Recommendation 2a);
    - ii) That the relief provided in Recommendation 2(a) be provided on the property for a limited period of two years following the date of the decision of the Committee of Adjustment.

c) That the approval of Minor Variance Application MV-2025-0009 be subject to the following condition(s):

i) Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Authority's satisfaction;

ii) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0040 have been addressed to the Division's satisfaction; and

iii) That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

## 2. **PURPOSE:**

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application MV-2025-0009 for the property located at S/S Vambola Avenue regarding the temporary use of a trailer for human habitation, accessory structures without a primary use and a shipping container for storage.

## 3. **BACKGROUND:**

Property Description: (refer to Attachments 1 to 3)  
S/S Vambola Avenue  
Plan 544, Lot 121  
Roll #: 021-141

## **PROPOSAL**

The owner of the subject property is proposing to temporarily permit a trailer for human habitation, a shipping container for storage and an accessory structure without a main building. This would provide temporary relief to the owners of the subject property, allowing them time to obtain a building permit for a single detached dwelling.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the temporary use of a trailer for human habitation, an accessory structure without a primary use and a shipping container for storage:

- i) Section 5.1(a): To temporarily permit accessory structures without a primary use structure; whereas no accessory structure will be permitted without a primary use structure.

- ii) Section 5.40: To temporarily permit a trailer for human habitation, whereas no trailer shall be permitted for human habitation.
- iii) Section 5.40: To temporarily permit a shipping container, whereas a shipping container shall be permitted for storage.

A Site Sketch and building plans showing the proposal and the requested relief are included as Attachment 2.

### 3.1 **SUBJECT PROPERTY AND THE SURROUNDING AREA:**

The subject property is located at S/S Vambola Avenue. A summary of the characteristics of the property is as follows:

General Property Information		
Municipal Address	S/S Vambola Avenue	
Zoning	Site Specific Residential (R-1) Zone	
Frontage	30.18 Metres	
Area	1,747.76 Square Metres	
Official Plan / Secondary Plan Land Use Designation	Hamlet Area	
Regional Official Plan Land Use Designation	Agricultural System/Hamlet Area	
Related Applications	None	
Land Use and Environmental Considerations		
Existing Structures	Shed, Shipping Container, and Trailer for Human Habitation	
Proposed Structures	None	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	Yes	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Private	Private
Sanitary	Private	Private
Access	Informal Driveway	Informal Driveway

## 4. **PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:**

### 4.1 **PUBLIC CIRCULATION**

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on June 27, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

#### 4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application MV-2025-0009 are outlined below.

The Lake Simcoe Region Conservation Authority (LSRCA) has indicated no objections and requires, as a condition of the minor variance, that the application / owner shall pay the LSRCA Plan review Fee in accordance with the approved LSRCA Fee Schedule (Attachment 4).

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, as well as a drawing checklist (Attachment 4, page 6, items 5 and 6).

The Development Engineering Division has also provided additional comments (Attachment 4, page 6, items 1, 2, and 3), which address septic services on the property and the process for obtaining a Site Alteration and Entrance Permit when a formal driveway entrance is proposed. Development Planning Division notes that these items are not a condition of the minor variance.

The Municipal Law Enforcement Division has indicated no objections but has advised that this Minor Variance is the result of an enforcement action after receiving a complaint (Attachment 4).

The Building Division has indicated no objections to the minor variances and advises the applicant that if the sewage from the trailer is to be disposed of on site, a private sewage disposal system compliant with the Ontario Building Code will be required (Attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Georgina Fire Department
- Ministry of Transportation
- Operation and Infrastructure Department
- Tax and Revenue Division
- Senior Landscape Architect, Planning Policy
- York Region District School Board

- York Region
- York Catholic District School Board

A number of external agencies and Town departments / divisions have not provided comments.

## 5. **ANALYSIS:**

The following evaluation of Minor Variance Application MV-2025-0009 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

### *i. Is the general intent and purpose of the Official Plan maintained? – Yes*

The subject property is designated Hamlet Area in the Town of Georgina Official Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

The subject accessory structure, shipping container, and trailer for human habitation will be temporary, providing relief until the Applicant can obtain a building permit for a single detached dwelling.

Consequently, Town Staff are of the opinion that the temporary placement of a trailer for human habitation meets the general intent and purpose of the Official Plan for residential development on the site.

### *ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes*

The subject property is zoned Site Specific Residential (R-1) Zone on Map 11 of Schedule 'A' to Zoning By-law No. 500, as amended. A single-detached dwelling and accessory structures are permitted in the R-1 zone.

#### **a. Accessory Structure**

Section 5.1 (f) of Zoning By-law 500, as amended, requires the main building of a property to be built prior to permitting any accessory structures to be built. The applicant has requested relief to allow the existing accessory structure to be retained despite no main building being erected.

The general intent of this section of Zoning Bylaw 500 is to ensure that accessory structures are secondary to the main structure or use. The accessory structure will only be allowed temporarily while the Applicant prepares the land to construct a new detached dwelling.

b. Trailer – Human Habitation

Section 5.40 of Zoning By-law 500, as amended, prohibits the use of a trailer for human habitation. The applicant has requested relief to allow a trailer to be used for human habitation on a temporary basis.

The intent of this section of the Zoning By-law is to prevent permanent uses in temporary structures where Building Codes may not be able to be applied. The Trailer being used for Human Habitation will only be allowed temporarily until a building permit can be obtained. The Owner has informed planning staff that the Trailer is only used seasonally for temporary overnight stays during land preparation work and is not a permanent dwelling.

c. Shipping Container

Section 5.40 of Zoning By-law No. 500, as amended, states that no shipping containers shall be used for storage, whether or not it is mounted on wheels. The applicant is requesting relief to legalize and permit an existing shipping container located in the rear of the subject property.

The general intent of prohibiting shipping containers in all zones is to reduce visual impacts on neighbouring properties and the streetscape. The shipping container is located at the rear of the subject property. It will only be permitted temporarily to accommodate maintenance items while the owner prepares the land for a new detached dwelling.

Staff are of the opinion that the proposed variances maintain the general intent and purpose of Zoning By-law 500, as amended.

*iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes*

The proposed relief would be desirable for the use of the land as it would permit a temporary residential use. This temporary use would be in effect for a two-year period while a building permit is obtained.

Staff are satisfied that the proposal is desirable for the appropriate temporary development of the subject lands to allow the Owner to be housed while the Zoning By-law Amendment application is processed.

*iv) Is the relief sought minor in nature? – Yes*

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

## **6. CONCLUSION:**

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application MV-2025-0009, as it pertains to the proposed the temporary use of a trailer for human habitation, a shipping container for storage, and use of accessory structure without a primary structure, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

## **APPROVALS:**

Prepared by:

Monika Sadler  
Planner I

Approved By:

Jeff Healey, MCIP, RPP  
Supervisor of Development Planning

## ***Attachments:***

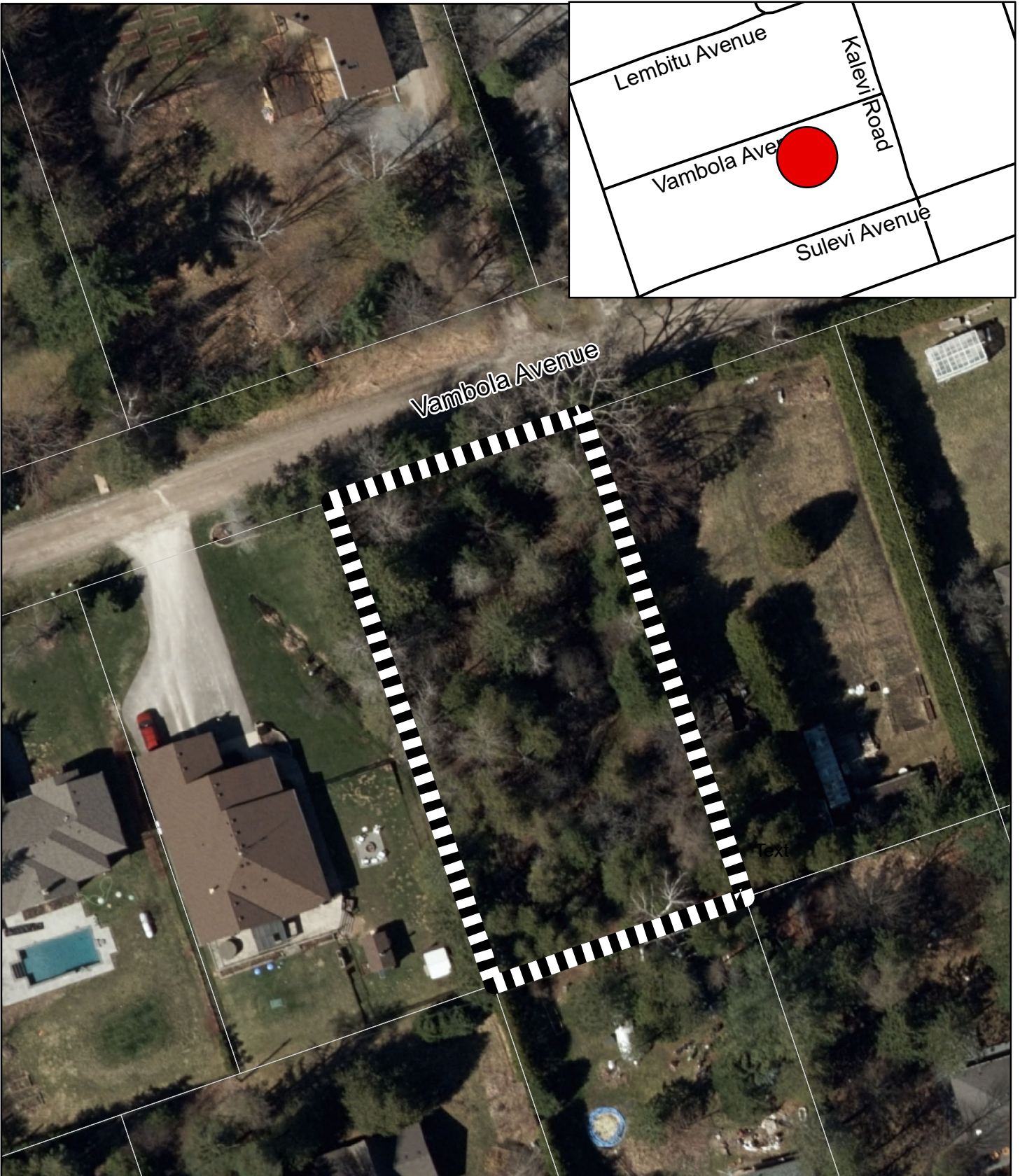
*Attachment 1 – Location Map*

*Attachment 2 – Site Plan and Drawings*

*Attachment 3 – Site Photos*

*Attachment 4 – Consolidated Comment Chart*

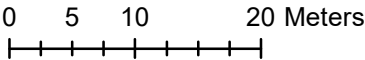




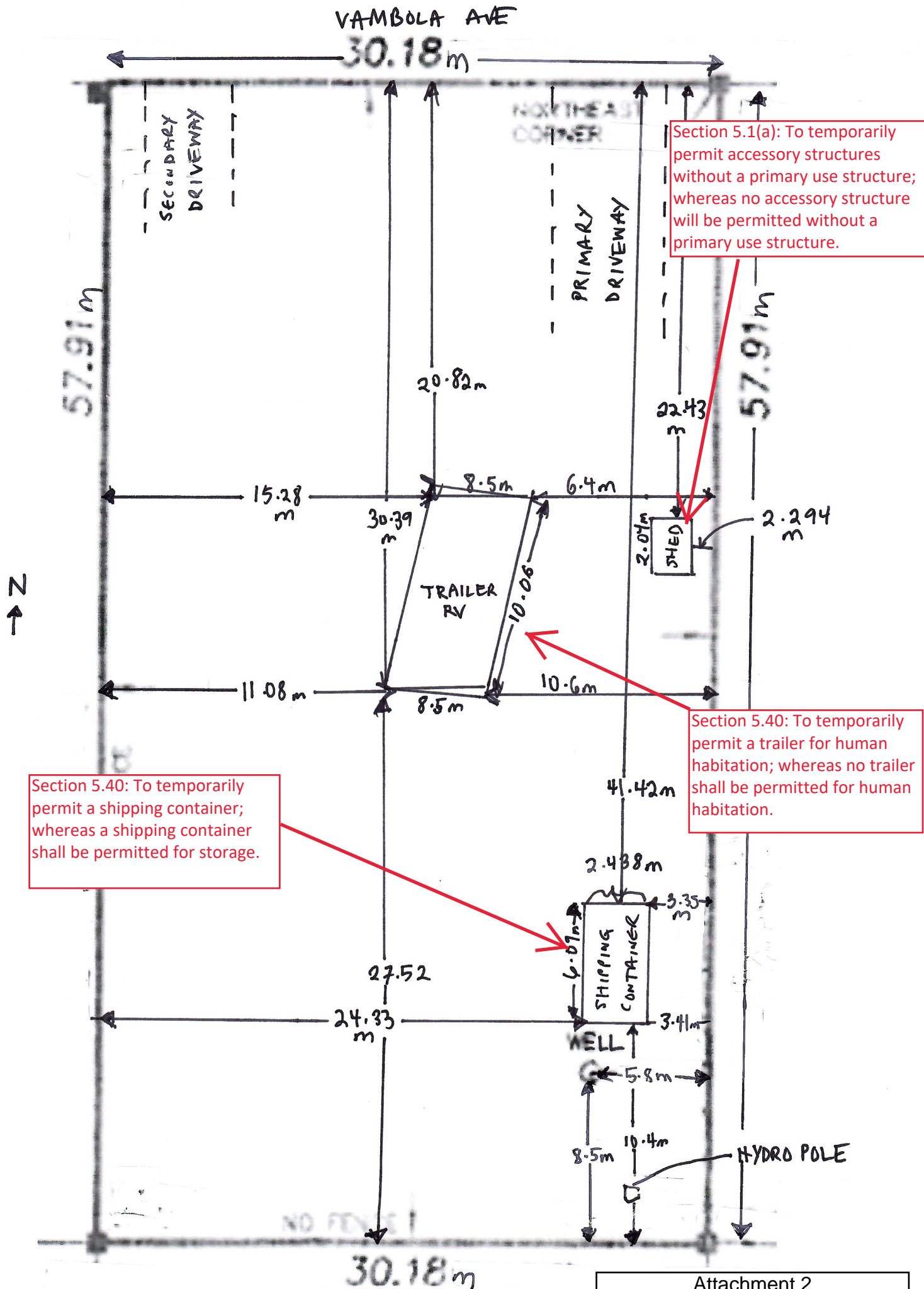
**LOCATION MAP**



**SUBJECT LAND**









# Site Photos

S/S Vambola Avenue  
Facing South



S/S Vambola Avenue  
Facing South





S/S Vambola Avenue  
Facing North



S/S Vambola Avenue  
Facing East





S/S Vambola Avenue  
Facing North



S/S Vambola Avenue  
Facing East





Department/Agency	Date Received	Response:	
Building Division	June 13, 2025	If the sewage from the trailer is to be disposed of on site a private sewage disposal system compliant with the Ontario Building Code will be required.	
Building/Plumbing Inspector			
Clerks Division			
Community Services			
Development Engineering	June 24, 2025	See Attached	
Economic Development			
Georgina Fire Department	June 18, 2025	No Objections	
Municipal Law	June 6, 2025	Vambola minor variance is a result of enforcement action after receiving a complaint	
Operations & Infrastructure	June 23, 2025	No Objections or Concerns	
Planning Policy	June 20, 2025	No comments	
Tax & Revenue	June 7, 2025	No Tax concerns	
Bell Canada			
Bell Canada			
Canada Post Corporation (CPC)			
Chippewas of Georgina			
C.N. Business Development & Real Estate			
Enbridge Gas			
Hydro One			
Lake Simcoe Region Conservation Authority (LSRCA)	June 17, 2025	See Attached	
Ministry of the Environment			
Ministry of Health and Long-term Care			
Ministry of Municipal Affairs & Housing			
Ministry of Transportation	June 9, 2025	No comments or concerns	
Monavenir Catholic School Board			
MPAC			
Ontario Power Generation			
Rogers			

Consolidated Comments for MV-2025-0009- S/S Vambola Ave.

Southlake Regional Health Centre		
York Catholic Separate District School Board	June 6, 2025	No comments or objections
York Region - Community Planning & Development Services	June 11, 2025	No comment
York Region District School Board	June 9, 2025	No comments or concerns
York Regional Police		



Sent via e-mail: [bflatt@georgina.ca](mailto:bflatt@georgina.ca)

June 17, 2025

**Municipal File No.: MV-2025-0009**  
**LSRCA File No.: VA-213934-060925**

**Brianna Flatt**  
**Secretary-Treasurer to the Committee of Adjustment**  
**Planning Division, Development Services Department**  
**26557 Civic Centre Rd**  
**Keswick, ON L4P 3G1**

Dear Ms. Flatt,

**Re: Application for Minor Variance**  
**S/S Vambola Avenue**  
**Town of Georgina**  
**Owner/Applicant: Kaarel, Svetlana and Karen Parn**

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to place a trailer for residential purposes, a shipping container and accessory structure on the subject property for a temporary use. The Applicant/Owner is seeking relief from the following sections of the Town of Georgina Zoning By-law No. 500, as amended:

- **Section 5.1(a)** which does not permit an accessory structure without a primary use structure, whereas the proposal is requesting to temporarily permit an accessory structure without a primary use structure;
- **Section 5.40** which does not permit a trailer for human habitation, whereas the proposal is requesting to temporarily permit a trailer for human habitation;
- **Section 5.40** which does not permit a shipping container, whereas the proposal is requesting to temporarily permit a shipping container for storage.

**Documents Received and Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- Agency Circulation (dated June 6, 2025)

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU)

with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

### **Recommendation**

Based on our review of the submitted information in support of the application, the proposal is generally consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

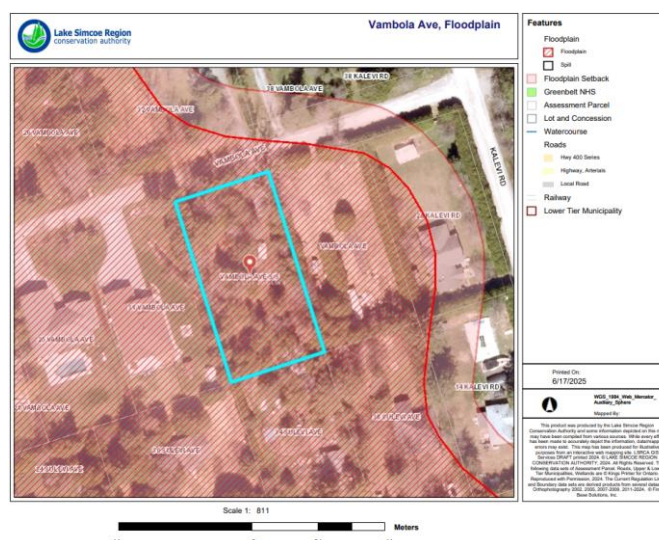
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536;
- That the Applicant/Owner successfully obtain a permit or written clearance from the LSRCA.

### **Site Characteristics**

The subject land is approximately 0.17 hectares (0.43 acres) in area and is located south of Vambola Avenue within the Town of Georgina. The subject land is currently zoned 'Site Specific Residential (R1) Zone' per the Town of Georgina Zoning By-law No. 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is entirely regulated by the LSRCA under Ontario Regulation 41/24 for regulatory floodplain. Please see a detailed regulatory map below.
- The subject property is within a Significant Groundwater Recharge Area (SGRA).
- The subject property is within the Protected Countryside designation per the Greenbelt Plan.



### **Delegated Responsibility and Statutory Comments**

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS). There are identified natural hazards on the subject lands (floodplain). Based



on the information submitted as part of this application, the proposal is consistent with 5.2 of the PPS as the proposed trailer will be on wheels and can be moved in the event of a flood and the other structures are temporary. No development or site alteration is proposed to utilize the temporary structures.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to the subject property. Please contact LSRCA Regulations staff to confirm if a permit will be required for the temporary structures.

#### **Advisory Comments**

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

#### **Summary**

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 5.2 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to the subject site. A permit or written clearance from the LSRCA will be required;
3. The Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance/Consent (Minor – planner review only) is \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned ([j.lim@lsrca.on.ca](mailto:j.lim@lsrca.on.ca)).

Sincerely,



Jessica Lim  
Planner I  
Lake Simcoe Region Conservation Authority (LSRCA)

**To:** Brianna Raines, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

**cc:** Mike Iampietro, Manager, Development Engineering  
Monika Saddler, Planner  
Cory Repath, Sr. Development Inspector  
Ashwin Kannuthurai, Junior Development Inspector  
Laura Taylor, Operations Administrative Assistant

**Date:** June 20<sup>th</sup>, 2025

**Re:** MINOR VARIANCE MV-2025-0009  
S/S Vambola Avenue, Georgina  
Plan 544 Lot 121  
Roll No.: 021-141

---

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0009:

1. Property has no sanitary or septic services for wastewater treatment, how will sanitary waste be managed?
2. Property has no municipal Address for emergency services. How will they respond in an emergency?
3. An SAEP (Site Alteration and Entrance Permit) will be required and entrance should be constructed with a culvert according to rural entrance design Drawing GR-9 Rural Entrances.
4. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
5. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing [engineering2@georgina.ca](mailto:engineering2@georgina.ca) to fulfill your conditions, or if you have any questions or concerns, please email [ssial@georgina.ca](mailto:ssial@georgina.ca).

**THE CORPORATION OF THE TOWN OF GEORGINA**

**REPORT NO. DS-2025-0041**

**FOR THE CONSIDERATION OF  
COMMITTEE OF ADJUSTMENT**

**July 14, 2025**

**SUBJECT: MINOR VARIANCE APPLICATION MV-2025-0010  
10101 OLD SHILOH ROAD  
CONCESSION 1, PART OF LOT 21**

---

**1. RECOMMENDATIONS:**

- 1) That the Committee of Adjustment receive Report No. DS-2025-0041 prepared by the Development Planning Division, Development Services Department, dated July 14, 2025, respecting Minor Variance Application MV-2025-0010, for the property municipally addressed as 10101 Old Shiloh Road; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a) That the Committee of Adjustment approve Minor Variance Application MV-2025-0010 to permit relief from the following:
    - i) Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required;
    - ii) Section 6.1 (f): To legalize an interior side yard setback of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings;
  - b) That the approval of Minor Variance Application MV-2025-0010 be subject to the following term(s):
    - i) That the proposed addition be constructed in general conformity with Attachment 2 to Report DS-2025-0041, in accordance with the relief recommended to be approved in Recommendation 2a);
  - c) That the approval of Minor Variance Application MV-2025-0010 be subject to the following condition(s):
    - i) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in

**Attachment 4 to Report No. DS-2025-0041 have been addressed to the Division's satisfaction; and**

- ii) That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

**2. PURPOSE:**

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application MV-2025-0010 for the property located at 10101 Old Shiloh Road.

**3. BACKGROUND:**

Property Description: (refer to Attachments 1 to 3)  
10101 Old Shiloh Road  
Concession 1, Part of Lot 21  
Roll #: 022-160

**PROPOSAL**

The owner of the subject property is proposing to construct a front, rear and half-storey addition to an existing single-detached dwelling on the subject lands.

To facilitate the construction of the proposed additions, a Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed accessory structure:

- i) Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required.
- ii) Section 6.1 (f): To legalize an interior side yard setback of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings.

A Site Sketch and building plans showing the proposal and the requested relief are included as Attachment 2.

**3.1 SUBJECT PROPERTY AND THE SURROUNDING AREA:**

The subject property is located at 10101 Old Shiloh Road. A summary of the characteristics of the property is as follows:

General Property Information	
Municipal Address	10101 Old Shiloh Road
Zoning	Rural (RU) Zone

Frontage	48.86 Metres	
Area	10,246 Square Metres	
Official Plan / Secondary Plan Land Use Designation	Hamlet Area and Greenland Systems	
Regional Official Plan Land Use Designation	Hamlet Area/ Agricultural System	
Related Applications	None	
Land Use and Environmental Considerations		
Existing Structures	Single Detached Dwelling, Garage, Barn and Metal Shed	
Proposed Structures	Additions to Single Detached Dwelling	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	No	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Private	Private
Sanitary	Private	Private
Access	Existing driveways	Existing driveways

#### **4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:**

##### **4.1 PUBLIC CIRCULATION**

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on June 27, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

##### **4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS**

All Town department and external agency comments for Minor Variance Application MV-2025-0010 are outlined below.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, as well as a drawing checklist (Attachment 4).

The Building Division has indicated no objections to the minor variance and advises the applicant that any alterations must comply with the Ontario Building Code and may require an evaluation of the sewage system (Attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Georgina Fire Department
- Ministry of Transportation
- Municipal Law Enforcement Division
- Operation and Infrastructure Department
- Tax and Revenue Division
- Senior Landscape Architect, Planning Policy
- York Region District School Board
- York Region
- York Catholic District School Board

A number of external agencies and Town departments / divisions have not provided comments.

## **5. ANALYSIS:**

The following evaluation of Minor Variance Application MV-2025-0010 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

### *i. Is the general intent and purpose of the Official Plan maintained? – Yes*

The subject property is designated Hamlet Area and is located within the Greenlands System in the Official Plan. Existing single detached dwellings and accessory buildings, structures and uses thereto are permitted in the Hamlet Area and Greenlands System designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

### *ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes*

The subject property is zoned Rural (RU) Zone on Map 11 of Schedule 'A' to Zoning By-law No. 500, as amended. A single-detached dwelling and accessory structures are permitted in the RU zone.

#### **a. Front Yard Setback**

Section 6.1 (c) of Zoning By-law No. 500, as amended, permits a front yard setback of 15 metres. The applicant is requesting relief to allow a front yard setback of 6.5 metres.

The intent of the front yard setback provisions is to ensure consistency and compatibility with surrounding lots with respect to proximity to the street, and to reduce negative impacts on neighbouring property.

The reduced front yard setback is not anticipated to adversely impact the neighbouring property, as the proposed addition will still be an adequate setback from the street and is hidden behind an existing hedge located on the front lot line.

Staff note that the front addition is only 1.5 metres in depth, and the house is currently set back approximately 8 metres from the lot line, which is less than the permitted distance under the bylaw. The proposed reduced front yard setback does not negatively impact the streetscape, as it was already reduced.

#### b. Side Yard Setback

Section 6.1(f) of Zoning By-law 500, as amended, requires a minimum interior side yard setback of 9 metres. The applicant has requested relief to allow for a minimum interior side yard of 2.7 metres.

The intent of the minimum yard requirements is to ensure compatibility with surrounding lots and to provide areas for access and maintenance.

The existing dwelling predates the Zoning Bylaw, and the existing side yard setback of 2.7 metres is deemed to comply with Section 5.46 of the Zoning Bylaw. Staff are of the opinion that the reduced interior side yard setback will not adversely impact the neighbouring properties, as the half-storey addition will follow the existing dwelling's setback from the interior lot line.

Staff are of the opinion that the proposed variances maintain the general intent and purpose of Zoning By-law 500, as amended.

#### *iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes*

The proposed addition is in keeping with the existing physical character of the neighbourhood, as the area generally consists of various lot sizes with single detached dwellings and accessory structures.

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and the surrounding neighbourhood.

#### *iv) Is the relief sought minor in nature? – Yes*

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or

acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

**6. CONCLUSION:**

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application MV-2025-0010, as it pertains to the proposed addition, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

**APPROVALS:**

Prepared by:

Monika Sadler  
Planner I

Approved By:

Jeff Healey, MCIP, RPP  
Supervisor of Development Planning

***Attachments:***

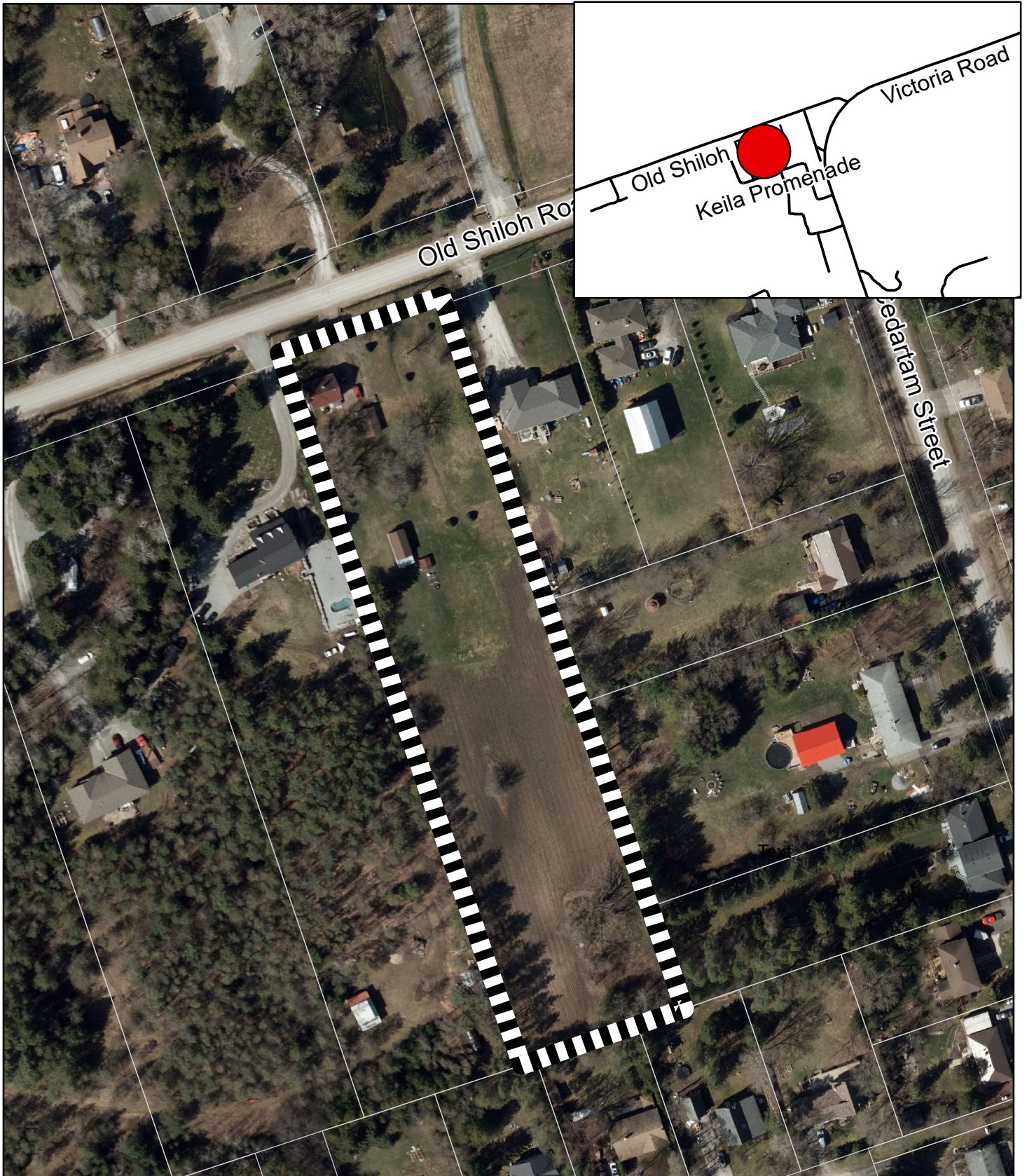
*Attachment 1 – Location Map*

*Attachment 2 – Site Plan and Drawings*

*Attachment 3 – Site Photos*

*Attachment 4 – Consolidated Comment Chart*





## LOCATION MAP



**SUBJECT LAND**

0 15 30 60 Meters

N





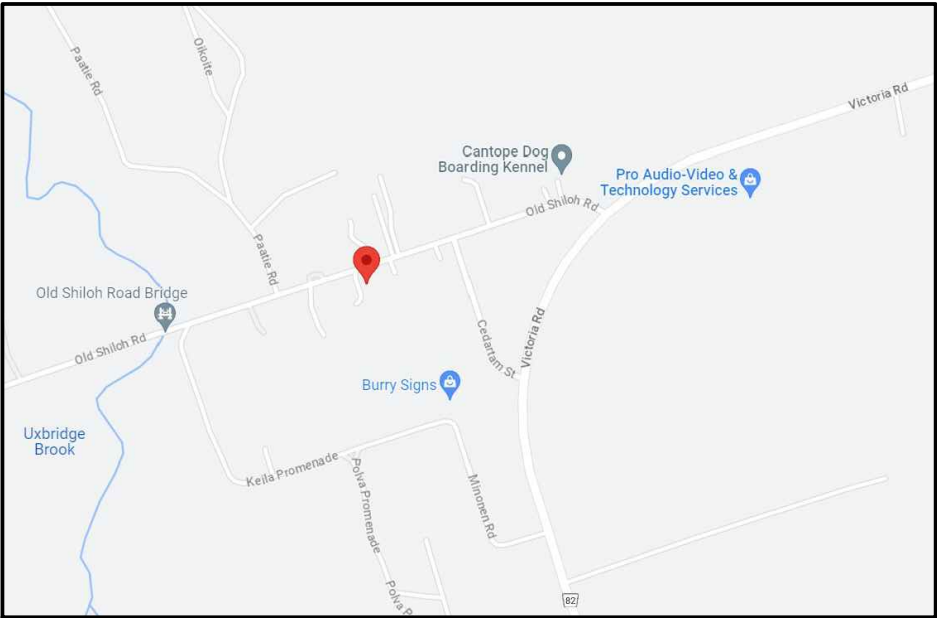
INTERIOR ALTERATION /ADDITION  
ON EXISTING 2 STOREY SINGLE  
DETACHED RESIDENTIAL  
10101 OLD SHILOH RD.



EXISTING STREET FACADE

LIST OF DRAWINGS :

- A0 - COVER SHEET AND VICINITY MAP
- SP1 - SITE PLAN
- A1 - CONSTRUCTION NOTES
- A2 - CONSTRUCTION SPECIFICATIONS
- A3 - ONTARIO BUILDING CODE MATRIX & GENERAL NOTES
- A4 - EXISTING BASEMENT FLOOR PLAN & DEMOLITION NOTES
- A5 - EXISTING GROUND FLOOR PLAN & DEMOLITION NOTES
- A6 - EXISTING SECOND FLOOR PLAN & DEMOLITION NOTES
- A7 - EXISTING GROUND FLOOR PLAN & DEMOLITION NOTES
- A8 - EXISTING ELEVATIONS
- A9 - PROPOSED BASEMENT PLAN
- A10 - PROPOSED GROUND FLOOR PLAN
- A11 - PROPOSED SECOND FLOOR PLAN
- A12 - PROPOSED ROOF PLAN
- A13 - PROPOSED FRONT AND LEFT SIDE ELEVATIONS
- A14 - PROPOSED REAR AND RIGHT SIDE ELEVATIONS
- A15 - PROPOSED SECTIONAL PLANS
- A16 - SECTIONAL DETAIL "X" AND "Y" / WALL CROSS SECTIONAL DETAILS
- A17 - TYPICAL PORCH/DECK AND STAIRS DETAILS
- A18 - TYPICAL STRUCTURAL DETAILS
- A19 - GENERAL NOTES
- A20 - DOOR AND WINDOW SCHEDULE



VICINITY / LOCATION MAP

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT



LCMA Engineering  
138 Homestead Rd. Unit 11 Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_eng@yahoo.com

LCMA ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATORY PROVISIONS OF THE TOWNSHIP WHERE THE PROJECT IS LOCATED. DO NOT SCALE DRAWINGS



Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 1 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
COVER SHEET  
VICINITY MAP

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A0
SCALE: As shown	
DATE: MAY 25, 2023	REV. NO. :
PROJECT NO.:	

Section 6.1 (c): To permit an addition to a single detached dwelling with a front yard setback of 6.5 metres, whereas a front yard setback of 15 metres is required

Section 6.1 (f): To legalize an interior side yard setback of 2.7 metres, whereas an interior side yard setback of 9 metres is required for single detached dwellings

PROPOSED 2 STOREY SINGLE DETACHED RESIDENTIAL (ADDITION/ALTERATION TO EXISTING 1 1/2 STOREY BRICK DWELLING)  
ELEVATION - EXISTING BUILDING HEIGHT

PART OF LOT 21 CONCESSION 1  
PIN 03548 - 0076

- NOTES FOR LOT GRADING:
1. THE INTENT OF THE EXISTING DRAINAGE AND SLOPE PATTERN IN THE AREA OF THE SITE SHOULD BE MAINTAINED.
  2. IN COMPLIANCE WITH 9.14.6.1. OF THE ONTARIO BUILDING CODE THE SITE IS TO BE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING UNDER CONSTRUCTION AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES

SITE PLAN  
SCALE 1:750

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT



LCMA Engineering  
138 Homestead Rd. Unit 11 Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_eng@yahoo.com

LCMA ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATIONS, PROVISIONS OF THE TOWNSHIP OF PEPPERLAW, ONTARIO.

DO NOT SCALE DRAWINGS

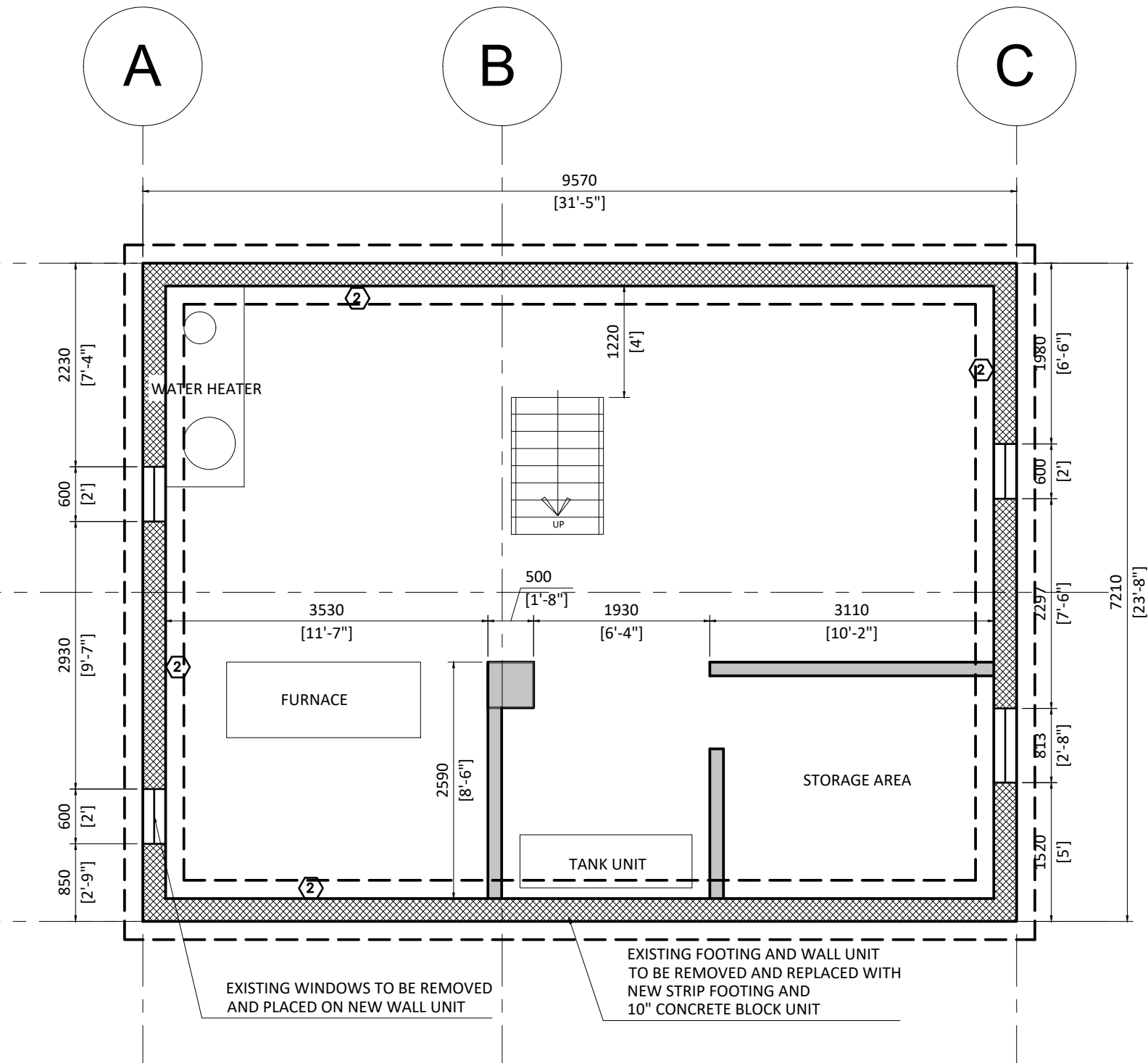


Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 2 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON EXISTING SINGLE DETACHED RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :	
SITE PLAN	
DRAWN BY: LJMA	DRAWING NO.  SP1
CHECKED BY: LCA	
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	
REV. NO. :	





EXISTING  
BASEMENT FLOOR PLAN

SCALE: 1: 60

DEMOLITION NOTES

- SEE ALL ARCHITECTURAL DRAWINGS FOR OTHER APPLICABLE NOTES AND SPECIFICATIONS.
- DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- DEBRIS REMOVAL:
  - THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE.
    - THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM THE BUILDING PREMISES ON A DAILY BASIS. DO NOT MIX DEMOLITION DEBRIS WITH THAT OF BUILDING OCCUPANTS.
    - THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.
    - REMOVAL TO BE DONE ON OVERTIME. REFER TO BUILDING DEPARTMENT RULES AND REGULATIONS.
- PROTECTION:
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- REPAIR/DAMAGES:
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WALL LEGEND :

	EXST. BLOCK WALLS TO REMAIN
	EXST. STRIP FOUNDATION AND WALLS TO REMOVED AND REPLACED WITH NEW FOOTING AND 10" BLOCKWALL
	EXST. INT. WALLS / ITEMS TO REMAIN

PERIMETER STRIP FOUNDATION AND BLOCK WALL OF THE HOUSE TO REPLACE WITH NEW STRIP FOOTING AND 10" CONCRETE BLOCK WALL UNIT

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT

DESIGN



LCMA Engineering  
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DO NOT SCALE DRAWINGS

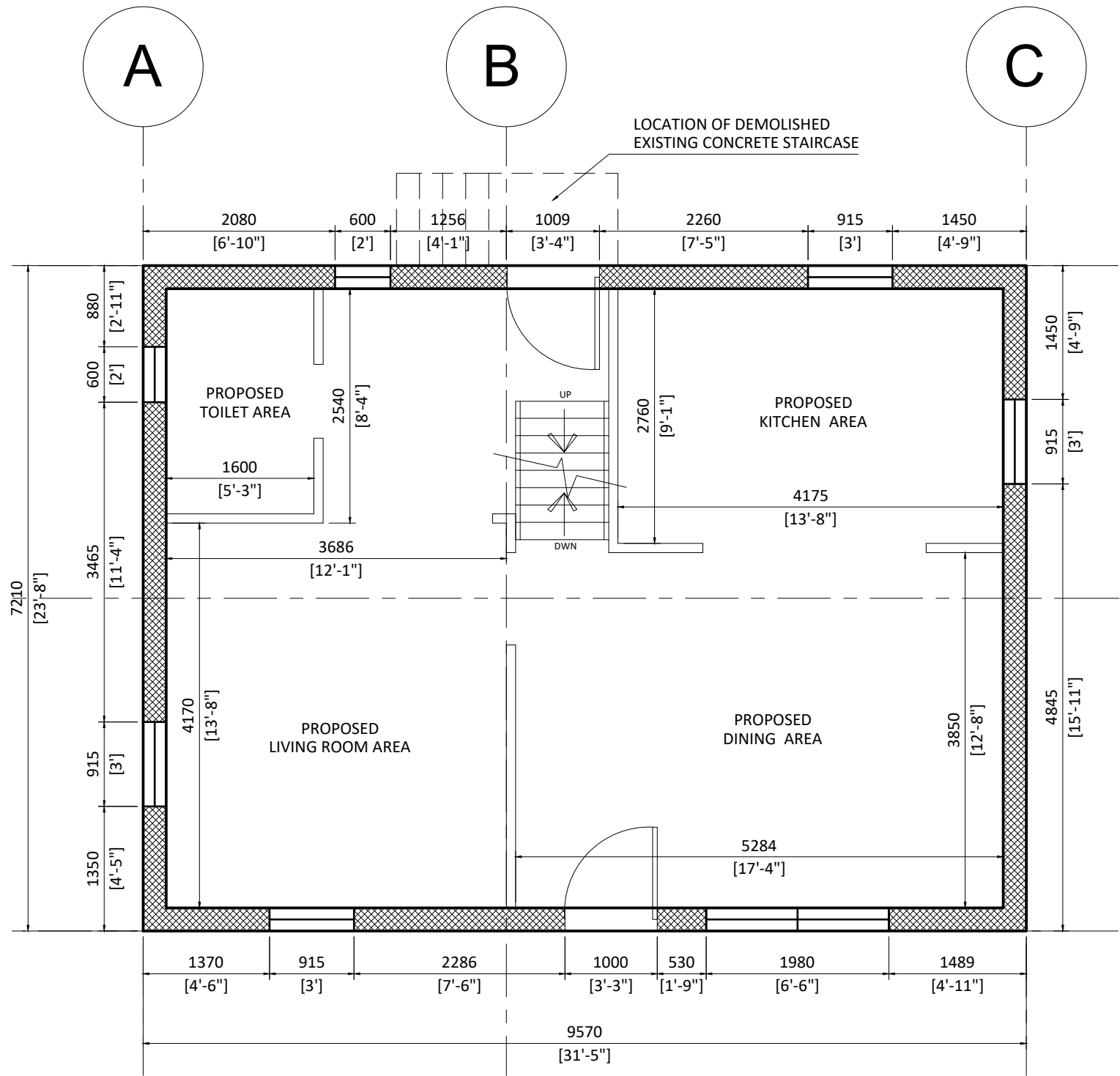


Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 3 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
EXISTING BASEMENT FLOOR  
PLANS & DEMOLITION NOTES

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A4
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :



EXISTING  
GROUND FLOOR PLAN

SCALE: 1: 60

DEMOLITION NOTES

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WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	EXST. WALL FRAMING TO REMAIN

EXISTING INTERIOR WALL OF THE HOUSE  
ALREADY GUTTED OUT

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DO NOT SCALE DRAWINGS



Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 4 of 14

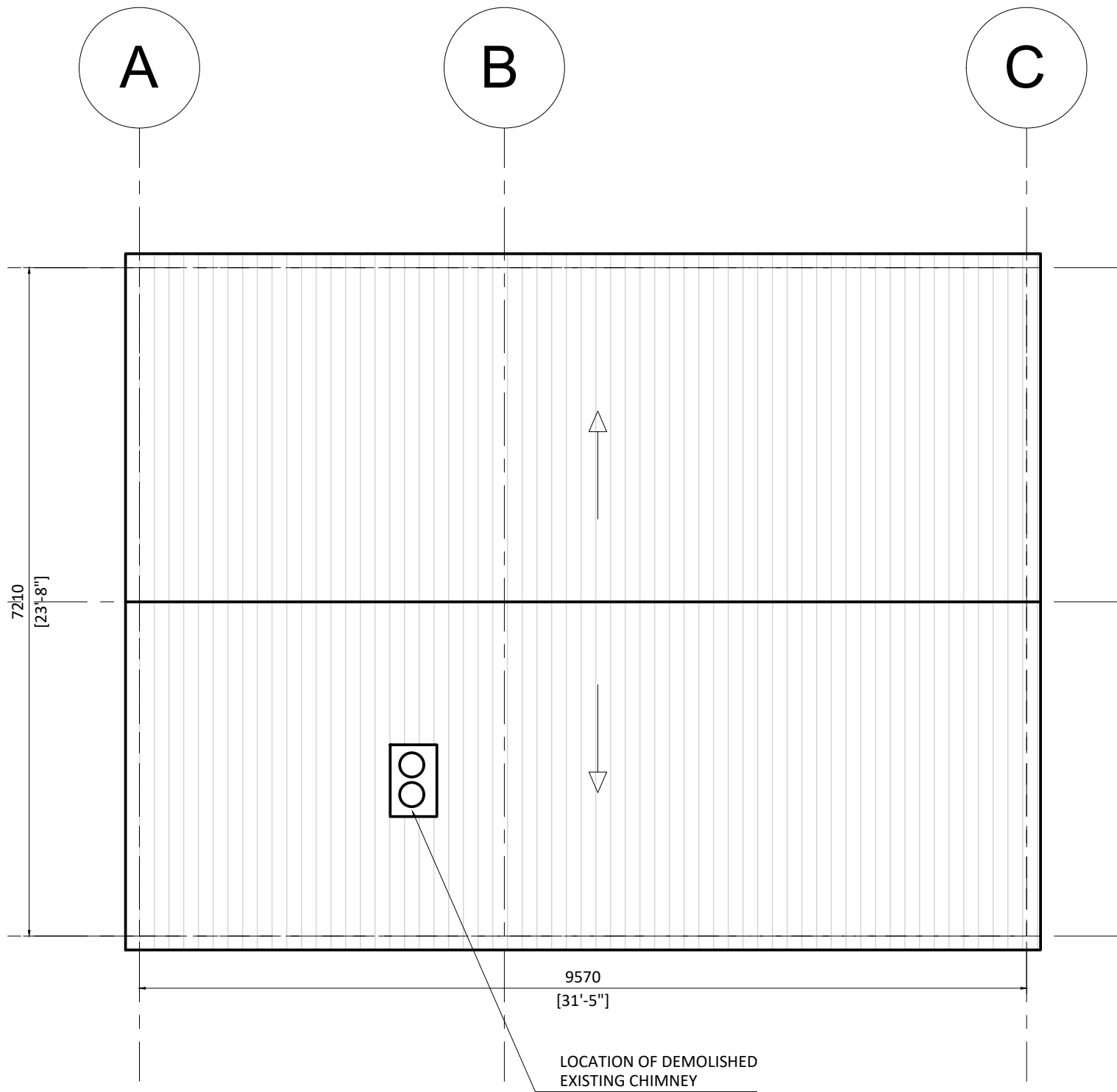
PROJECT TITLE:  
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EXISTING SINGLE DETACHED  
RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
EXISTING GROUND FLOOR PLAN &  
DEMOLITION NOTES

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A5
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :






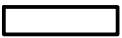


EXISTING  
**ROOF PLAN**  
SCALE: 1: 60

## DEMOLITION NOTES

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### WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	EXST. WALL FRAMING TO REMAIN

EXISTING ROOF UNIT TO BE REMOVE AND  
LONGITUDINAL WALLS TO BE STRAIGHTENED  
UP

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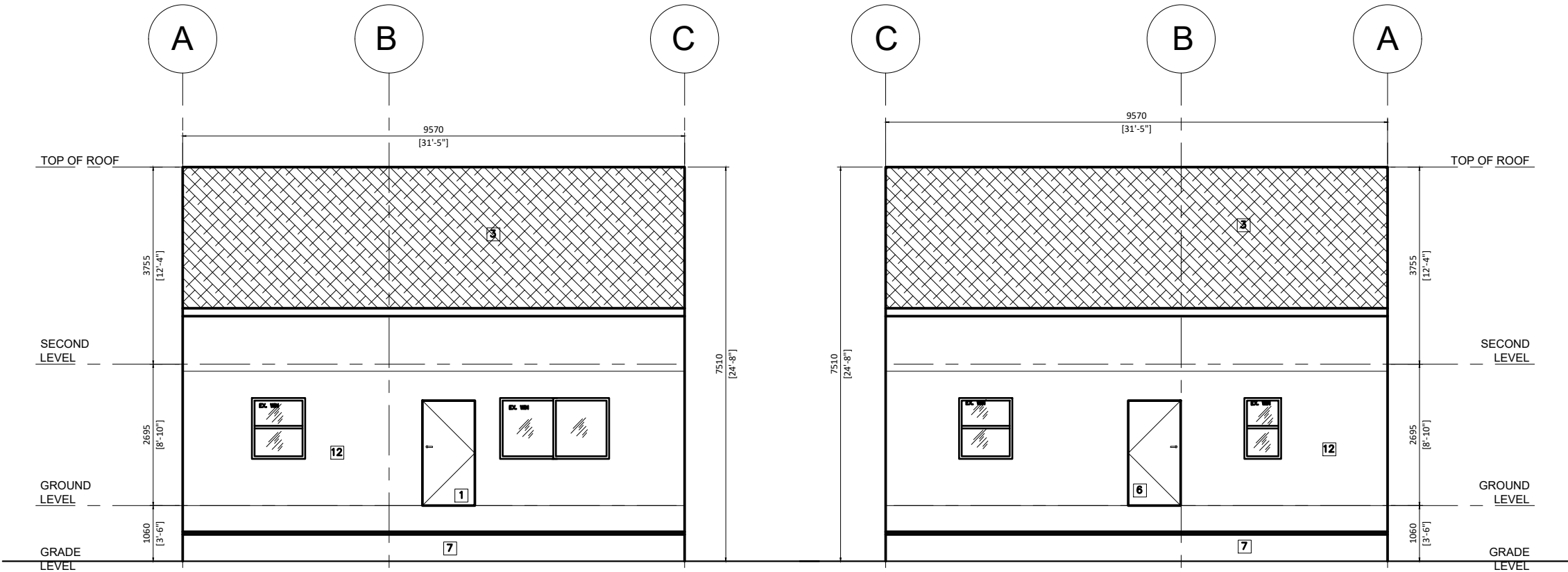


**Attachment 3**  
**MV-2025-0010**  
**10101 Old Shiloh Road**  
**Page 6 of 14**

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
EXISTING ROOF PLAN &  
DEMOLITION NOTES

DRAWN BY: LJMA	<b>A7</b>
CHECKED BY: LCA	
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :

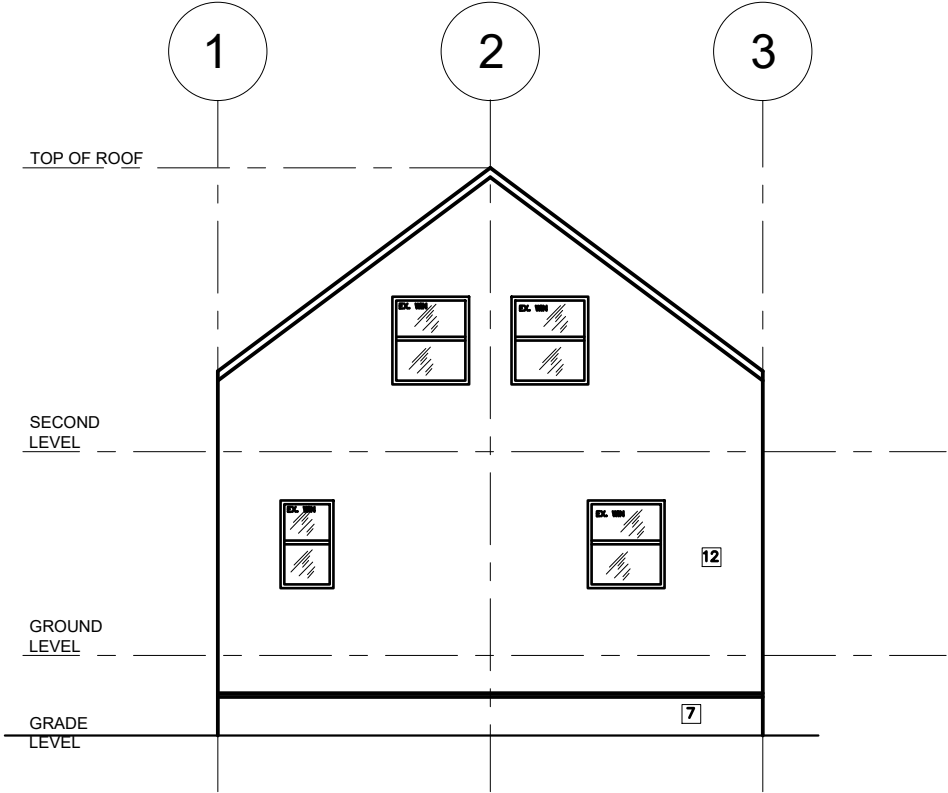


EXISTING  
FRONT SIDE ELEVATION

SCALE: 1: 100

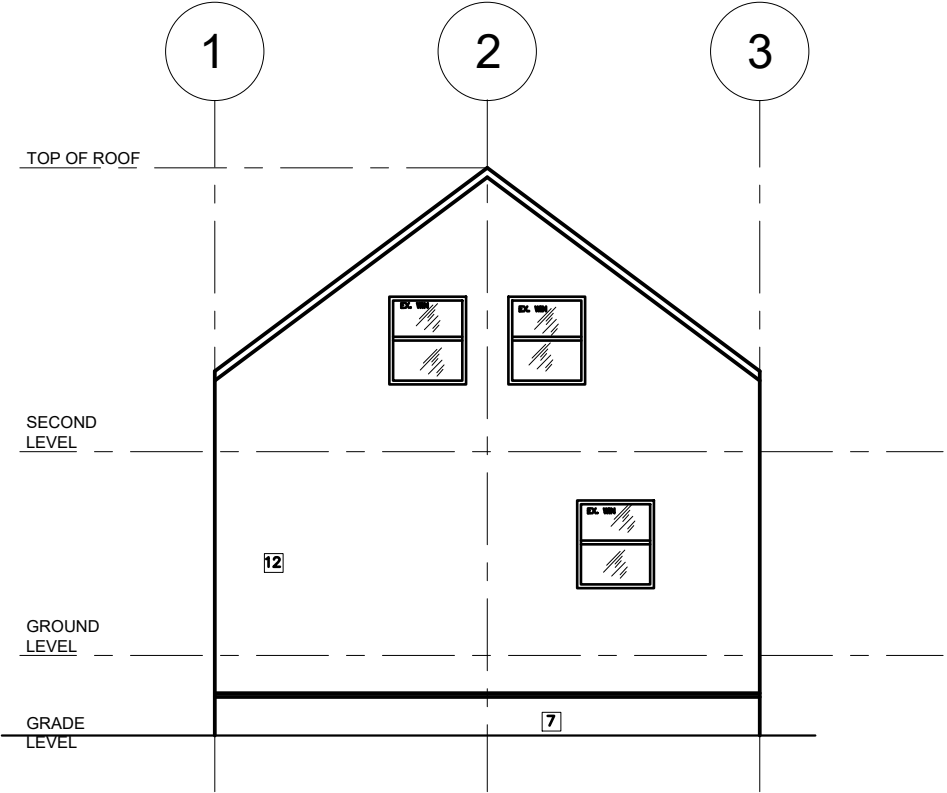
EXISTING  
REAR SIDE ELEVATION

SCALE: 1: 100



EXISTING  
LEFT SIDE ELEVATION

SCALE: 1: 100



EXISTING  
RIGHT SIDE ELEVATION

SCALE: 1: 100

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Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 7 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
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RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

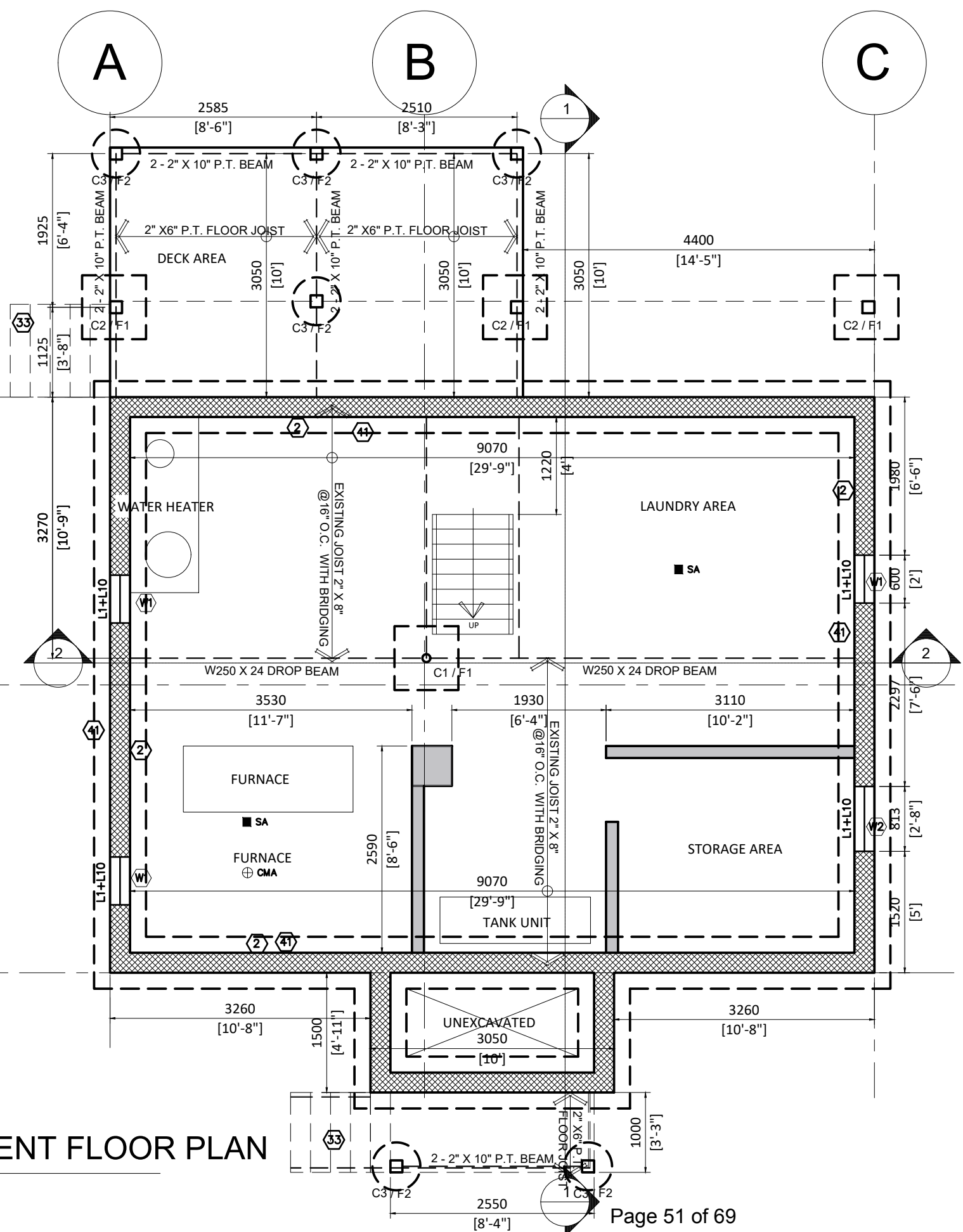
DRAWING TITLE :  
EXISTING ELEVATIONS

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A8
SCALE: As shown	
DATE: MAY 25, 2023	REV. NO. :
PROJECT NO.:	



PROPOSED  
BASEMENT FLOOR PLAN

SCALE: 1: 60



WALL LEGEND :

	EXST. BLOCK WALLS TO REMAIN
	EXST. WALLS TO REMOVED AND REPLACED WITH NEW 10" BLOCK WALL
	EXST. INT. WALLS / ITEMS TO REMAIN

FOOTING AND COLUMN LEGEND :

F1	30" X30 " X 10" CONC. FOOTING REINF.D/W (3) 15M REBARS BOTHWAYS
F2	24" X 4' SONOTUBE FOOTING FOR DECK FOOTING
C1	3 1/2" Ø STEEL COLUMN PIPE WITH 8" X 8" X 1/2" STEEL PLATE T&B ANCHOR EMBEDDED 6" MIN. TO CONCRETE FOOTING
C2	6" X 6" P.T. WOOD POST ANCHORED TO 12" X12" X 5' CONCRETE PIER REINF.D W/ 4-15M VERT. BARS & 10M STIRRUPS @ 10" O.C.
C3	6" X 6" P.T. WOOD POST ANCHORED TO SONOTUBE FOOTING

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DO NOT SCALE



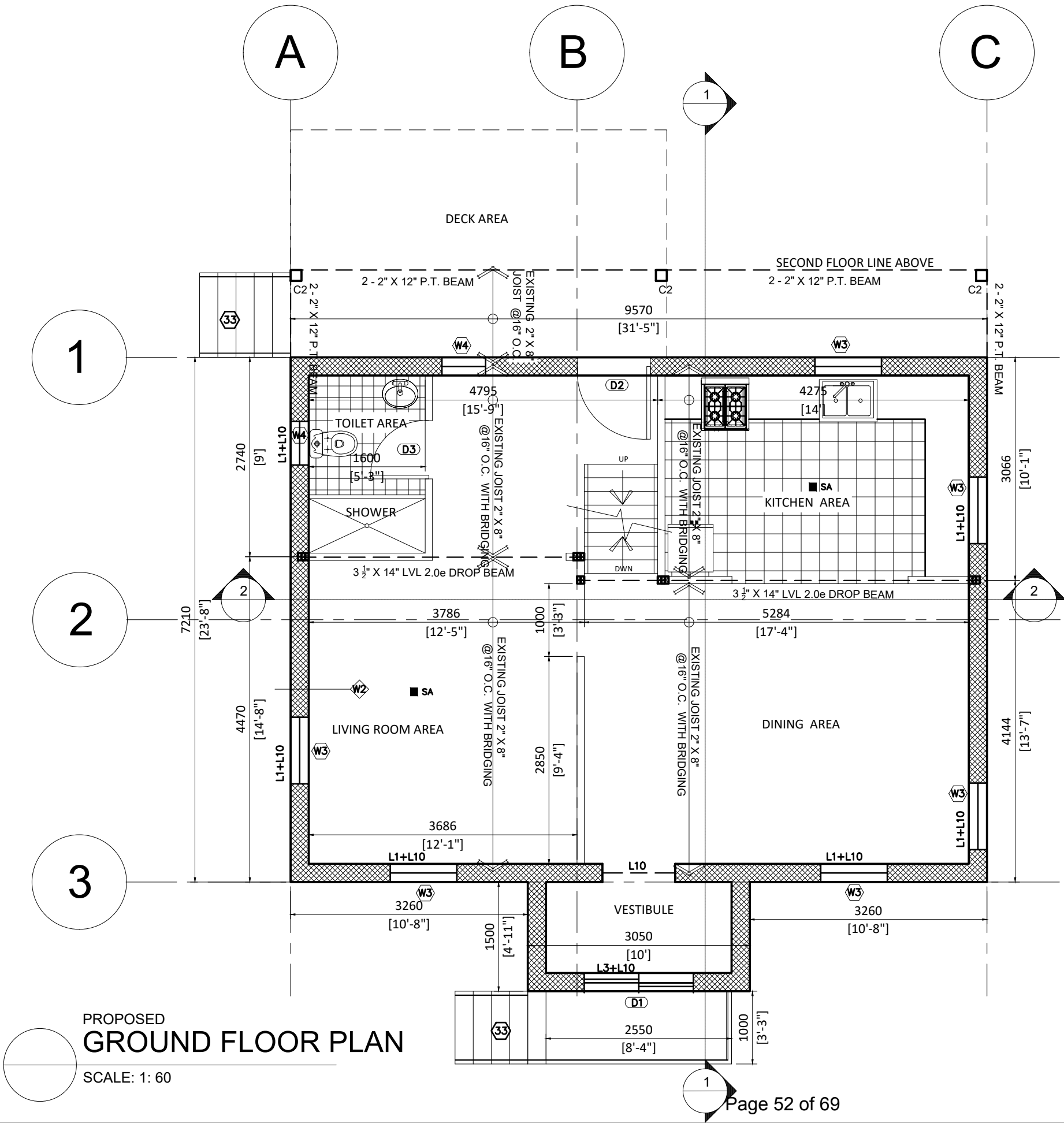
Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 8 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL

CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
PROPOSED BASEMENT PLAN

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A9
SCALE: As shown	
DATE: MAY 25, 2023	
PROJECT NO.:	REV. NO. :



PROPOSED  
GROUND FLOOR PLAN

SCALE: 1: 60

WALL LEGEND :

	EXST. WALLS COVER AND INSULATION TO REMOVED AND PROVIDE ADDITIONAL VERTICAL STUDS IN BETWEEN - SEE WALL FINISHING
	INT. WALL FRAMING

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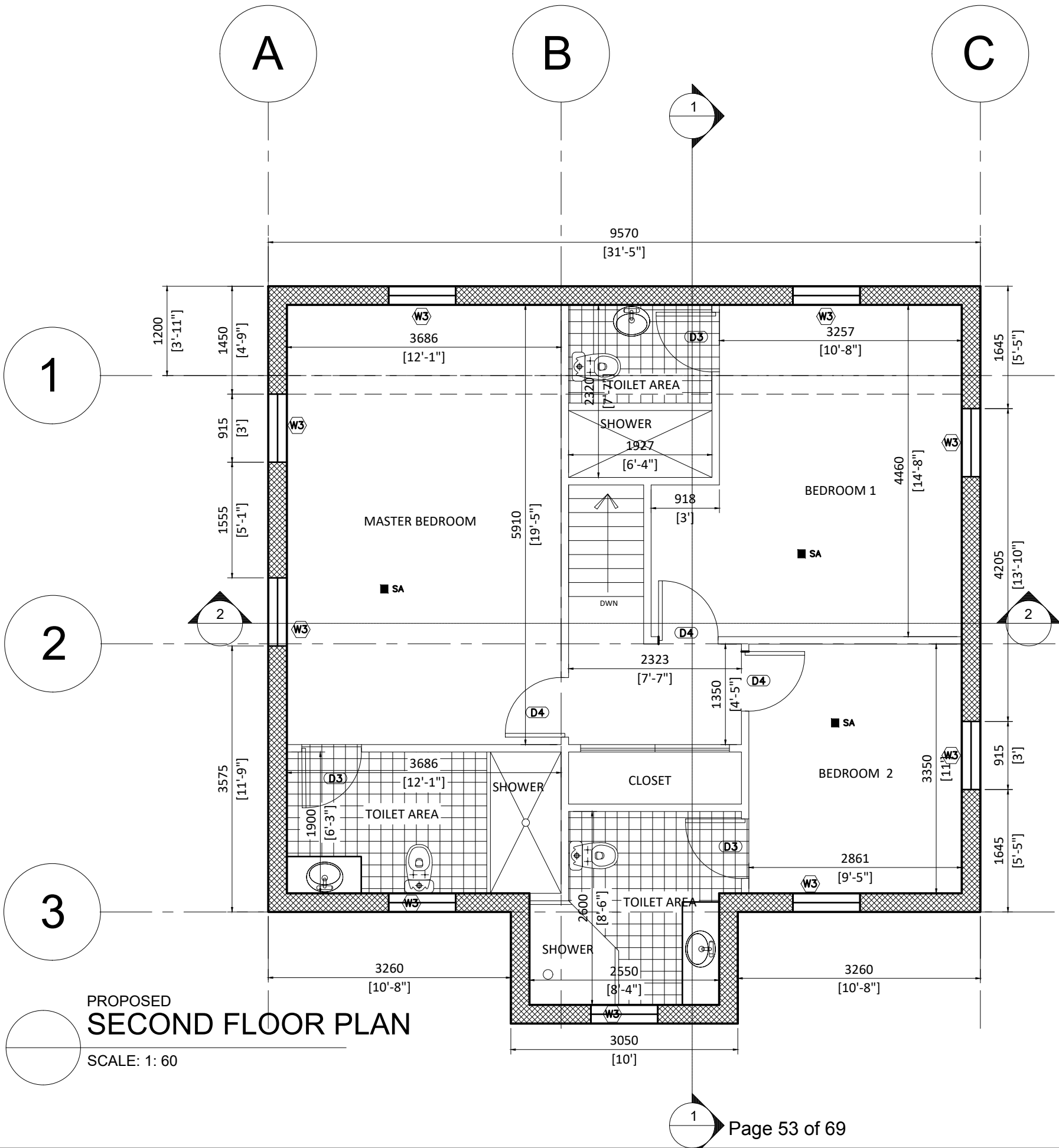


Attachment 3  
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10101 Old Shiloh Road  
Page 9 of 14

PROJECT TITLE:  
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CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
PROPOSED GROUND FLOOR

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	<b>A10</b>
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	



WALL LEGEND :

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	INT. WALL FRAMING

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DO NOT SCALE DRAWING



Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 10 of 14

PROJECT TITLE:  
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RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

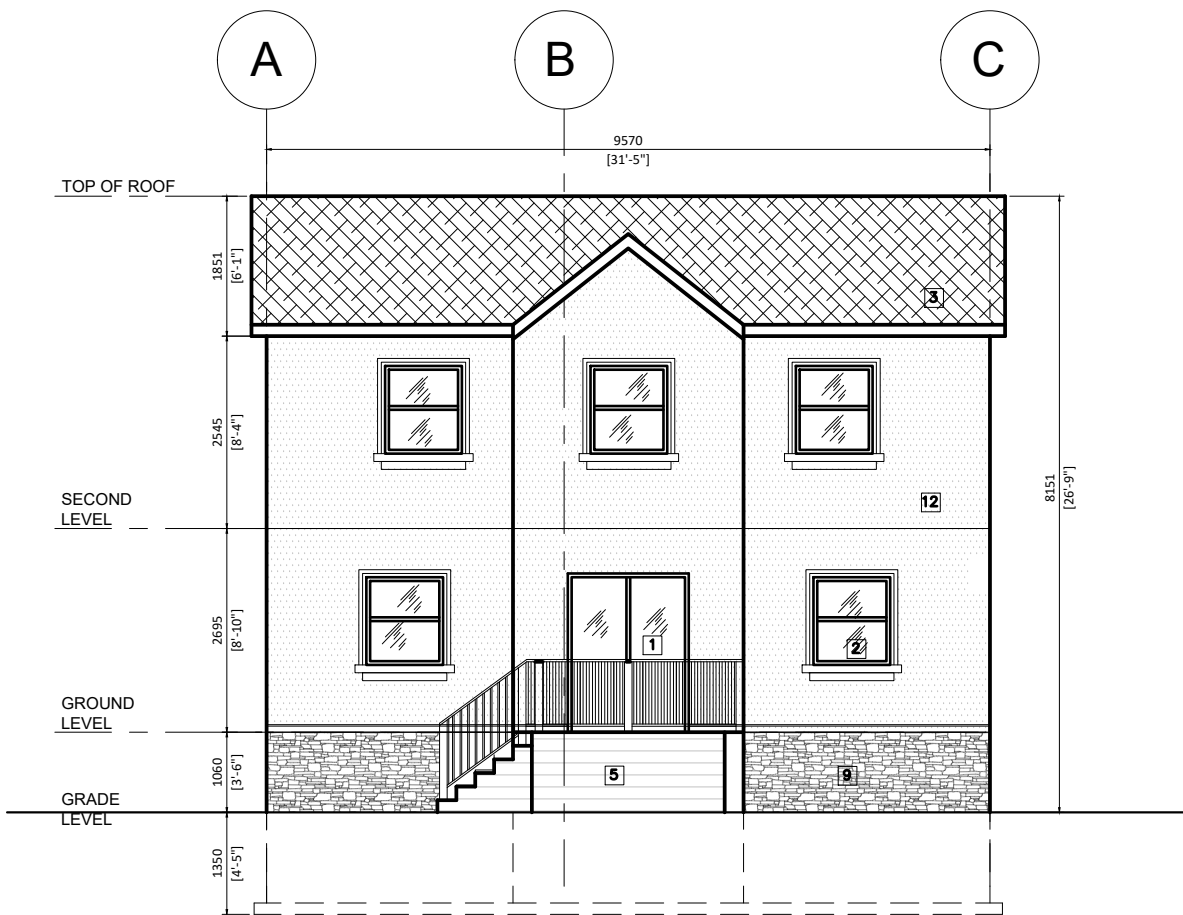
DRAWING TITLE :  
PROPOSED SECOND FLOOR

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A11
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	PROJECT NO.:

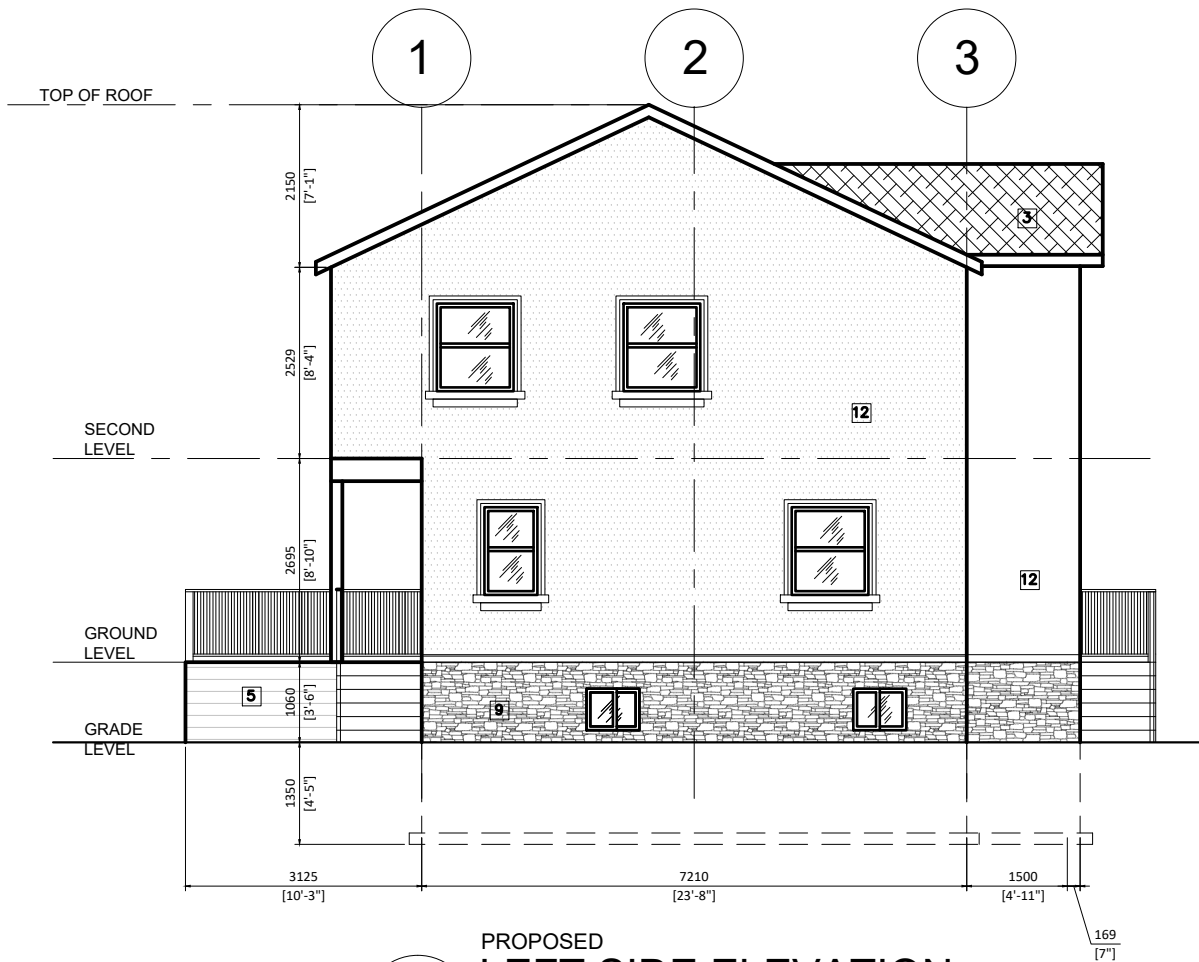


- BOTTOM CHORD : LIVELOAD : 10.5 lb/ sq ft  
DEADLOAD : 7.0 lb/sq.ft.





PROPOSED  
FRONT SIDE ELEVATION  
SCALE: 1: 100



PROPOSED  
LEFT SIDE ELEVATION  
SCALE: 1: 100

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ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

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DO NOT SCALE DRAWINGS



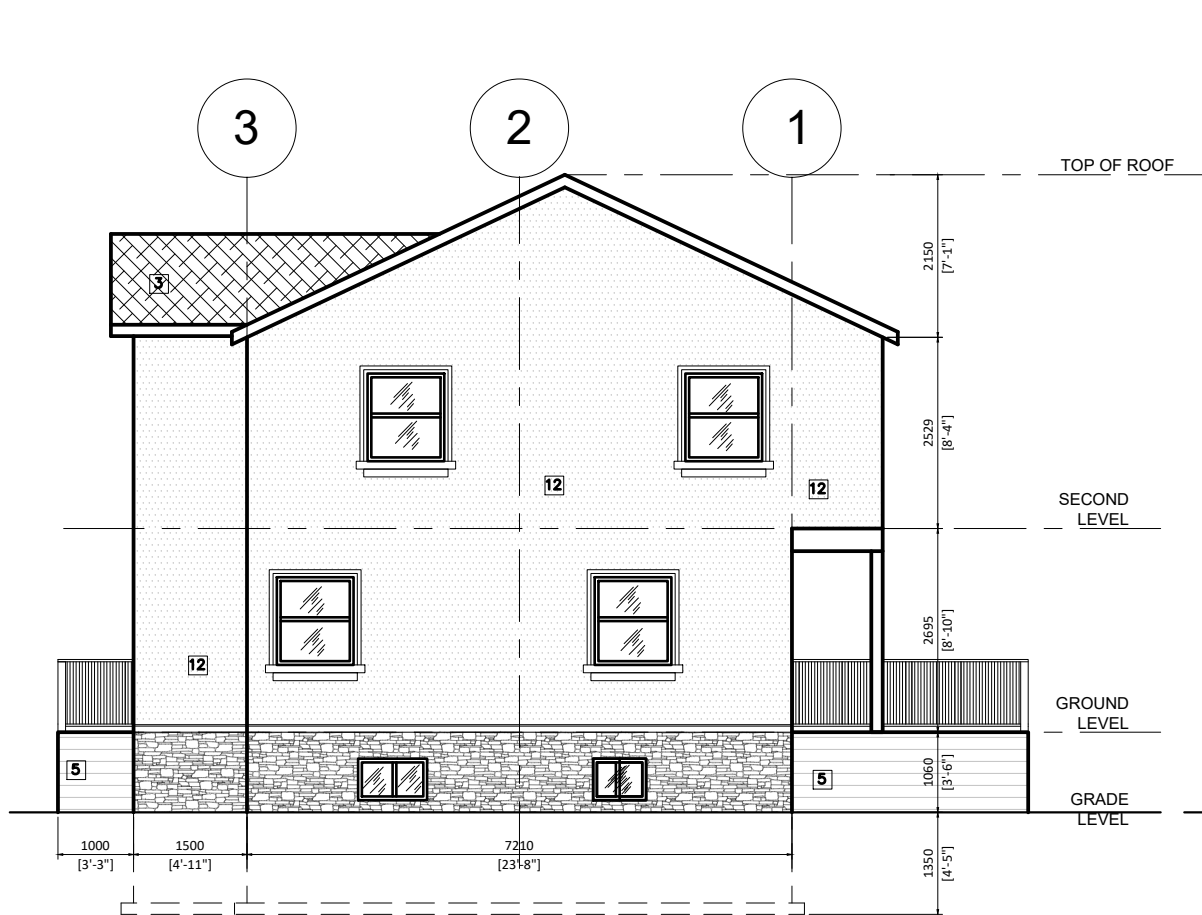
Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 12 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL  
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

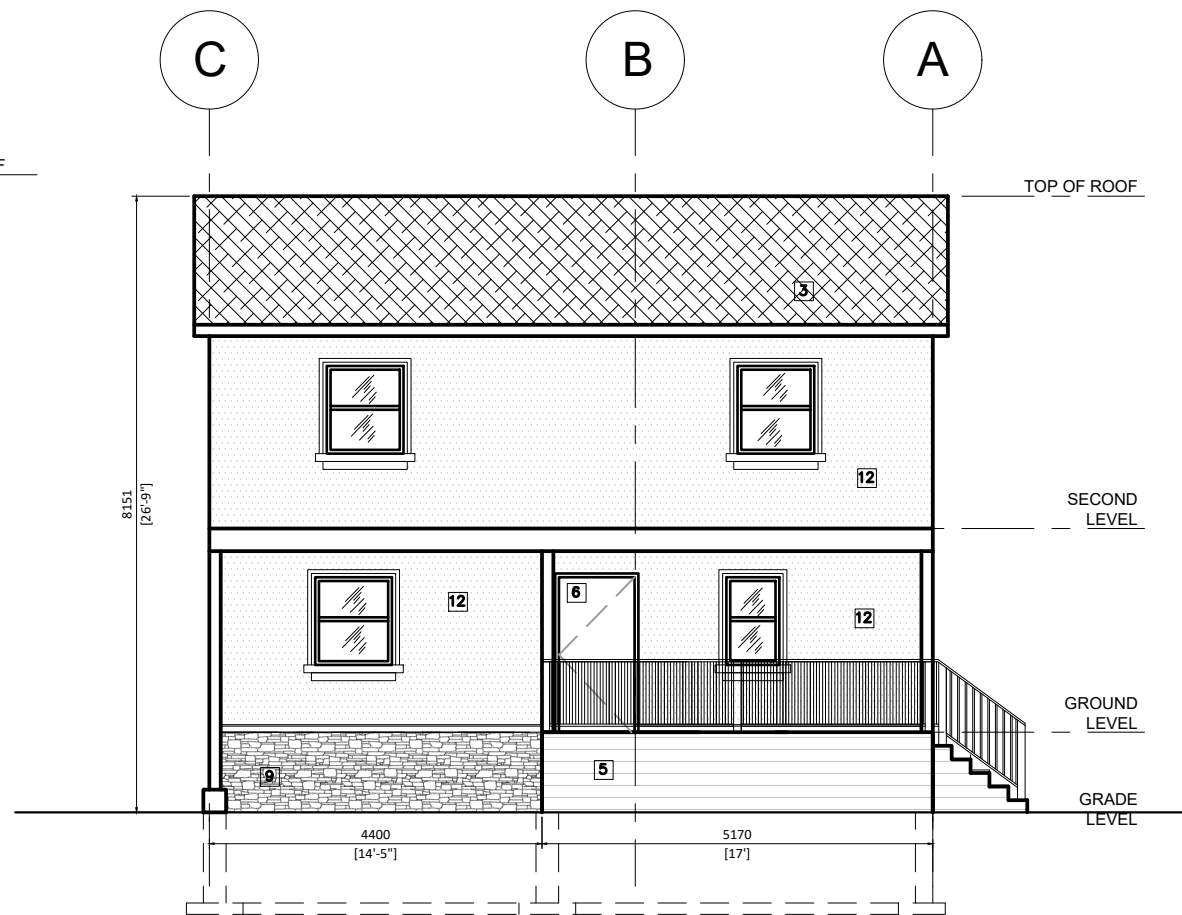
DRAWING TITLE :  
PROPOSED FRONT AND LEFT SIDE  
ELEVATIONS

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A13
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	

PROJECT NO.:



PROPOSED  
REAR SIDE ELEVATION  
SCALE: 1: 100



PROPOSED  
RIGHT SIDE ELEVATION  
SCALE: 1: 100

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN, CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT



LCMA Engineering  
138 Homestead Rd. Unit 11 Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_eng@yahoo.com

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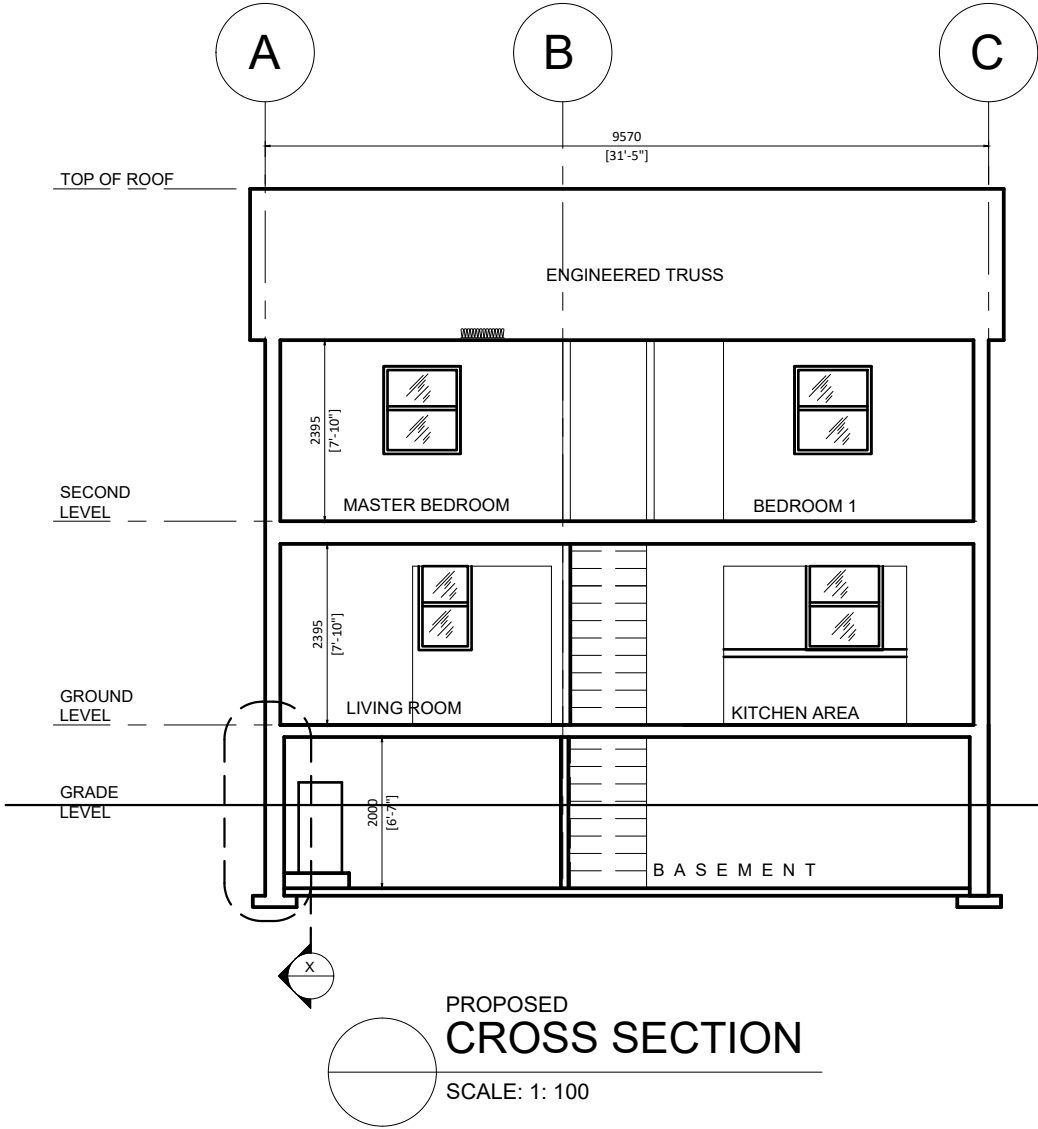
Attachment 3  
MV-2025-0010  
10101 Old Shiloh Road  
Page 13 of 14

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL

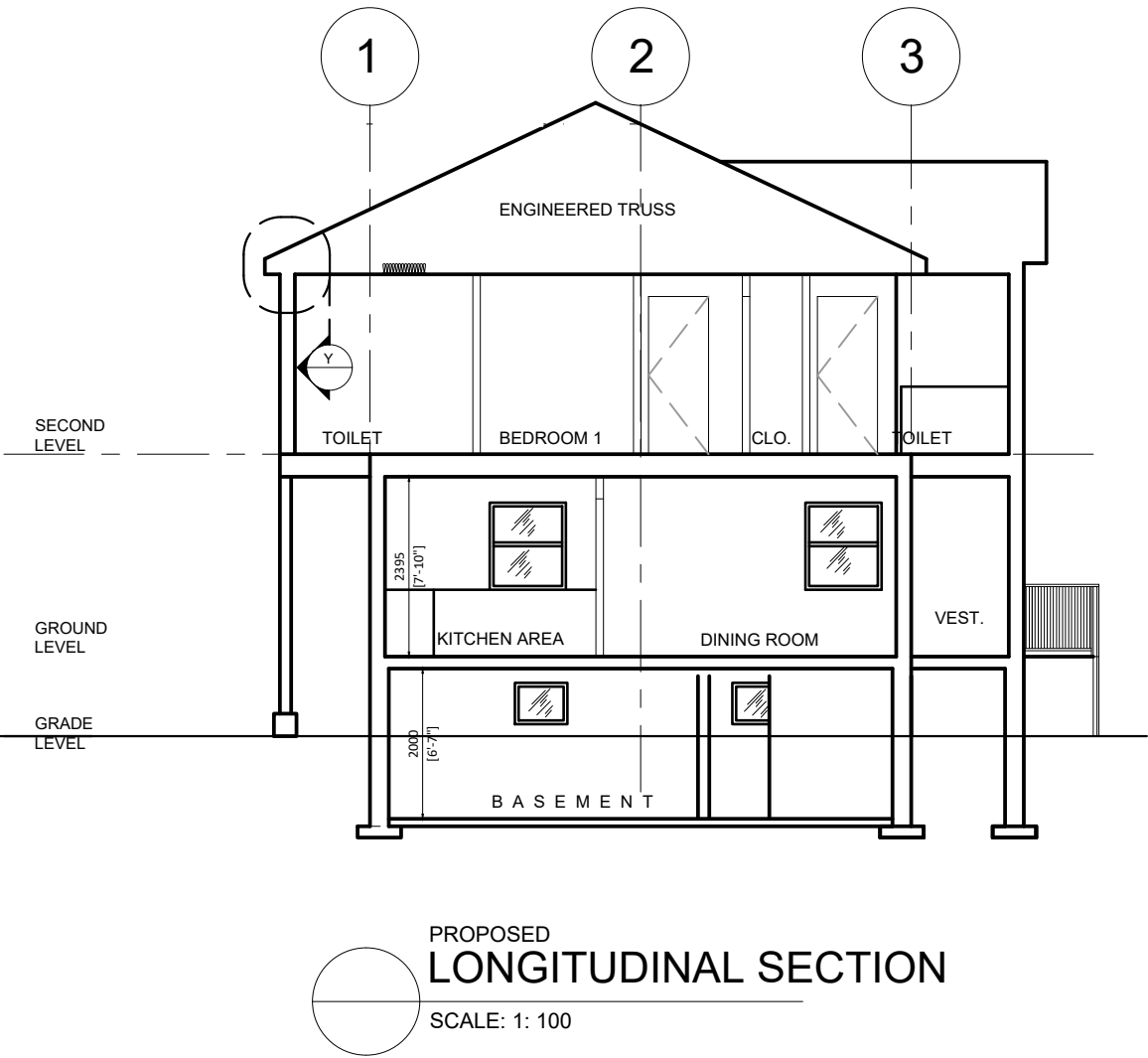
CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
PROPOSED REAR AND RIGHT SIDE  
ELEVATIONS

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	A14
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	
PROJECT NO.:	



PROPOSED  
**CROSS SECTION**  
SCALE: 1: 100



PROPOSED  
**LONGITUDINAL SECTION**  
SCALE: 1: 100

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NO	DATE	ISSUE
1	2023.05.25	ISSUED FOR PERMIT



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**Attachment 3**  
**MV-2025-0010**  
**10101 Old Shiloh Road**  
**Page 14 of 14**

PROJECT TITLE:  
INTERIOR ALTERATION/ADDITION ON  
EXISTING SINGLE DETACHED  
RESIDENTIAL

CLIENT : MR. AND MRS. WALTER DE PAZ  
10101 OLD SHILOH RD., PEPPERLAW, ON

DRAWING TITLE :  
**PROPOSED SECTIONAL PLANS**

DRAWN BY: LJMA	DRAWING NO.
CHECKED BY: LCA	<b>A15</b>
SCALE: As shown	REV. NO. :
DATE: MAY 25, 2023	PROJECT NO.:

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# Site Photos

10101 Old Shiloh Road  
Facing South



10101 Old Shiloh Road  
Facing West





10101 Old Shiloh Road  
Facing West



10101 Old Shiloh Road  
Facing North





10101 Old Shiloh Road  
Facing South



10101 Old Shiloh Road  
Facing East



Department/Agency	Date Received	Response:
Building Division	June 13, 2025	No Concern, please note any alterations will need to comply with the Ontario Building and may include an evaluation of the sewage system
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	June 24, 2025	See Attached
Economic Development		
Georgina Fire Department	June 18, 2025	No Objections
Municipal Law	June 6, 2025	No comments
Operations & Infrastructure	June 23, 2025	No Objections or Concerns
Policy Planning	June 20, 2025	No comments
Tax & Revenue	June 7, 2025	No Tax Concerns
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)		
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	June 9, 2025	No comments or concerns
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers	Page 61 of 69	

## Consolidated Comments for MV-2025-0010 - 10101 Old Shiloh Road

Southlake Regional Health Centre		
York Catholic Separate District School Board	June 6, 2025	No comments or objections
York Region - Community Planning & Development Services	June 11, 2025	No comment
York Region District School Board	June 9, 2025	No comments or concerns
York Regional Police		

**To:** Brianna Raines, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

**cc:** Mike Iampietro, Manager, Development Engineering  
Monika Saddler, Planner  
Cory Repath, Sr. Development Inspector  
Ashwin Kannuthurai, Junior Development Inspector  
Laura Taylor, Operations Administrative Assistant

**Date:** June 20<sup>th</sup>, 2025

**Re:** MINOR VARIANCE MV-2025-0010  
10101 Old Shiloh Road, Georgina  
CON 1 PT LOT 21  
Roll No.: 022-160

---

The Development Engineering Division has the following **condition(s)** for Minor Variance Application No. MV-2025-0010:

1. Lot Grading Plan: The applicant/owner shall provide a **detailed engineering drawing**, known as a Lot Grading Plan, that shows grade elevations of the entire lot, how surface water will be managed on a property to prevent flooding, erosion, and drainage issues, as well as existing and proposed entrance(s).
2. Check List: The applicant/owner shall provide a **completed drawing checklist**, which is to be signed by the designer of the drawing. The checklist template is linked [here](#).

Note: the Lot Grading Plan shall be prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of [By-law 2022-0038 \(REG-1\), as amended](#). Once these conditions are fulfilled, a **Site Alteration and Entrance Permit will also be required**. Related information can be found on the Town's website linked [here](#) and [here](#).

Please contact the Development Engineering Division by emailing [engineering2@georgina.ca](mailto:engineering2@georgina.ca) to fulfill your conditions, or if you have any questions or concerns, please email [ssial@georgina.ca](mailto:ssial@georgina.ca).





**THE CORPORATION OF THE  
TOWN OF GEORGINA  
Committee of Adjustment Minutes**

Date: Monday, June 16, 2025  
Time: 7:30 PM

Members of  
Committee Present:

John Rogers, Chair  
Karen Whitney  
Chris Burns  
Lynda Rogers  
Joseph Bonello

Staff Present:

Jeff Healey, Supervisor of Development Planning  
Monika Sadler, Planner I  
Brianna Flatt, Secretary-Treasurer

---

**1. ROLL CALL**

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council and Committee, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands, and we join them in these responsibilities.”

As noted above

**2. INTRODUCTION OF ADDENDUM ITEM(S)**

None.

**3. DECLARATION OF PECUNIARY INTEREST**

No pecuniary interests were declared.

**4. EXPLANATION OF HEARING PROCEDURE**

Brianna Flatt, Secretary-Treasurer, read the explanation of hearing procedure.

**5. REQUESTS FOR DEFERRAL OR WITHDRAWAL**

None.

**6. APPLICATIONS FOR CONSENT**

1. CONSENT APPLICATIONS CON-2025-0005  
9597 MORNING GLORY ROAD, PEPPERLAW  
CONCESSION 5, PART OF LOT 20, PLAN 65R-25429 P

The Agent, Gerard Ratnarajah, spoke to the application.

Monika Sadler, Planner I, gave a brief presentation on the application.

There were no public speakers or comments.

Committee member Chris Burns asked Ms. Sadler about the hydrogeological study and if just drilling a new well and providing a well record is suffice or is a study necessary. Ms. Sadler advised that the Town does require a study through a tabletop exercise, the applicant has done one in the past, with a previously severed property. Ms. Sadler further advised that the Engineering division reviews the study. Committee member Christ Burns further asked if the 1.48 metre new side yard setback would comply with the R zoning. Ms. Sadler advised that this was correct.

Committee Chair John Rogers mentioned that the frontage of retained lands is a little bit shy of the requirements, is it because if we granted the consent it would conform. Ms. Sadler advised that is correct according to our policies if a lot is created by consent it does not need to meet the frontage and area requirements in the R-Zone.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period.

Moved By Chris Burns

Seconded By Joseph Bonello

1. **That the Committee of Adjustment receive Report No. DS-2025-0038 prepared by the Development Planning Division, Development Services Department, dated June 16, 2025, respecting Consent Applications CON-2025-0005, submitted by the owners for the properties municipally addressed as 9597 Morning Glory Road, Pepperlaw; and,**
2. **Staff recommend the following:**
  - a. **That the Committee of Adjustment approve Consent Applications CON-2025-0005 as they pertain to the properties municipally addressed as 9597 Morning Glory**

Road to sever and convey Subject Land from Retained Land, as shown in Attachment 2 to Report No. DS-2025-0038, to create one (1) new residential building lot; and,

- b. That the approval of Consent Applications CON-2025-0005 be subject to the following conditions:
  - i. Submission to the Secretary-Treasurer of two (2) white prints of a deposited reference plan of survey to conform substantially with the applications, as submitted;
  - ii. Submission to the Secretary-Treasurer of a draft deed, in duplicate, conveying Subject Land from Retained Land as shown on Attachment 2 to Report No. DS-2025-0038;
  - iii. Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Planning Division that a municipal address has been tentatively assigned to the Subject Land;
  - iv. Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Planning Division that the accessory structure on the Retained Land has been removed to the Division's Satisfaction;
  - v. Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Planning Division that a Hydrogeological Study has been submitted for the Retained Lands to the Division's satisfaction; and
  - vi. Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0038 have been addressed to the Division's satisfaction;
  - vii. That the above-noted condition(s) be fulfilled within two (2) years of the date of the Notice of Decision.

Carried Unanimously

## **7. APPLICATIONS FOR MINOR VARIANCE**

- 1. MINOR VARIANCE APPLICATION MV-2025-0007  
411 BOUCHIER STREET

TOWN PLOT LOT 9 PART LOTS 8 AND 10 PART RESERVE PART  
BLOCK D PA

The Agent, Michael Smith, Michael Smith Planning Consultants;  
Development Coordinators Ltd., spoke to the application.

Monika Sadler, Planner I, gave a brief presentation on the application.

There were no public speakers or comments.

Committee Chair John Rogers, noted that there is a fair grade, and  
wanted to confirm that the intention of the addition is to keep it on the  
same level of the garage, meaning there is no crawl space intended to be  
in there. Paul Roth, Paul Roth Architect Inc. confirmed.

Following the vote, Committee Chair John Rogers advised that the  
application is approved subject to a 20-day appeal period.

Moved By Karen Whitney

Seconded By Joseph Bonello

1. **That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated June 16, 2025, respecting Minor Variance Application MV-2025-0007 for the property municipally addressed as 411 Bouchier Street; and,**
2. **Staff recommend the following:**
  - a. **That the Committee of Adjustment approve Minor Variance Application MV-2025-0007 to permit relief from the following:**
    - i. **Section 5.1(d): To permit a front yard setback of 5 metres for an accessory structure, whereas a setback of 6 metres is required;**
  - b. **That the approval of Minor Variance Application MV-2025-0007 be subject to the following term(s):**
    - i. **That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0037, in accordance with the relief recommended to be approved in Recommendation 2a);**
    - ii. **That interior water fixtures and/or washroom facilities (i.e. sink, toilet, shower or bathtub) shall be permitted on the ground floor of the detached garage. For clarity, this term supersedes Condition No. II. set out in approved minor variance A23-21 regarding the prohibition of interior water fixtures and/or washroom facilities in the detached garage;**



c. **That the approval of Minor Variance Application MV-2025-0007 be subject to the following condition(s):**

- i. **Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0037 have been addressed to the Division's satisfaction; and**
- ii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

**Carried Unanimously**

**8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS**

None.

**9. MINUTES OF PREVIOUS MEETING**

The May 12, 2025 meeting minutes were adopted.

Moved By Joseph Bonello

Seconded By Karen Whitney

**Carried Unanimously**

**10. COMMUNICATIONS**

**1. Memorandum, Proposed Advisory Committee Meeting Format**

Committee member Karen Whitney indicated the virtual meetings have been working very well and provide accessibility to the public and proposed that the Committee should continue with Virtual (Option 1).

Committee member Chris Burns concurred with Committee member Whitney. Mr. Burns stated that it gives the members and the public an option to join when it is convenient to them and from a location convenient to them.

Committee Chair John Rogers advised that he prefers virtual, it gives the Chair more control on how the meeting proceeds. Mr. Rogers noted that we should continue with virtual. Mr. Rogers further advised that the Committee for the next term will be able to vote on how they would like to proceed.

Brianna Flatt, Secretary-Treasurer, advised that the Committee does have the chance to have one meeting a year in person.

The Committee of Adjustment voted to remain virtual.

Moved By Karen Whitney

Seconded By Chris Burns

**Carried Unanimously**

**11. OTHER BUSINESS**

Brianna Flatt, Secretary-Treasurer, is currently working on an in-person learning session and are looking to set up a time to do this, Brianna will be sending a poll to committee members with available dates and times.

**12. NEXT MEETING**

The next meeting is July 14, 2025.

**13. ADJOURNMENT**

Meeting was adjourned.

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John Rogers, Chair

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Brianna Flatt, Secretary-Treasurer