



GEORGINA

**THE CORPORATION OF THE
TOWN OF GEORGINA
Committee of Adjustment**

Wednesday, February 19, 2025

7:30 PM

Pages

1. ROLL CALL

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

2. INTRODUCTION OF ADDENDUM ITEM(S)

3. DECLARATION OF PECUNIARY INTEREST

4. EXPLANATION OF HEARING PROCEDURE

5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

6. APPLICATIONS FOR CONSENT

7. APPLICATIONS FOR MINOR VARIANCE

1. MINOR VARIANCE APPLICATION A31-24
909 LAKE DRIVE NORTH
PLAN 124, LOT 77 AND PART OF LOT 78; CONCESSION 3, PART OF
LOT 28

4

1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A31-24, for the property municipally addressed as 909 Lake Drive North; and,
2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff

recommend the following:

- a. That the Committee of Adjustment approve Minor Variance Application A31-24 to permit relief from the following:
 - i. Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;
 - ii. Section 5.1(f): To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;
- b. That the approval of Minor Variance Application A31-24 be subject to the following term(s):
 - i. That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0009, in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application A31-24 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that a deeming by-law has been registered on title;
 - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0009 have been addressed to the Division's satisfaction; and
 - iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

2. 2353 BASELINE ROAD
CONCESSION 4, PART OF LOT 23

22

1. That the Committee of Adjustment receive Report No. DS-2025-0010 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A34-24, for the property municipally addressed as 2353 Baseline Road.
2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a. That the Committee of Adjustment approve Minor Variance Application A34-24 to permit the following:
 - i. the expansion and replacement of a legal non-conforming single detached dwelling.

- b. That the approval of Minor Variance Application A34-24 be subject to the following term(s):
 - i. That the proposed replacement of a single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0010, in accordance with the relief recommended to be approved in Recommendation 2(a).
- c. That the approval of Minor Variance Application A34-24 be subject to the following condition(s):
 - i. Submission to the Secretary-Treasurer of written confirmation from The Lake Simcoe Regional Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction;
 - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction; and
 - iii. That the above notes conditions be fulfilled within two (2) years of the date of Notice of Decision.

8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS

9. MINUTES OF PREVIOUS MEETING

- 1. January 20, 2025 meeting minutes

48

10. COMMUNICATIONS

11. OTHER BUSINESS

12. NEXT MEETING

The next meeting is March 3, 2025.

13. ADJOURNMENT

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2025-0009

FOR THE CONSIDERATION OF
COMMITTEE OF ADJUSTMENT

February 19, 2025

SUBJECT: MINOR VARIANCE APPLICATION A31-24
909 LAKE DRIVE NORTH
PLAN 124, LOT 77 AND PART OF LOT 78; CONCESSION 3, PART OF
LOT 28

1. RECOMMENDATIONS:

- 1) That the Committee of Adjustment receive Report No. DS-2025-0009 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A31-24, for the property municipally addressed as 909 Lake Drive North; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
 - a) That the Committee of Adjustment approve Minor Variance Application A31-24 to permit relief from the following:
 - i) Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;
 - ii) Section 5.1(f): To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;
 - b) That the approval of Minor Variance Application A31-24 be subject to the following term(s):
 - i) That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0009, in accordance with the relief recommended to be approved in Recommendation 2a);
 - c) That the approval of Minor Variance Application A31-24 be subject to the following condition(s):

- i) **Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that a deeming by-law has been registered on title;**
- ii) **Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0009 have been addressed to the Division's satisfaction; and**
- iii) **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

2. PURPOSE:

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application A31-24 for the property located at 909 Lake Drive North regarding the construction of a detached garage with an additional dwelling unit above.

3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)
909 Lake Drive North
Plan 124, Lot 77 and Part of Lot 78 and Concession 3
Part of Lot 28
Roll #: 123-3580

PROPOSAL

The owner of the subject property is proposing to construct a detached dwelling and an accessory structure (detached garage with additional dwelling unit) on the subject lands. It must be noted that no relief to the by-law has been requested for the proposed detached dwelling.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed accessory structure:

- i) Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres.
- ii) Section 5.1(f): To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres.

A Site Sketch and building plans showing the proposal and the requested relief are included as Attachment 2.

3.1 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 909 Lake Drive North. A summary of the characteristics of the property is as follows:

General Property Information		
Municipal Address	909 Lake Drive North	
Zoning	Residential (R) Zone	
Frontage	23.1 Metres	
Area	2,314.8 Square Metres	
Official Plan / Secondary Plan Land Use Designation	Serviced Lakeshore Residential Area	
Regional Official Plan Land Use Designation	Rural Area	
Related Applications	Deeming By-law (DEEM-2025-0001)	
Land Use and Environmental Considerations		
Existing Structures	Single Detached Dwelling, Detached Garage and sheds (proposed to be demolished)	
Proposed Structures	Single Detached Dwelling and Detached Garage with Additional Dwelling unit	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	Yes, Partially (Front Yard)	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Municipal	Municipal
Sanitary	Municipal	Municipal
Access	Existing driveways	Existing driveways

4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

4.1 PUBLIC CIRCULATION

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on February 3, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application A31-24 are outlined below.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, including existing and proposed entrances, prepared by a Professional Engineer or an Ontario Land Surveyor (Attachment 4).

As the existing lot is located on more than one lot on a registered plan of subdivision, the Development Planning Division will require a Deeming By-law in order to merge the lots together to construct the single detached dwelling and accessory structure on the subject property. The owner has submitted a related Deeming By-law application for the property.

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Plumbing / Building Inspector, Building Department
- Economic Development and Tourism Division
- Georgina Fire Department
- Lake Simcoe Region Conservation Authority
- Ministry of Transportation
- Tax and Revenue
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

5. **ANALYSIS:**

The following evaluation of Minor Variance Application A31-24 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

i. Is the general intent and purpose of the Official Plan maintained? – Yes

The subject property is designated Serviced Lakeshore Residential in the Town's Official Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes

The subject property is zoned Residential (R) Zone on Map 4 of Schedule 'A' to Zoning By-law No. 500, as amended. A single-detached dwelling and accessory

structures are permitted in the R zone. The proposed variances to seek relief to the building height requirements for accessory building structures, no other relief to the By-law is requested.

a. Accessory Structure Height

Section 5.1 (f) of Zoning By-law No. 500, as amended, permits a maximum height of 4.5 metres to the eaves and 6.0 metres from the average grade to the highest point of the structure for accessory structures on lots 600 square metres or greater. The Applicant has requested relief to allow a maximum height of 7.15 metres to the peak and 5.35 metres to the eaves.

The intent of the maximum height to the peak and the eaves is to limit adverse shadowing and visual impact, provide for neighbouring properties and ensure accessory buildings are subordinate in size to the main building.

Staff note that the requested height exceeds the permitted height by 1.15 metres to the peak and 0.85 metres to the eave and is to provide to give space for the garage and additional dwelling unit above the garage. It must be noted that the proposed single detached dwelling will comply with the zoning by-law and will be approximately 10.4 metres height.

It is noted that the proposed accessory structure will back onto the Eastbourne Golf Course and have access through an existing private lane on Eastbourne Drive. Given the location of the proposed accessory structure is well separated from existing dwellings on neighbouring lots, staff are satisfied that there will be no adverse visual impacts to the street and neighbouring properties.

Staff are of the opinion that the proposed variance maintains the general intent and purpose of Zoning By-law 500, as amended.

iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes

The proposed accessory structure is in keeping with the existing physical character of the neighbourhood as the area generally consists of various lot sizes with single detached dwellings located along Lake Drive North and accessory structures generally located in the rear yard along Eastbourne Drive

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and surrounding neighbourhood.

iv) Is the relief sought minor in nature? – Yes

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or

acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

6. CONCLUSION:

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application A31-24, as it pertains to the proposed accessory structure, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

APPROVALS:

Prepared by:

Monika Sadler
Planner I

Approved By:

Jeff Healey, MCIP, RPP
Supervisor of Development Planning

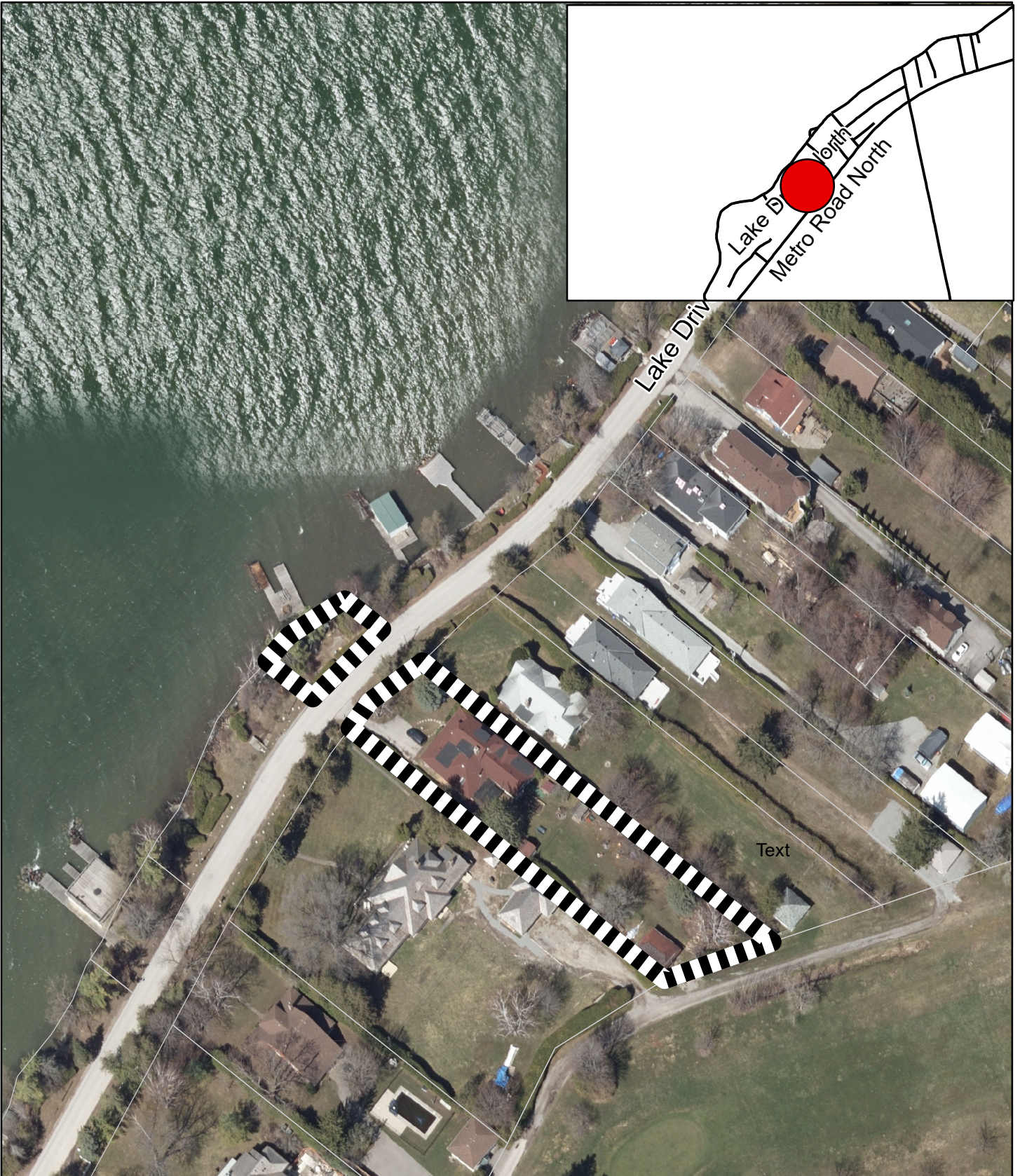
Attachments:

Attachment 1 – Location Map

Attachment 2 – Site Plan

Attachment 3 – Site Photos

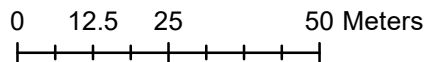
Attachment 4 – Comments



LOCATION MAP



SUBJECT LAND





Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres; Section 5.1(f): To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres

The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



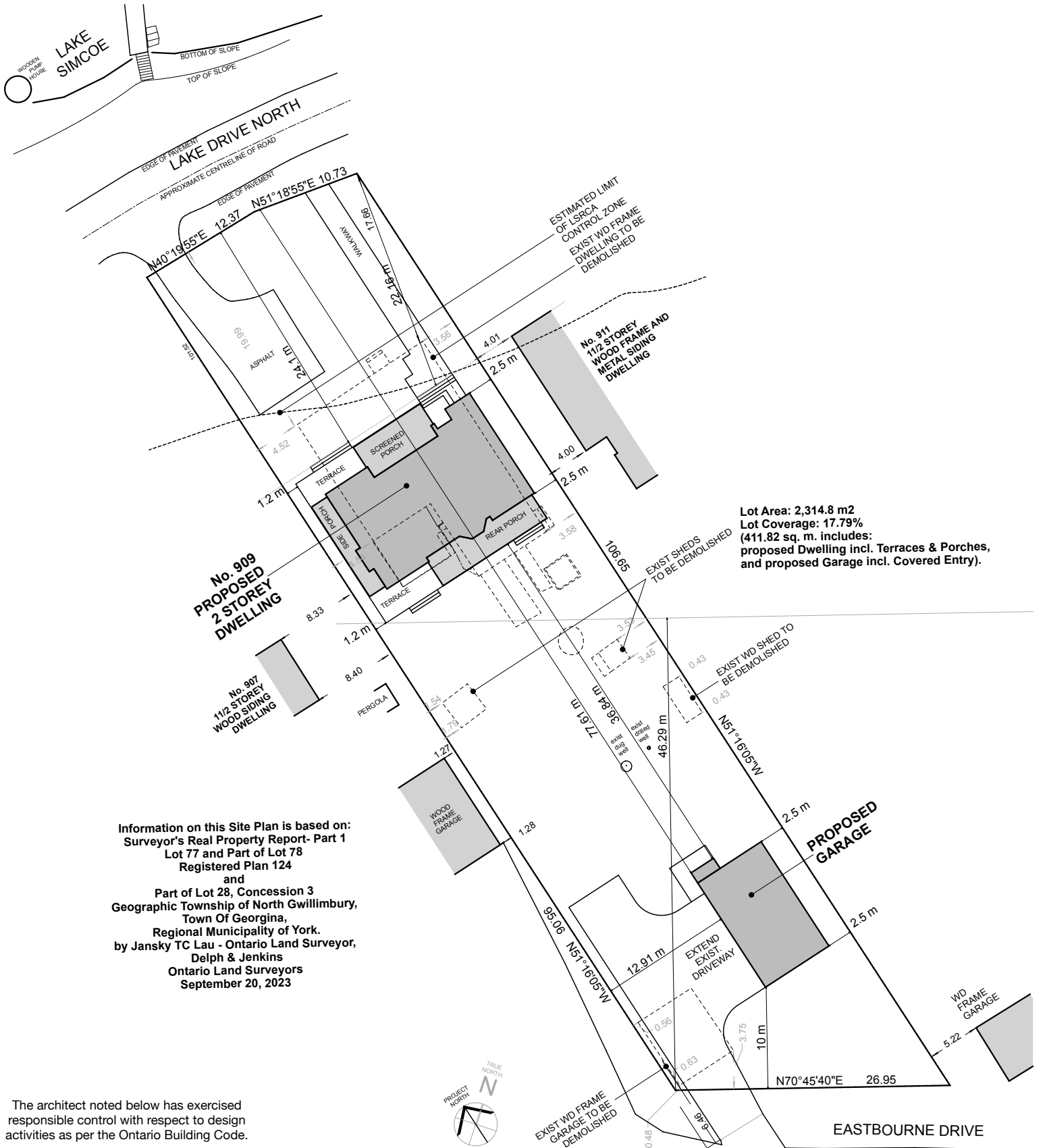
Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

Drawing Title:
Birds Eye View

PAUL ROTH
 ARCHITECT INC.
 272 Riverside Drive Toronto M6S 4B2 T: 416 528-2118 E: paulrotharchitect@gmail.com
 Certificate of Practice Number: 4939

Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: NTS
 Drawing No. 1

Attachment 2
 A31-24
 (909 Lake Drive North)
 Page 1 of 7



The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

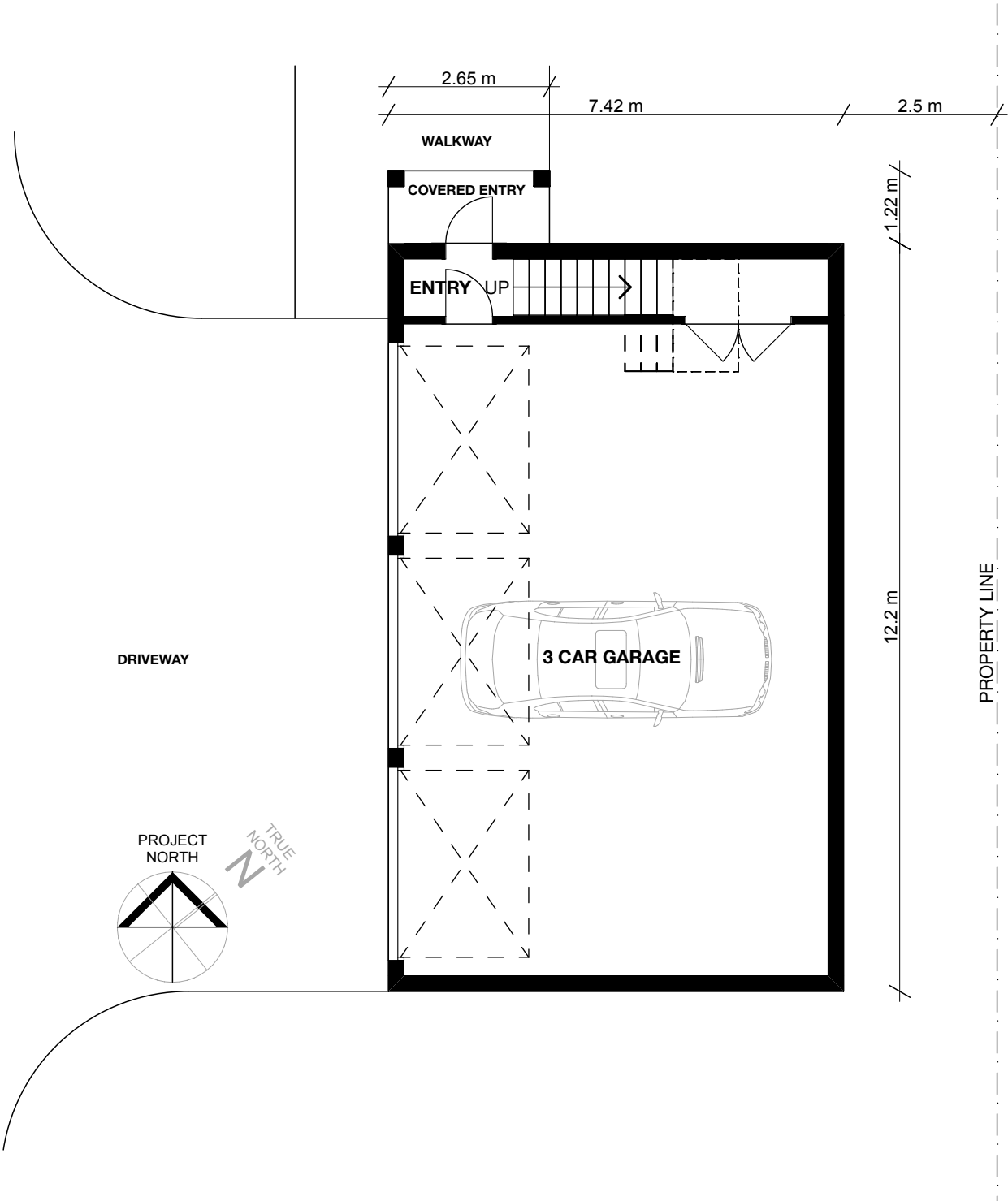
Drawing Title:
Site Plan

PAUL ROTH
 ARCHITECT INC.

272 Riverside Drive Toronto M6S 4B2 T: 416 528-2118 E: paul@paulrotharchitects@gmail.com
 Certificate of Practice Number: 4939

Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: 1:500
 Drawing No. _____

Attachment 2
 A31-24
 (909 Lake Drive North)
 Page 2 of 7



The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



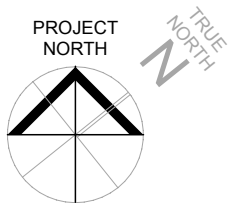
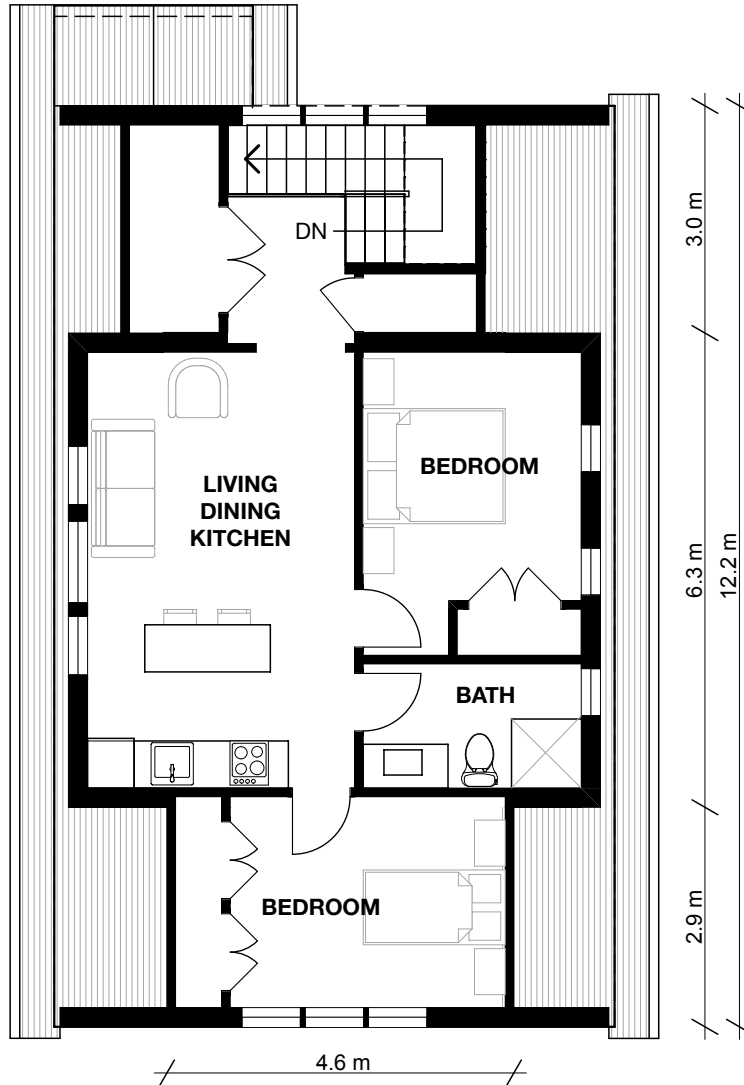
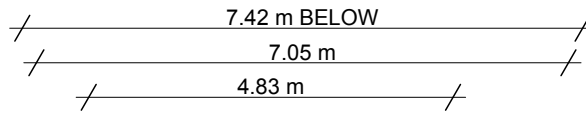
Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

Drawing Title: **Garage Ground Floor Plan**

PAUL ROTH
 ARCHITECT INC.
 272 Riverside Drive Toronto M6S 4B2 T: 416 528-2118 E: paulrotharchitect@gmail.com
 Certificate of Practice Number: 4939

Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: 1:100
 Drawing No. _____

Attachment 2
A31-24
(909 Lake Drive North)
Page 3 of 7



The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

Drawing Title: **Garage Second Floor Plan**

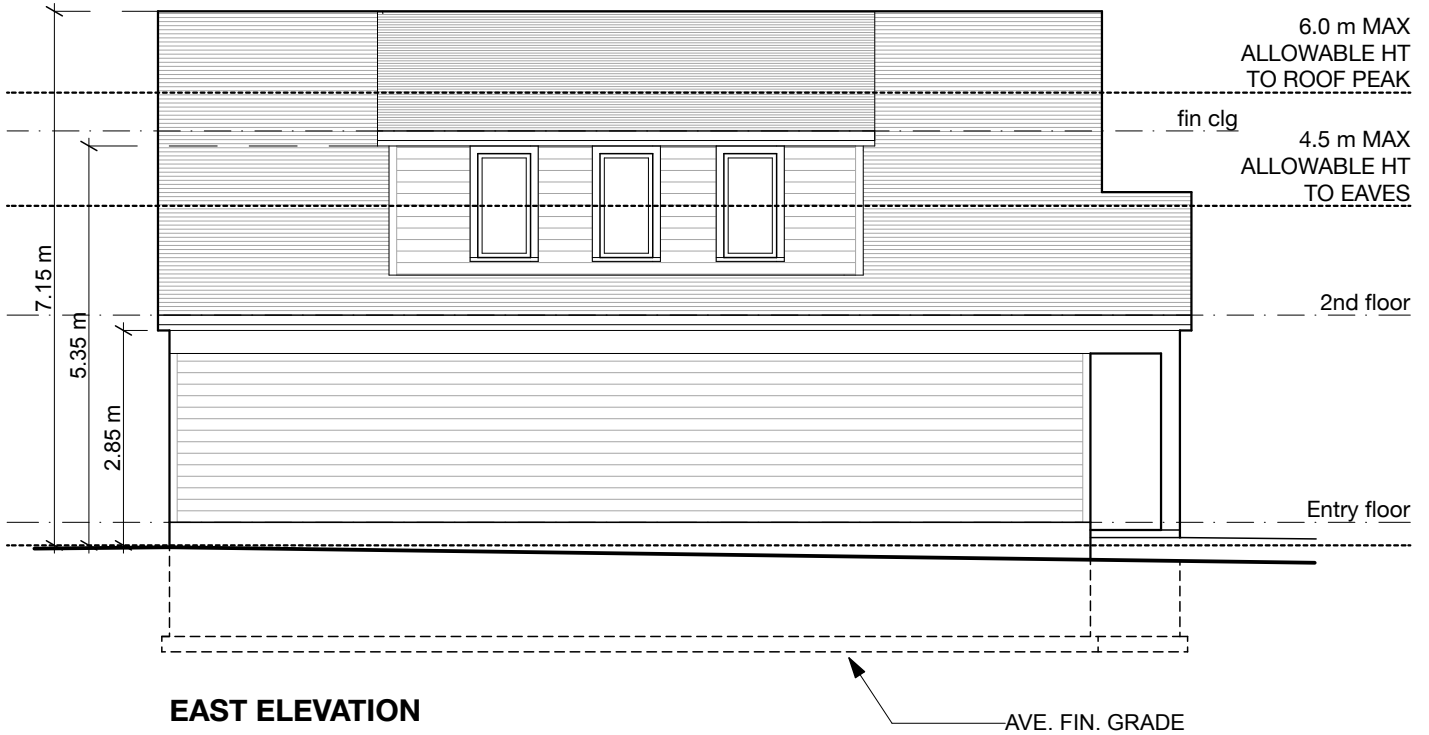
PAUL ROTH
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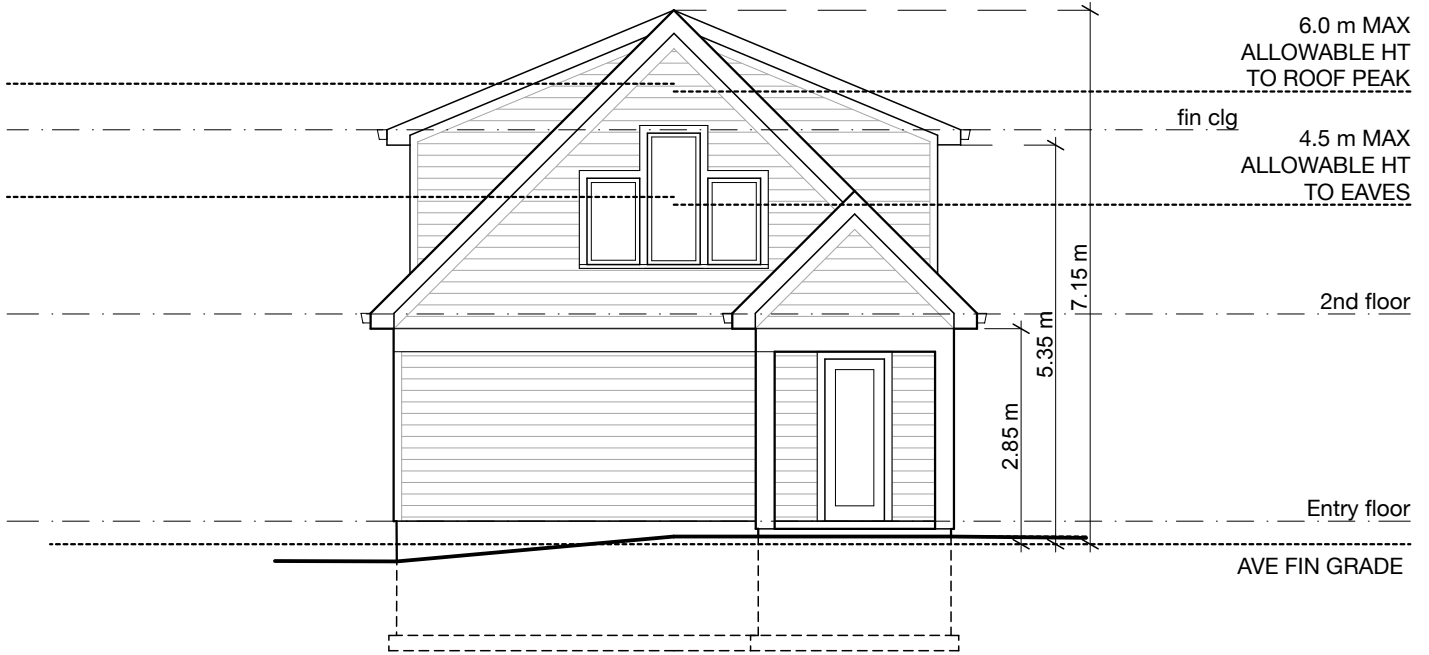
Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: 1:100
 Drawing No. _____

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Attachment 2
 A31-24
 (909 Lake Drive North)
 Page 4 of 7



EAST ELEVATION



NORTH ELEVATION

The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

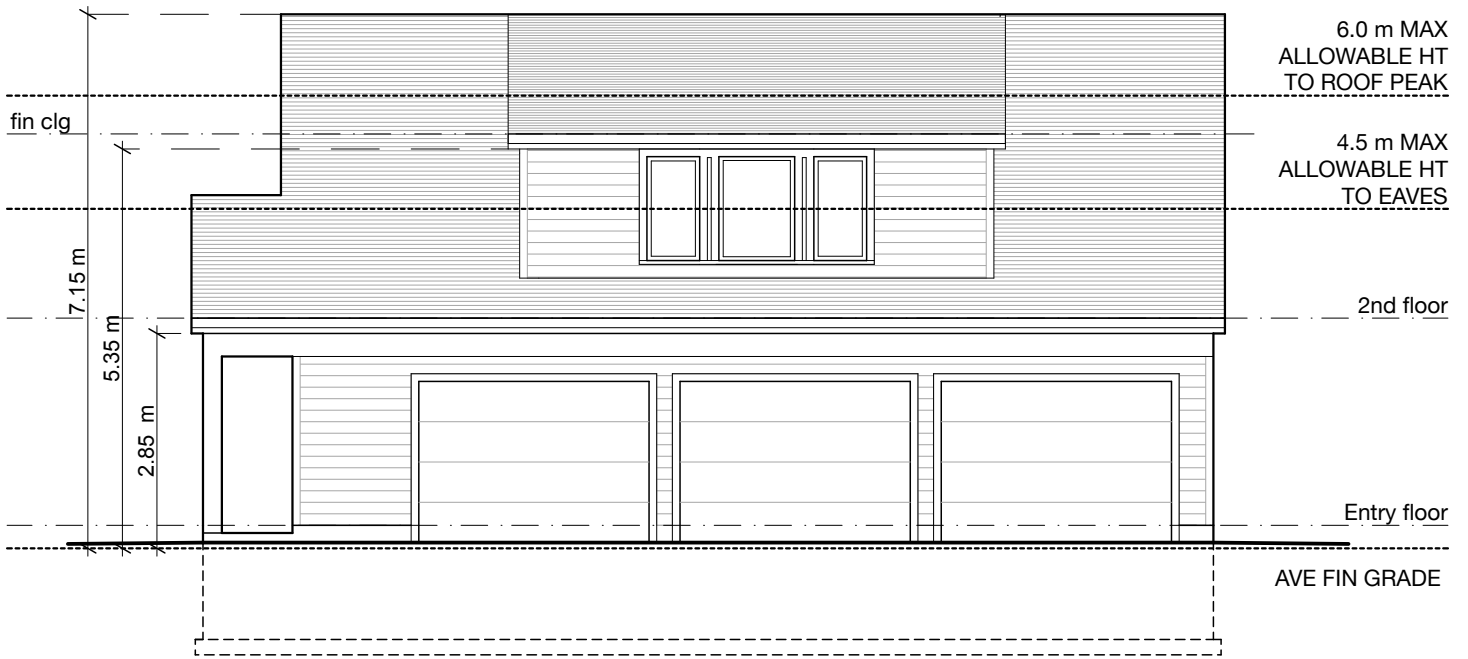
Drawing Title: **Garage Elevations**

PAUL ROTH
 ARCHITECT INC.
 272 Riverside Drive Toronto M6S 4B2 T: 416 528-2118 E: paulrotharchitect@gmail.com
 Certificate of Practice Number: 4939

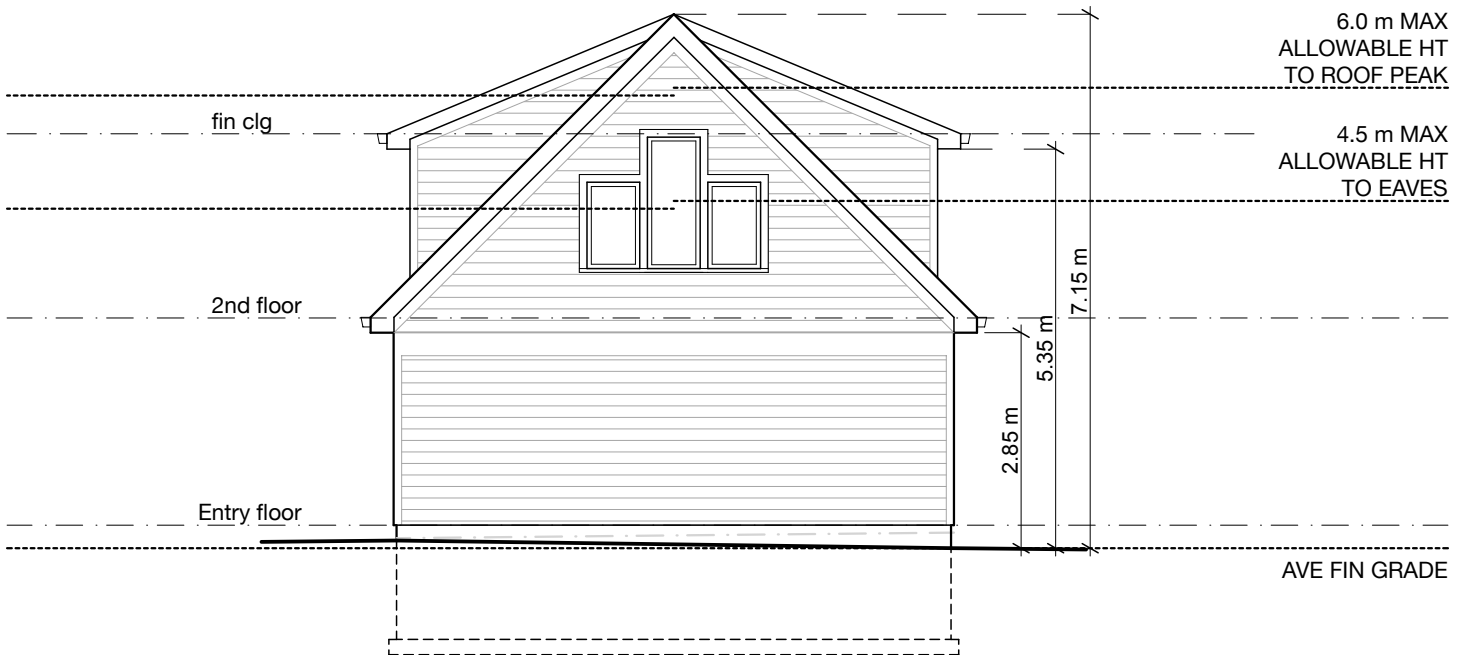
Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: 1:100
 Drawing No. _____

10

Attachment 2
A31-24
(909 Lake Drive North)
Page 5 of 7



WEST ELEVATION



SOUTH ELEVATION

The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



Proposed Dwelling & Detached Garage
909 Lake Dr. N., Georgina, Ont.

Drawing Title:
Garage Elevations

PAUL ROTH
 ARCHITECT INC.

272 Riverside Drive Toronto M6S 4B2 T: 416 528-2118 F: paulrotharchitect@gmail.com
 Certificate of Practice Number: 4939

Revised on _____
 Project No. 2304
 Date: Oct 25/24
 Scale: 1:100
 Drawing No. _____

11

Attachment 2
A31-24
(909 Lake Drive North)
Page 6 of 7

SURVEYOR'S REAL PROPERTY REPORT - PART 1
LOT 77 AND PART OF LOT 78
REGISTERED PLAN 124
AND
PART OF LOT 28, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF NORTH GWILLIMBURY
TOWN OF GEORGINA
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 250

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT
PART 2: REPORT SUMMARY
SURVEY PREPARED FOR:
DIANA LAWRENCE
DESCRIPTION OF LAND:
LOT 77 AND PART OF LOT 78, REGISTERED PLAN 124 AND PART OF LOT 28, CONCESSION 3 (KNOWN AS 909 LAKE DRIVE NORTH)
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS TOGETHER WITH A RIGHT-OF-WAY AS IN INST. R753140
ENCROACHMENTS:
NOTE THE LOCATIONS OF THE FENCES, HEDGES, WOODEN DOCK, WOODEN PUMP HOUSE, STEEL TANK RELATED TO THE PROPERTY LIMITS.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAW
NOT CERTIFIED BY THIS REPORT
ADDITIONAL REMARKS:
(FURTHER INFORMATION CONTAINED IN THE SURVEY REPORT TO BE READ IN CONJUNCTION WITH THIS PLAN)

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- DENOTES CUT CROSS
- ▣ DENOTES IRON BAR
- ▤ DENOTES SHORT STANDARD IRON BAR
- ▥ DENOTES WITNESS
- 734 DENOTES I.D. BARNES LTD., O.L.S.
- G DENOTES W.S. GIBSON, O.L.S.
- P1 DENOTES PLAN OF SURVEY BY R.A. GARDEN LTD., O.L.S. DATED JUNE 26, 1986
- P2 DENOTES PLAN 656-17539
- CF DENOTES BOARD FENCE
- CL DENOTES CENTRE LINE
- CLF DENOTES CHAIN LINK FENCE
- FH DENOTES FIRE HYDRANT
- GM DENOTES GAS METER
- HM DENOTES HYDRO METER
- HP DENOTES HYDRO PILE
- LS DENOTES LIGHT STANDARD
- MH DENOTES MANHOLE
- PWF DENOTES POST AND WIRE FENCE
- TS DENOTES TRAFFIC SIGN
- WRW DENOTES WOOD RETAINING WALL
- WV DENOTES WATER VALVE
- N.E.S.W DENOTES NORTH, EAST, SOUTH, WEST
- OW- DENOTES OVERHEAD WIRE
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- DENOTES CEDAR HEDGE

NOTE

ALL BUILDING TIES ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED.
 PROPERTY LINES ARE UNFENCED UNLESS OTHERWISE NOTED.
 BEARINGS SHOWN HEREON ARE UTM GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS 1 AND 2 BY LOCAL TIME CANNET NETWORK. OBSERVATIONS AND REFERRED TO THE 6° UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE (NAD 83, CSRS 2010).
 DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES, AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING THE DISTANCE BY COMBINED SCALE FACTOR 0.999747.

FOR BEARINGS COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED.
 P1 - 2°20'08" COUNTER CLOCKWISE
 P2 - 1°05'55" COUNTER CLOCKWISE

THE COORDINATES SHOWN ON THIS PLAN, IN THEMSELVES, CANNOT BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
 COORDINATES SHOWN ON THIS PLAN ARE IN COMPLIANCE WITH THE SURVEYORS ACT, URBAN ACCURACY PER O. REG. 219/10, SECTION 14(2).

PLANNING COORDINATES	NORTHINGS	EASTINGS
1	4905690.376	621411.154
2	4905626.868	621490.336

BENCHMARK

ELEVATIONS SHOWN HEREON ARE GEODETIC AND DETERMINED BY REALTIME CAN-NET NETWORK OBSERVATIONS (CGVD 1928, 1978 ADJUSTMENT)

Attachment 2
A31-24
(909 Lake Drive North)
Page 7 of 7

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF SEPTEMBER, 2023.

DATE JANSKY T C LAU - ONTARIO LAND SURVEYOR

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED

~~THIS HEAD OF TITLE IS SUBJECT TO THE REGULATIONS OF THE SURVEYORS ACT~~

NOTE: THIS REPORT CAN BE UPDATED BY THIS OFFICE, HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED, SUBSEQUENT TO THE DATE OF CERTIFICATION.

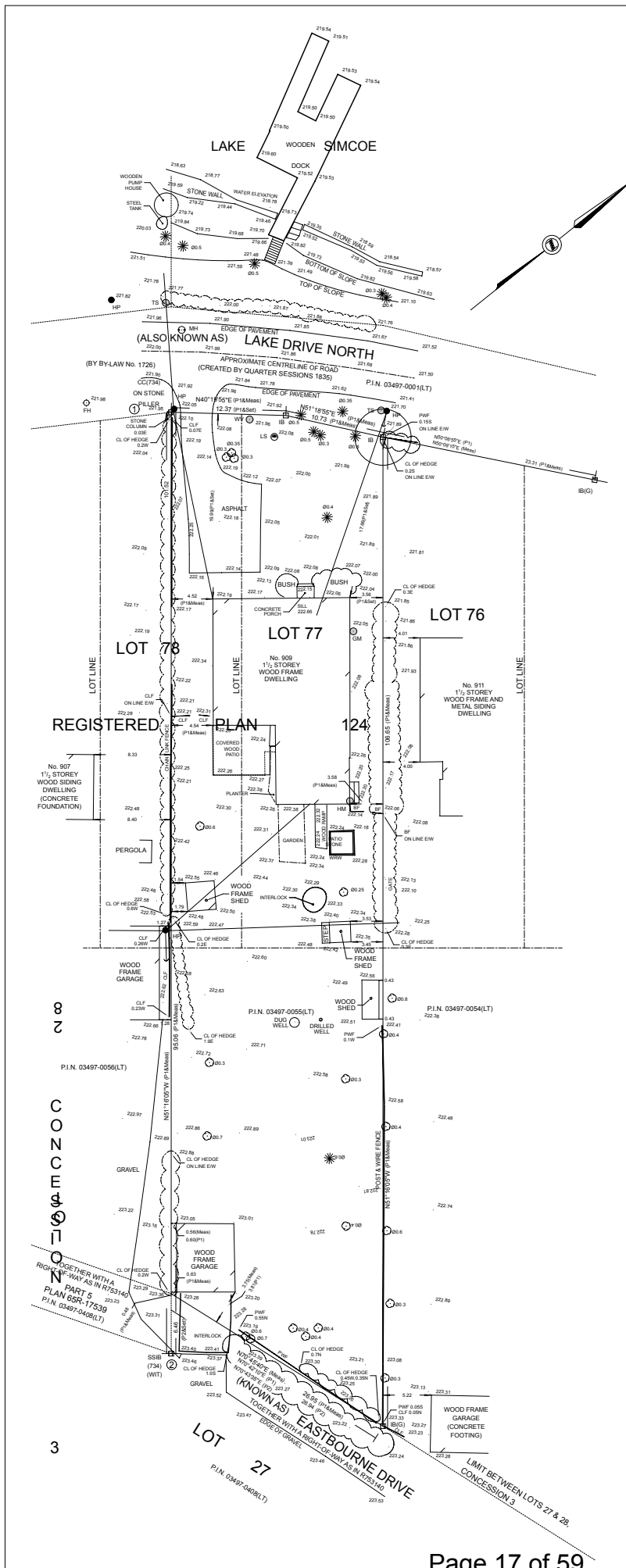
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Ontario Land Surveyors
 220 Industrial Parkway S., Unit 8, Aurora, Ontario L4G 2V6
 www.olsa.com
 Tel: 905-841-8528

23325-1

CREATED: J. A. CHECKED: J. A.

ACAD FILE: 23325-1.DWG DATE: September 26, 2023



Site Photos

909 Lake Dr N
Facing North-East



909 Lake Dr N
Facing West



909 Lake Dr N
Facing East



909 Lake DR N
Facing South



909 Lake Dr N
Facing North



909 Lake Dr N
Facing South



To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Lampietro, Manager, Development Engineering
Cory Repath, Sr. Development Inspector
Vikum Wegiriya, Jr. Development Technologist
Matthew DeLuca, Jr. Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: January 28th, 2025

Re: MINOR VARIANCE A31-24
909 Lake Drive North
PLAN 124 LOT 77 PT LOT 78; CON 3 PT LOT 28
ROLL NO.: 123-3580

The Development Engineering Division has no objection to Minor Variance Application No. A31-24, subject to the following condition(s) being fulfilled to the Engineering Development Division's satisfaction:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
 - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2025-0010

**FOR THE CONSIDERATION OF
COMMITTEE OF ADJUSTMENT**

February 19, 2025

**SUBJECT: MINOR VARIANCE APPLICATION A34-24
2353 BASELINE ROAD
CONCESSION 4, PART OF LOT 23**

1. RECOMMENDATION:

- 1. That the Committee of Adjustment receive Report No. DS-2025-0010 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A34-24, for the property municipally addressed as 2353 Baseline Road.**
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:**
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 - i. the expansion and replacement of a legal non-conforming single detached dwelling.**
 - b. That the approval of Minor Variance Application A34-24 be subject to the following term(s):**
 - i. That the proposed replacement of a single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0010, in accordance with the relief recommended to be approved in Recommendation 2(a).**
 - c. That the approval of Minor Variance Application A34-24 be subject to the following condition(s):**
 - i. Submission to the Secretary-Treasurer of written confirmation from The Lake Simcoe Regional Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction;**
 - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters**

identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division’s satisfaction; and

- iii. That the above notes conditions be fulfilled within two (2) years of the date of Notice of Decision.**

2. PURPOSE:

The purpose of this report is to provide Staff’s analysis concerning Minor Variance Application A34-24 regarding the expansion and replacement of one of the legal non-conforming single detached dwelling.

3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)
2353 Baseline Road
Concession 4, Part of Lot 23
Roll #: 109-810

3.1 PROPOSAL

A single-detached dwelling located on the subject lands has been demolished and has been replaced with an enlarged detached dwelling. The applicant has applied for a building permit to rectify the above-noted works and requires a minor variance due to the expansion and replacement of the detached dwelling.

The current zoning by-law does not permit multiple detached dwellings in this zone. The applicant has provided satisfactory documentation that the dwellings predate the zoning by-law and are consequently considered legal non-conforming.

The applicant requests the Committee of Adjustment to exercise their power granted in Section 45(2)(a)(i) of the Planning Act to permit:

- i. Expansion of a Legal Non-Conforming Use: To permit the expansion and replacement of a single detached dwelling.

A Site Sketch showing the proposed minor variance is included as Attachment 3.

3.2 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 2353 Baseline Road. A summary of the characteristics of the property is as follows:

General Property Information	
Municipal Address	2353 Baseline Road
Zoning By-law 500	Rural (RU) Zone

Zoning By-law 600	Agricultural Protection (AP) Zone and Environmental Protection (EP) Zone	
Frontage	255.50 Metres	
Area	20,318.24 Square Metres	
Official Plan / Secondary Plan Land Use Designation	Agricultural Protection Area and Environmental Protection Area	
Regional Official Plan Land Use Designation	Agricultural Area	
Related Applications	None	
Land Use and Environmental Considerations		
Existing Structures	Two single detached dwellings	
Proposed Structures	One single detached dwelling	
Heritage Status	Neither listed nor designated	
Regulated by LSRCA	Yes, Partially	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	Existing	Proposed
Water	Private	Private
Sanitary	Private	Private
Access	Driveway	Driveway

4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

4.1 PUBLIC CIRCULATION

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on February 3, 2025 to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application A34-24 are outlined below.

The Plumbing / Building inspector has indicated no objects and advises the Applicant that the septic system for the building will need to be assessed by an engineer since it has not been in use since 2018. The septic system must be assessed prior to issuance of any building permits.

The Lake Simcoe Region Conservation Authority (LSRCA) has indicated no objections and requires, as a condition of the minor variance, that the applicant / owner

pay the LSRCA Plan Review Fee in accordance with the LSRCA fee schedule (Attachment 4). The LSRCA also advises the applicant / owner that any future development or site alteration located in the regulated portion of the property will require a LSRCA permit.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan including existing and proposed entrances prepared by a Professional Engineer or an Ontario Land Surveyor (Attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance.

- Economic Development and Tourism Division
- Georgina Fire Department
- Ministry of Transportation
- Tax and Revenue Division
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

5. **ANALYSIS:**

Expansion of a Legal Non-Conforming Use – Section 45(2)(a)(i) of the Planning Act:

The Owner seeks to expand the legal non-conforming single detached dwelling with larger replacement dwellings through the powers granted to the Committee of Adjustment under Section 45(2)(a)(i) of the *Planning Act*.

This section allows the Committee to permit the enlargement or extension of a building or structure containing a legal non-conforming use if the use within the building or structure that existed on the day the Zoning By-law was passed continued until the date of the application to the Committee. However, no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the Zoning By-law was passed.

The Owner has provided the Town with sufficient documentation that the dwelling existed prior to the day the Town introduced a comprehensive Zoning By-law (Zoning By-law No. 911 was passed by Council on May 9, 1977) and that the dwelling uses have continued to this day. The dwellings will be rebuilt within the limits of the property.

The former Local Planning Appeal Tribunal (LPAT) provided the following evaluation tests for reviewing applications for expansion under Section 45(2)(a)(i) of the Planning Act:

1. Whether the application is desirable for appropriate development of the subject property.
2. Whether the application will result in undue adverse impacts on the surrounding properties and neighbourhood.

The dwelling was demolished circa 2019. Construction of an enlarged dwelling began shortly afterwards on the same location as the original dwelling. The enlarged dwelling remained partially constructed for a few years and the exterior works were completed circa 2023. The applicant is currently seeking a building permit to legalize the works that have occurred to the dwelling.

The dwelling has expanded approximately 50.26 square metres and is located the same setback distance from the roadway (Baseline Road). The detached dwelling has expanded approximately 2.5 metres to the south and meets all the required setbacks set out in Zoning By-laws 500 and 600, as amended. The enlarged dwelling is of an appropriate size for the rural nature of the property. Furthermore, the dwelling is generally compatible with the dwelling sizes and uses of neighbouring rural properties.

Staff are of the opinion that the application is desirable for appropriate development of the subject property and that the application will not result in undue adverse impacts on the surrounding properties and neighbourhood.

6. CONCLUSION:

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application A34-24, as it pertains to the expansion of the legal non-conforming single detached dwelling, is appropriate and represents good planning.

APPROVALS:

Prepared by:

Monika Sadler
Planner I

Approved By:

Jeff Healey, MCIP, RPP
Supervisor of Development Planning

Attachments:

Attachment 1 – Location Map

Attachment 2 – Site Photos

Attachment 3 – Site Plan and Elevations

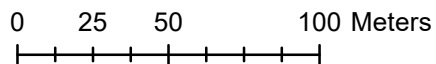
Attachment 4 – Comments



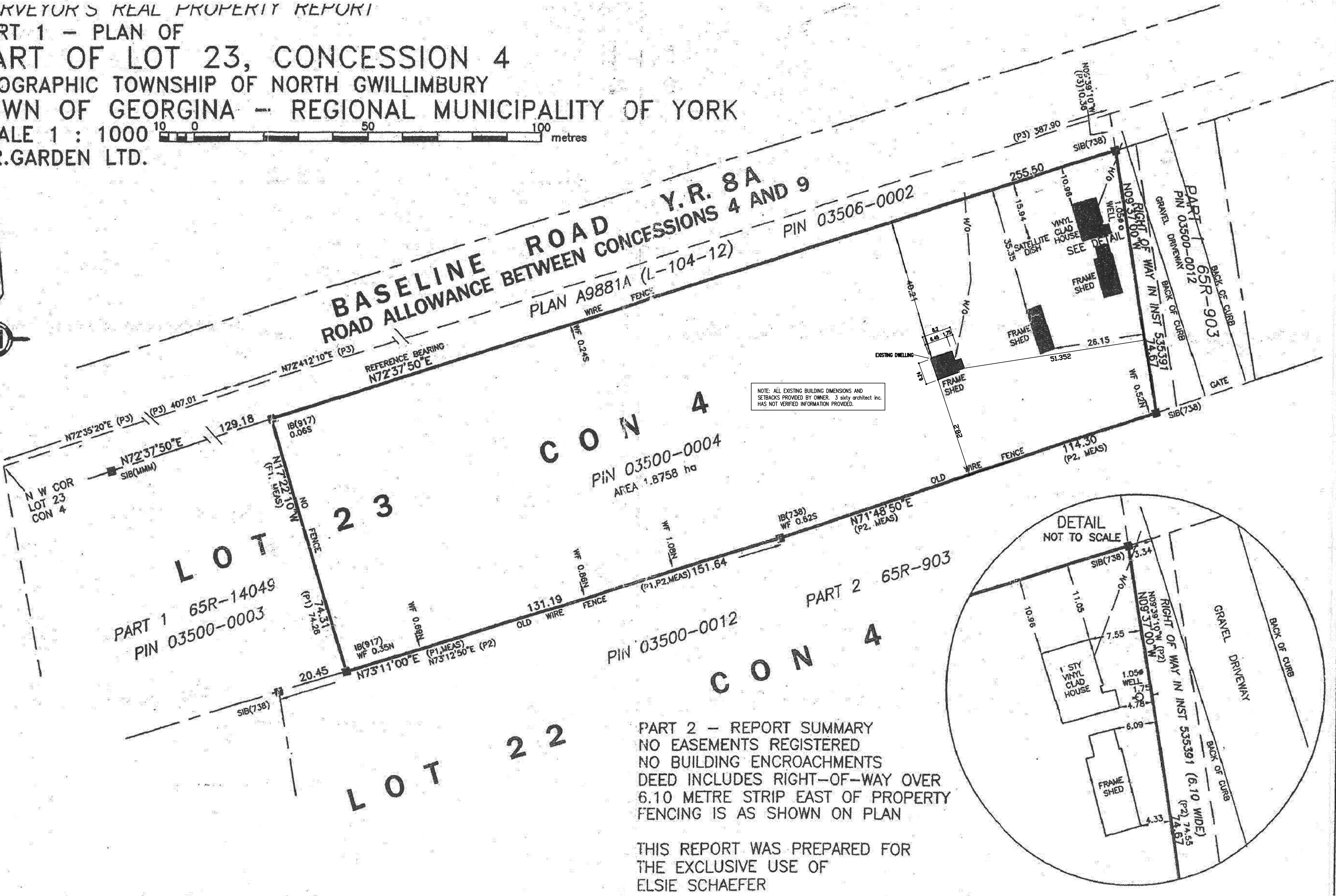
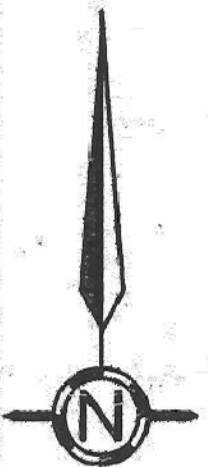
LOCATION MAP



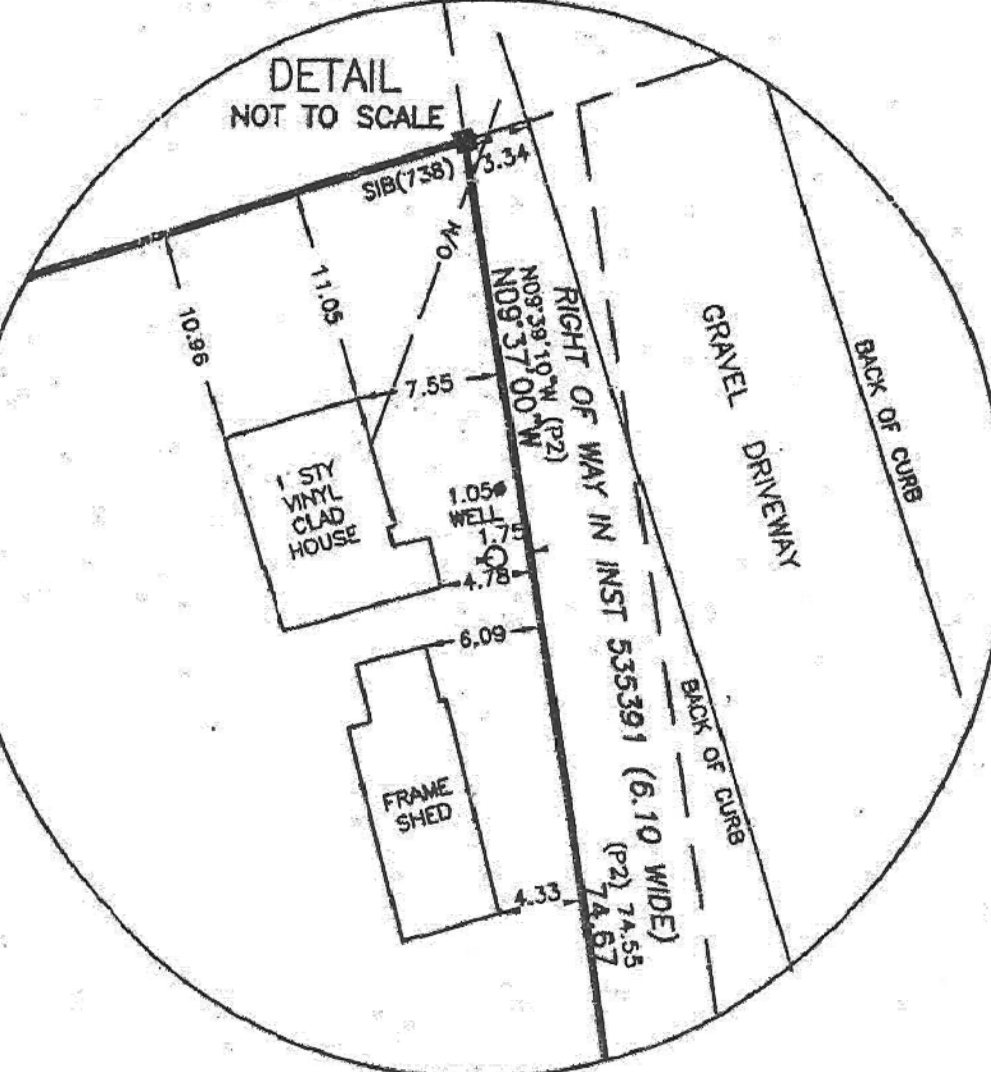
SUBJECT LAND



SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN OF
 PART OF LOT 23, CONCESSION 4
 GEOGRAPHIC TOWNSHIP OF NORTH GWILLIMBURY
 TOWN OF GEORGINA - REGIONAL MUNICIPALITY OF YORK
 SCALE 1 : 1000
 E.R.GARDEN LTD.



NOTE: ALL EXISTING BUILDING DIMENSIONS AND SETBACKS PROVIDED BY OWNER. 3 day architect inc. HAS NOT VERIFIED INFORMATION PROVIDED.



PART 2 - REPORT SUMMARY
 NO EASEMENTS REGISTERED
 NO BUILDING ENCROACHMENTS
 DEED INCLUDES RIGHT-OF-WAY OVER
 6.10 METRE STRIP EAST OF PROPERTY
 FENCING IS AS SHOWN ON PLAN

THIS REPORT WAS PREPARED FOR
 THE EXCLUSIVE USE OF
 ELSIE SCHAEFER

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1896896

LEGEND

(P1) PLAN 65R-14049
 (P2) PLAN 65R-903

FOUND
 PLANTED
 ROUND
 IRON BAR
 SIB STANDARD IRON BAR
 SSI SHORT STANDARD IRON BAR
 O/N OLD NOTE

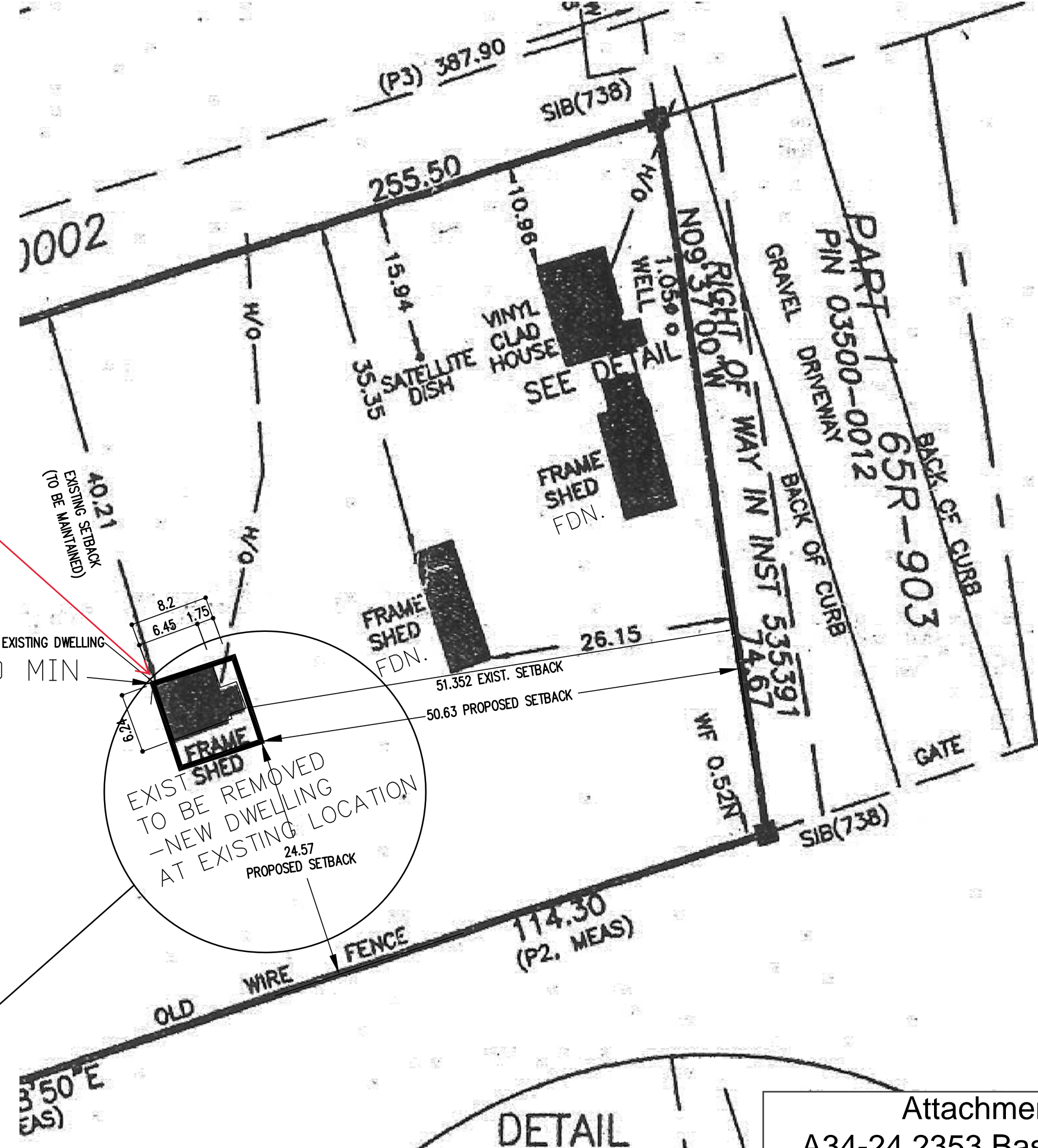
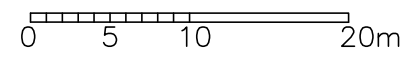
METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART OF LOT 23
 CONCESSION 4
 TOWN OF GEORGINA

Expand Legal Non-Conforming Use: To permit the replacement Legal Non-Conforming second/additional dwelling to expand past the extent of the previous second/additional dwelling, as per the power granted to the Committee of Adjustment as per Section 45.2(a)(i) of the Planning Act.

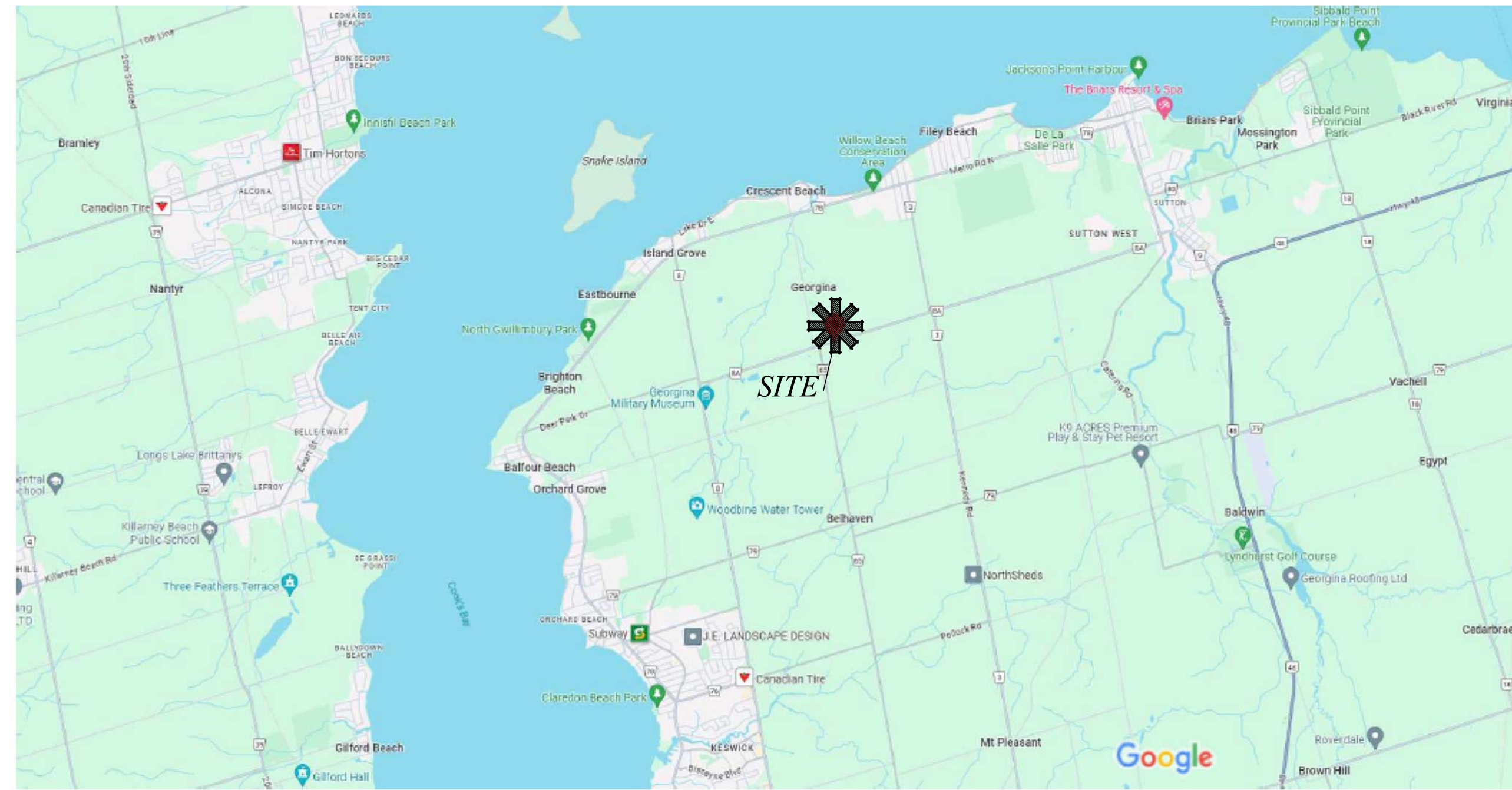
FOR SEPTIC DESIGN SYSTEM CALCS, MODIFICATIONS AND DESIGN REFER TO DRAWING PREPARED BY OTHERS (SEPARATE PERMIT SUBMISSION)

SUBJECT LOT FOR PERMIT APPLICATION

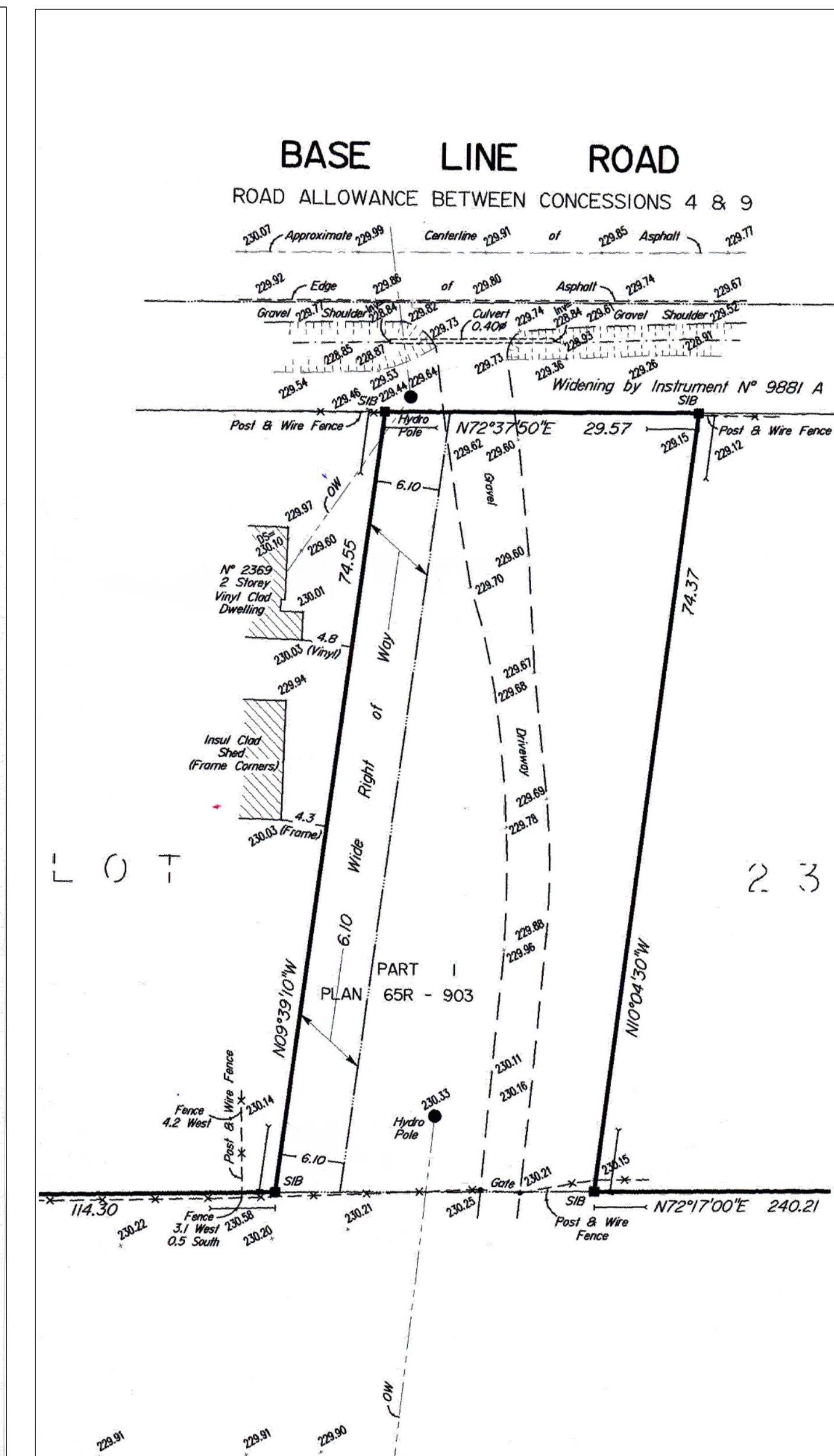
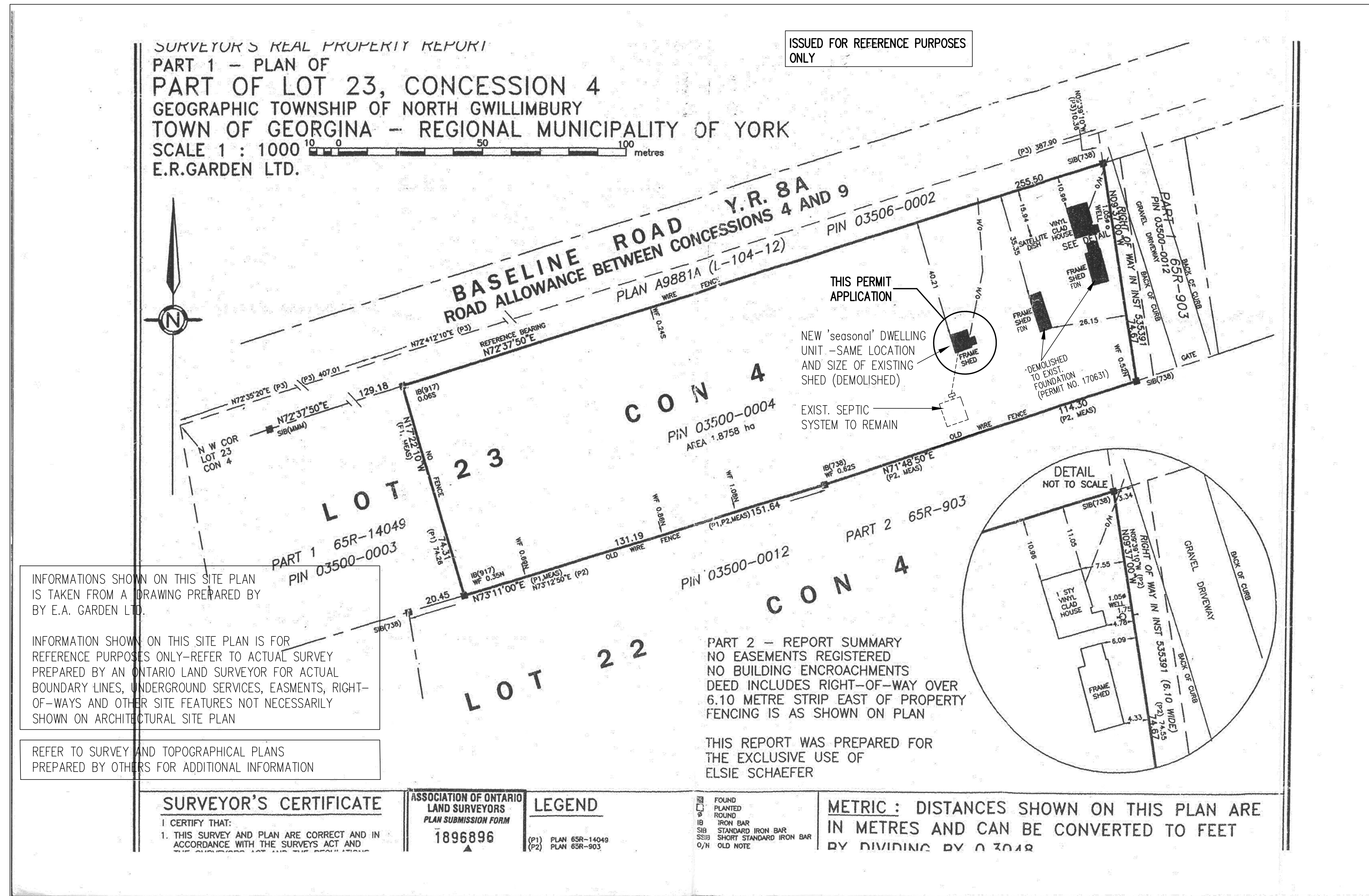


Proposed Additional Dwelling Unit

2353 Baseline Road
Conc. 4, Part of Lot 23
Town of Georgina,
Keswick, Ontario



KEY PLAN
(NOT TO SCALE)



1
AO PARTIAL SITE PLAN INDICATING SITE ACCESS
N.T.S.

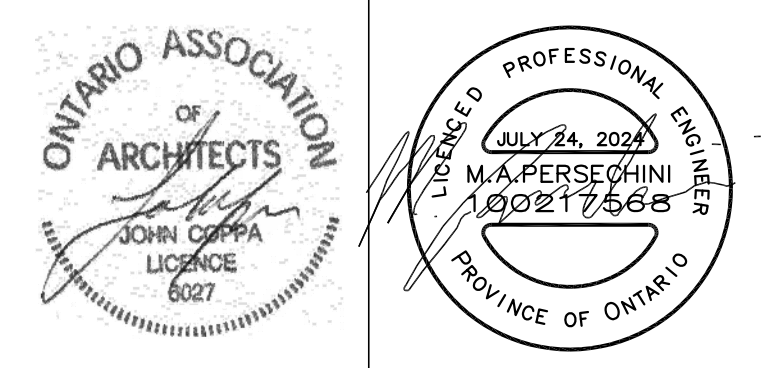
DRAWINGS MUST NOT BE SCALED.
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING.
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
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Attachment 2
A34-24 2353 Baseline Road
Page 3 of 11

360ty
architect inc.

3 Sixty architect inc.
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Richmond Hill, Ontario L4C 0S8
416-587-1073 647-898-3447
3sixty@3sixtyarchitect.ca
@3sixtyarchitect



2353 BASELINE ROAD
Proposed ADDITIONAL
Dwelling Unit

Town of Georgina, Ontario

EXIST. SURVEY, KEY PLAN SITE ACCESS	COMM. NO. 0289
SCALE: AS NOTED DATE: Nov. 2023	DRAWING NO. A0
DRAWN: FM CHECKED: FM	

2
AO EXISTING SURVEY (FOR REFERENCE ONLY)
N.T.S.

MAXIMUM U-VALUES:
WINDOWS & SLIDING GLASS DOORS 1.6 (0.28)
SKYLIGHTS 2.8 (0.49)

R-VALUES:
R-VALUES INDICATE THE MINIMUM NOMINAL R-VALUE FOR THE THERMAL INSULATION COMPONENT ONLY

RSI VALUES ARE MIN AND FOR THERMAL INSULATION COMPONENT ONLY

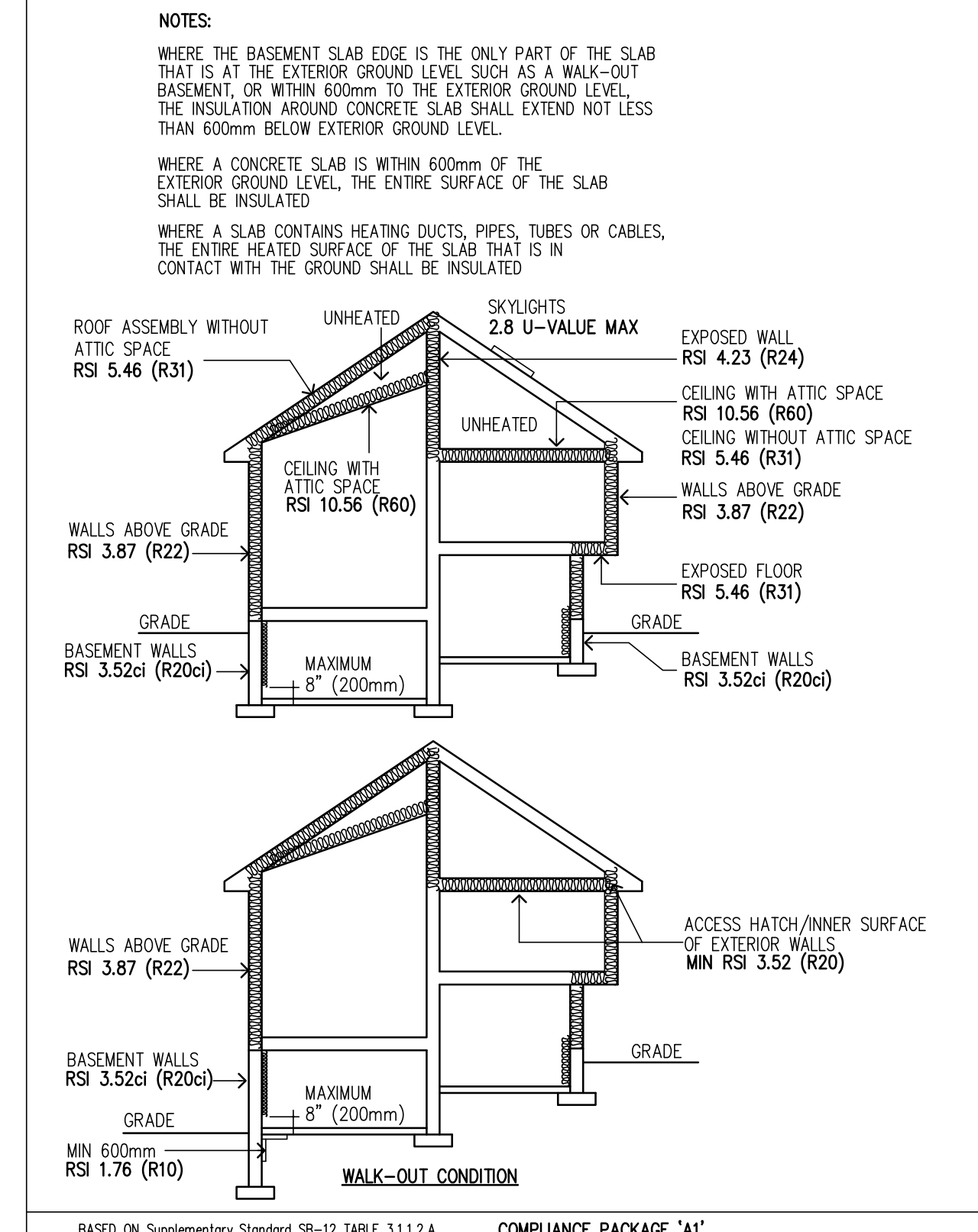
MIN THERMAL RESISTANCE OF DOORS:
RSI 0.7

SLAB VALUES
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE RSI 1.76 (R10)
HEATED SLAB OR SLAB < 600mm BELOW GRADE RSI 1.76 (R10)

NOTES:
WHERE THE BASEMENT SLAB EDGE IS THE ONLY PART OF THE SLAB THAT IS AT THE EXTERIOR GROUND LEVEL SUCH AS A WALK-OUT BASEMENT, OR WITHIN 600mm TO THE EXTERIOR GROUND LEVEL, THE INSULATION AROUND CONCRETE SLAB SHALL EXTEND NOT LESS THAN 600mm BELOW EXTERIOR GROUND LEVEL.

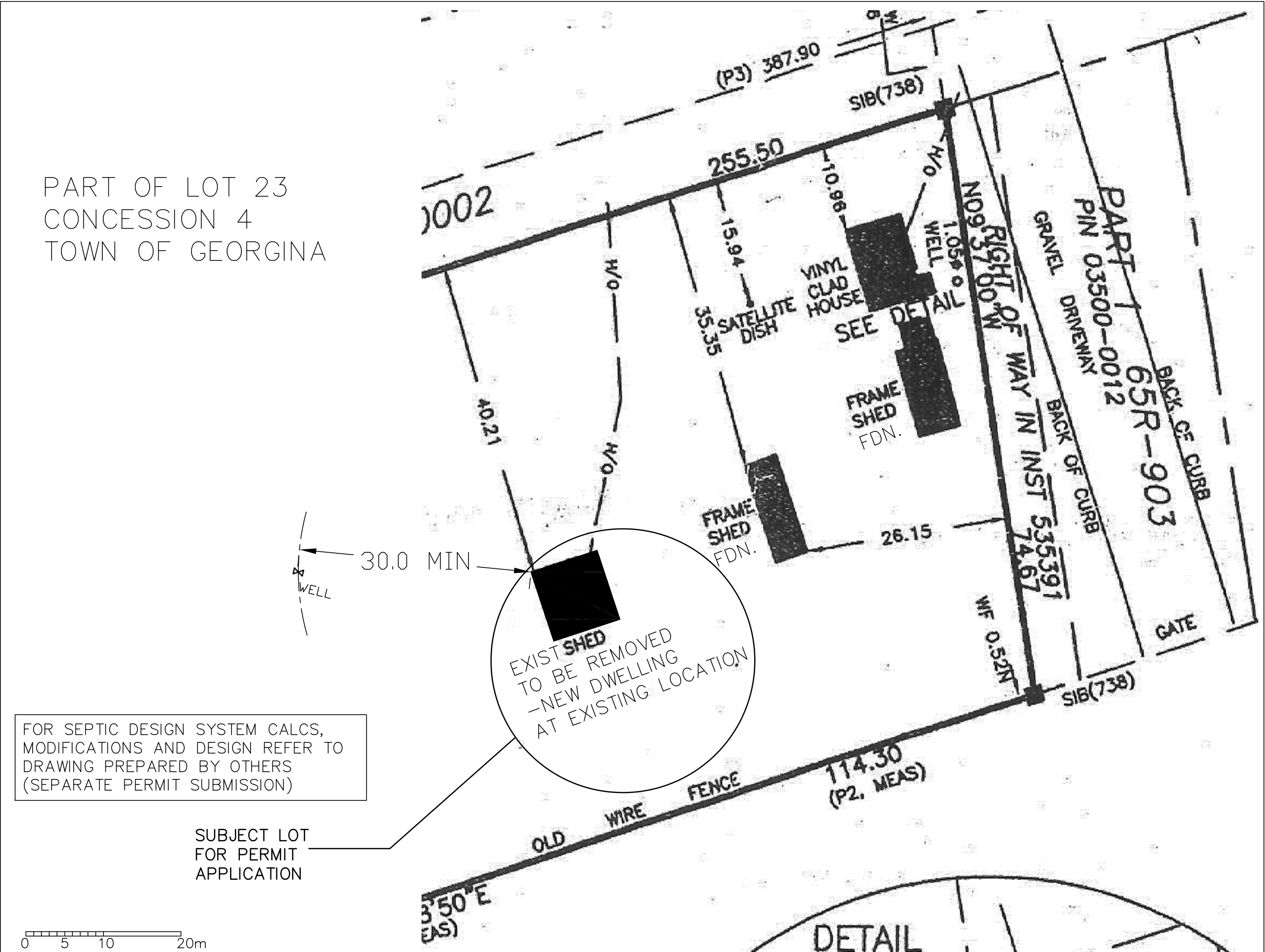
WHERE A CONCRETE SLAB IS WITHIN 600mm OF THE EXTERIOR GROUND LEVEL, THE ENTIRE SURFACE OF THE SLAB SHALL BE INSULATED

WHERE A SLAB CONTAINS HEATING DUCTS, PIPES, TUBES OR CABLES, THE ENTIRE HEATED SURFACE OF THE SLAB THAT IS IN CONTACT WITH THE GROUND SHALL BE INSULATED

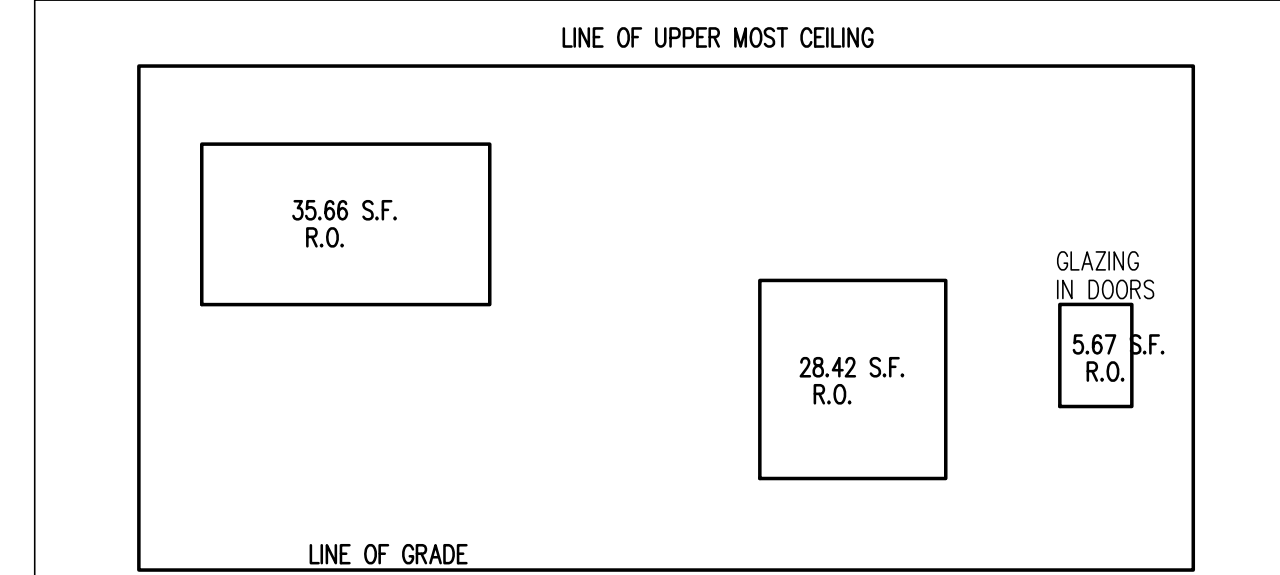


BASED ON Supplementary Standard SB-12 TABLE 3.1.1.2.A COMPLIANCE PACKAGE 'A1'

3 MIN THERMAL RESISTANCE VALUES - ZONE 1 < 5000 D.D. FOR SPACE HEATING EQUIPMENT WITH AFUE > 92% N.T.S.



1 PARTIAL SITE PLAN - DWELLING LOCATION N.T.S.



EAST (FRONT) ELEVATION

GROSS WALL AREA & OPENINGS

AREA OF WINDOWS/GL. IN DOORS = 69.75 sq.ft.

AREA OF WALL = 410.08 S.F.

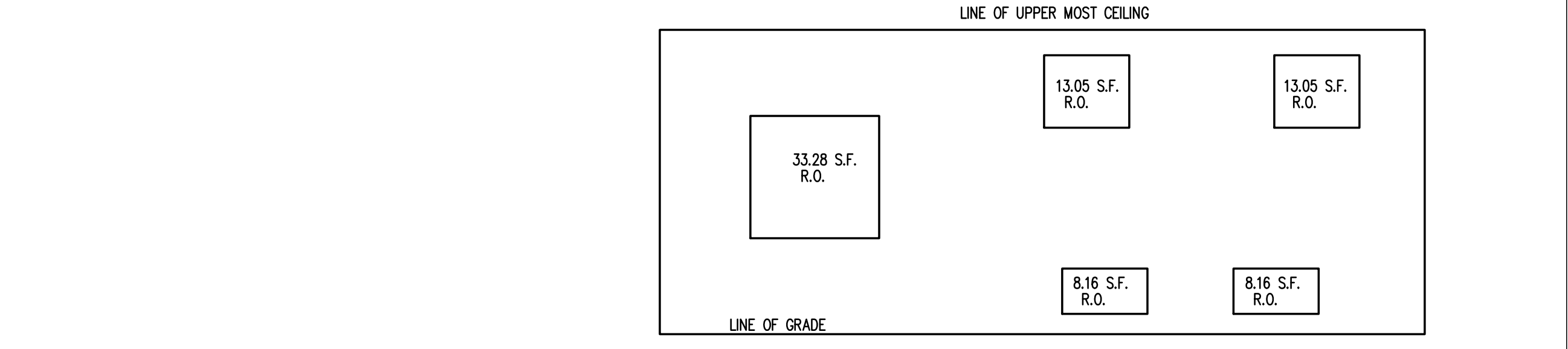


WEST (REAR) ELEVATION

GROSS WALL AREA & OPENINGS

AREA OF WINDOWS/GL. IN DOORS = 63.43 sq.ft.

AREA OF WALL = 405.33 S.F.

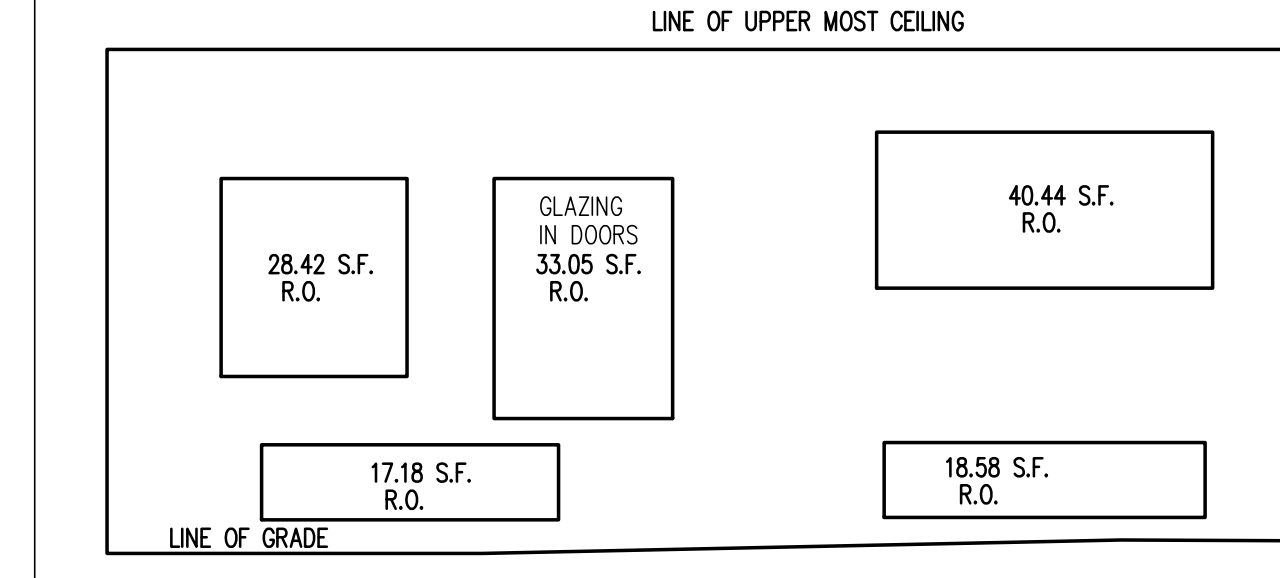


NORTH (SIDE) ELEVATION

GROSS WALL AREA & OPENINGS

AREA OF WINDOWS/GL. IN DOORS = 75.71 sq.ft.

AREA OF WALL = 492.33 S.F.



SOUTH (SIDE) ELEVATION

GROSS WALL AREA & OPENINGS

AREA OF WINDOWS/GL. IN DOORS = 137.68 sq.ft.

AREA OF WALL = 487.18 S.F.

2 DIAGRAMATIC ELEVATION STUDY - GROSS WALL & GLAZED OPENING AREAS 3/16"=1'-0"

Ontario 2006 Building Code Data Matrix Parts 3 or 9		OBC Reference	
PROJECT DESCRIPTION	NEW / ADDITION / ALTERATION / CHANGE OF USE	PART 11 / 11.1 to 11.4	PART 9 / 1.1.2(A) & 9.10.1.3
1 MAJOR OCCUPANCY(S)	Residential Occupancy	3.1.2.1(1)	9.10.2.
3 BUILDING AREA:	EXISTING: NEW: TOTAL: 95.70 m ²	1.4.1.2(A)	1.4.1.2(A)
4 GROSS AREA:	EXISTING: NEW: TOTAL: 95.70 m ²	1.4.1.2(A)	1.4.1.2(A)
5 NO. OF STOREYS:	ABOVE GRADE: 1 BELOW GRADE: 1	3.2.1.1 & 1.4.1.2(A)	9.10.4 & 1.4.1.2(A)
6 Number of Streets/ Fire Fighter Access	1	3.2.2.10 & 3.2.5	9.10.20
7 Building Classification	GROUP C Residential Occupancy	3.2.2.20-83	9.10.2
8 Sprinkler System Proposed	entire building (EXISTING) / selected compartments / selected floor areas / basement only / in lieu of roof rating / not required	3.2.2.20-83 / 3.2.1.5 / 3.2.2.17 / INDEX	9.10.8.2 / INDEX
9 Standpipe required	Yes / No	3.2.9	N/A
10 Fire Alarm required	Yes / No	3.2.4	9.10.18.
11 Water Service/Supply is Adequate	Yes / No	3.2.5.7	N/A
12 High Building	Yes / No	3.2.6	N/A
13 Construction Restrictions	Combustible / Non-combustible / Both permitted / Both required	3.2.2.20-83	9.10.6.
14 Mezzanine(s) Area m ²	NA	3.2.1.1(3)-(8)	9.10.4.1
15 Occupant load based on	m ² /person / Design of building	3.1.1.7.	9.9.1.3.
16 Barrier-free Design	Yes / No (Explain) NR 9.5.2.1(2)	3.8	9.5.2
17 Hazardous Substances	Yes / No	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
18 Required Fire Resistance Rating (FRR)	FRR (Hours) / Listed Design No. or Description (SB-2)	3.2.2.20-83 & 3.2.1.4	9.10.8 / 9.10.9
19 Spatial Separation - Construction of Exterior Walls	Area of EBF (m ²) / L.D. (m) / L/H or H/L / Permitted Max. % of Openings / Proposed Max. % of Openings / FRR (Hours) / Listed Design or Description	3.2.3	9.10.14
20 Other - Describe:			

Energy Efficiency Design Summary Part 9 Residential		OBC Reference
COMPLIANCE OPTION	SB-12 Prescriptive / Performance / Energy Star / EnerGuide 80	Supp. Standard SB-12
1 COMPLIANCE OPTION	SB-12 Prescriptive / Performance / Energy Star / EnerGuide 80	3.1.1.
2 LOCATION	Zone 1 / Zone 2 / 5000 or more heating degree days	3.1.1.1.
3 WINDOWS/SKYLIGHTS/SLIDING GLASS DOORS	Gross Wall Area = 166.75 m ² / Gross Wind+Area(s) = 32.20 m ² / % Window + 19.31 %	3.1.1.1.(7)(8)
4 AREA OF OPENINGS	% more than 17% / more than 17% but not more than 22%	3.1.1.1.(7)(8)
5 OTHER BUILDING CONDITIONS	ICF Basement / ICF Above Grade / Walkout Basement / Slab on Ground / Log/Post & Beam	Table 3.1.1.2.A
6 COMPLIANCE PACKAGE	Table 3.1.1.2.A / Table 3.1.1.3.A / Table 3.1.1.3.B / Table 3.1.1.3.C / Package C1	3.1.1.1.(7)(8)
7 THERMAL INSULATION	Batt Insulation / Blown-in / Spray Applied Foam Insulat'n / A1 To AA6 / BLOWN/SPRAY FOAM INSUL.	3.1.1.2.
8 COMPLIANCE PACKAGE EXCEPTIONS (NONE SELECTED)	RSI = / Windows and sliding glass doors min U-value = / Barnet therm insulat'n min (where CP 'J' used) =	
9 BUILDING SPECIFICATIONS	Insulation / RSI/R Value / MAX U VALUE	

Energy Efficiency Design Summary Part 9 Residential		OBC Reference
COMPLIANCE OPTION	SB-12 Prescriptive / Performance / Energy Star / EnerGuide 80	Supp. Standard SB-12
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7 THERMAL INSULATION	Batt Insulation / Blown-in / Spray Applied Foam Insulat'n / A1 To AA6 / BLOWN/SPRAY FOAM INSUL.	3.1.1.2.
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Attachment 2
A34-24 2353 Baseline Road
Page 4 of 11

360ty architect inc.

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Richmond Hill, Ontario L4C 0S8

416-507-1073 647-698-3447

3sixty@3sixtyarchitect.ca
@3sixtyarchitect

ONTARIO ASSOCIATION OF ARCHITECTS

PROFESSIONAL ENGINEER

REGISTERED JULY 24, 2024

M.A. PERSECHINI 100217568

JOHN CAPPALICCI 100217568

PROVINCE OF ONTARIO

2353 BASELINE ROAD
Proposed ADDITIONAL Dwelling Unit
Town of Georgina, Ontario

CALCS/ DETAILS	COMM. NO.
OBC MATRIX, PARTIAL STE PLAN	0289
SCALE: AS NOTED DATE: Nov 2023 DRAWING NO. A1	

FOUNDATION PLAN NOTES:

- FOUND ALL NEW FOOTINGS ON UNDISTURBED NATURAL SOIL CAPABLE OF SAFELY SUSTAINING 2500 PSF.
- PROVIDE 4'-0" MINIMUM FROST PROTECTION TO ALL FOOTINGS EXPOSED TO FREEZING.
- CONFIRM SOIL CAPACITY AS NOTED AND PROVIDE CONSULTANT SOIL REPORT
- CONCRETE SLABS
 - [SOG1] - 4" MIN. 20 MPa SLAB-ON-GRADE REINF. W/M 6X6, -6/6 ON MIN. 4" GRAVEL ON WELL COMPACTED SUBGRADE SAWCUT @15'-0" o.c. MAX.
 - S1 - EXTERIOR 6" THK SLAB ON GRADE REINF - 10M@16" C/C BEW + DOWELS ALL ARND +10M NOSING BAR AT STAIR (CLASS C-2 CONC.)
- CONCRETE BLOCK WALLS -
 - CW1 - 24" CONCRETE BLOCK WALL (36" TALL X 96" LONG)
 - CW2 - POURED CONCRETE FOUNDATION

GROUND FLR FRAMING PLAN NOTES:

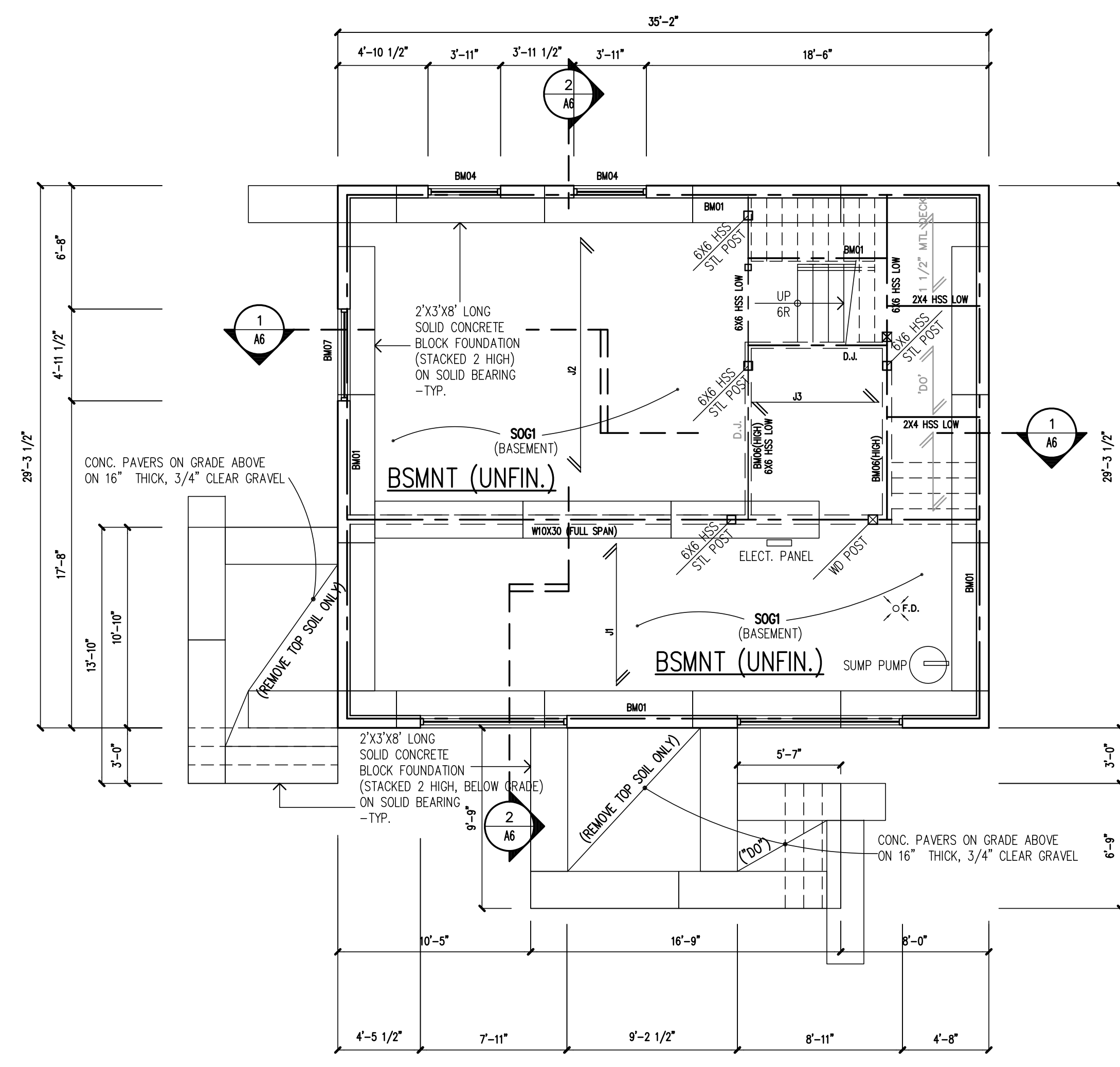
- DESIGN LOADING (unfactored)
 - LL = 40 PSF
 - DL = 12 PSF (20 PSF IN TILED AREAS)
- WOOD DECK - 5/8" T&G PLYWOOD (SPF#2)
- WOOD COLUMNS TO BE 2X4 (SPF NO.2) AND MATCH BEAM PILES (TYPICAL UNO) ALL COLUMNS TO EXTEND TO TOP OF FOUNDATION WALL OR NEW BEAM.
- WALLS:
 - TYPICAL NEW WALL - 2X8@16" WOOD STUD WALL (SPF NO.2)
 - 1-2X6 BOTTOM PLATE + 2-2X6 TOP PLATE + 2X6 SOLID BRIDGING AT 4'-0" O.C. (TYP. UNO)
- WOOD JOISTS:
 - J1 - 2-2"x6" SPR. @16"C.C
 - J2 - 11.875" NI 80 @16"C.C (BY ALPA OR APPROVED EQUAL)
 - J3 - 2"x6" SPR. @16"C.C
- BEAMS:
 - BM01 - W16 X 40 STEEL BEAM C/W 2-1/2" DIA. WEDGE ANCHOURS 6" EMBEDMENT PER CONCRETE FOUNDATION BLOCK
 - BM02 - 5.125"x11.875" GLULAM 24F-E BEAM
 - BM03 - 4-1.75"x9-1/2" LVL (2.0E) +1/2" THRU.BOLTS @12" STAGGERED
 - BM04 - 3-2X10 (SPF#2)
 - BM05 - 2-2X8 (SPF#2)
 - BM06 - 3X8 (SPF#2)
 - BM07 - 2-2X10 (SPF#2)

GENERAL NOTES :

- ALL DESIGN BASED ON THE ONTARIO BUILDING CODE 2012
- MAKE ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
- CONTACT ENGINEER WITH ANY DISCREPANCIES.
- CONCRETE MATERIALS TO CONFORM WITH CSA A23.1 AND A23.2
- REINFORCEMENT REBAR TO BE GRADE 400 MPA AND CONFORM TO G30.12
- ALL CONCRETE ABOVE GRADE TO BE CLASS C-2 UNLESS NOTED OTHERWISE.

Stairs, Landings, Handrails & Guards

A LANDING SHALL BE PROVIDED AT TOP & BOT OF EACH FLIGHT OF INT & EXT STAIRS INCLUDING STAIRS IN GARAGES	MAX. RISE = 200 (7 7/8") MIN. RISE = 125 (4 7/8")
STAIRS LOCATED AT AN ENTRANCE FROM A GARAGE DO NOT REQUIRE A LANDING WHEN THE STAIR DOES NOT CONTAIN MORE THAN 3 RISERS	MAX. RUN = 355 (14") MAX. TREAD DEPTH = 210 (8 1/4") MIN. TREAD DEPTH = 235 (9 1/4")
CLEAR HEIGHT OVER LANDINGS SHALL BE NOT LESS THAN 1950mm (6'-5")	
MIN. CLEAR HEIGHT OVER STAIRS = 1950 (6'-5")	
MEASURED VERTICALLY FROM TOP OF HANDRAIL TO A LINE DRAWN THRU LEAD'G EDGE OF TREADS, HEIGHT OF HANDRAILS ON STAIRS SHALL BE NOT LESS THAN 865 (2'-10") AND NOT MORE THAN 965 (3'-2")	
HAND RAIL REQUIRED ON AT LEAST ONE SIDE OF STAIRS	
HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR AND TERMINATE IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL	
HANDRAIL NOT REQ'D WHEN INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS & EXT STAIRS HAVE NOT MORE THAN 3 RISERS	
AT LEAST ONE STAIR BTWN EACH FLOOR LEVEL, SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10"	
RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJ TREADS OR LANDINGS, AND 10mm BETWEEN THE TALLEST AND SHORTEST RISERS IN THE FLIGHT	
TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJACENT TREADS, AND 5mm BETWEEN ADJ TREADS OR LANDINGS, AND 10mm BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN THE FLIGHT	
	MAX. ANGLE = 90° MAX. TREAD ANGLE = 45° MIN. TREAD ANGLE = 30°
	DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN ITS RUN PLUS 25mm (1")
	LEADING EDGE OF TREADS SHALL NOT REDUCE THE TREAD DEPTH BY MORE THAN 15mm AND NOT EXCEED 25mm HORIZONTALLY
	GUARDS REQUIRED WHEN THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 600mm (1'-11 1/2") OR ADJ SURFACE WITHIN 1.2M HAS A SLOPE OF MORE THAN 1:2
	GUARDS (MIN HT) = 900 (2'-11") (stairs/landings and when guard is not more than 1800 (5'-11") above fin ground)
	MAX HANDRAIL HT WHEN GUARD REQ'D @ LANDINGS = 1070 (3'-6")



**BASEMENT FLOOR PLAN
FOUNDATION & GROUND FL. FRAMING PLAN**

1. SEE NOTES

EXCAVATION NOTES: Excavation for the proposed work should not undermine the foundations of adjoining buildings, or cause damage to utilities, roads and sidewalks.
O.B.C.s 2.3.1.1.(5) and o. 9.12.1.4.

NOTE: PROVIDE SLEEVES AS REQUIRED FOR WEEPING TILE. RUN ALONG FOUNDATION WALL AND CONNECT TO SUMP AS REQUIRED

Dimensions
NOTE: ALL EXTERIOR WALL DIMENSIONS INDICATED ARE TO FACE OF EXTERIOR FINISH FACING

Steel Column/Beam Note
NOTE: STEEL MANUFACTURER IS RESPONSIBLE TO SITE VERIFY ALL EXISTING DIMENSIONS BEFORE FABRICATION BEGINS

Stud Posts Built into Walls
THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 DIV B THE WIDTH OF THE STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS

Air Barrier System
THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT AND PENETRATIONS
SUMP PIT COVERS SHALL BE SEALED TO MAINTAIN CONTINUITY OF THE AIR BARRIER SYSTEM

Size and Spacing of Studs
REFER TO DETAIL 'SIZE AND SPACING OF STUDS' ON SHEET A10

Subfloor Note
SUBFLOOR TO BE MIN 3/4" PLYWOOD-TYP GLUED AND NAILED

FOOTING NOTE:
CONTRACTOR TO SITE VERIFY EXISTING SOIL BEARING CAPACITY AND REPORT FINDINGS TO THE ENGINEER.

MIN. SOIL BEARING CAPACITY AS PER NOTES

NOTE: ALL EXTERIOR CONCRETE TO BE TYPE C-2 CONC.

Typical Floor Plan Notes
IT IS THE RESPONSIBILITY OF THE BUILDER TO COORD. CHECK AND VERIFY ALL STRUCTURE (IE. FLOOR JOIST ENGINEERING, ROOF ENGINEERING AND OTHER STRUCTURAL ITEMS INDICATED). ANY REVISIONS TO DRAWINGS SUBMITTED AS PART OF A BUILDING PERMIT APPLICATION AND THAT FORMED THE BASIS FOR THE ISSUANCE OF THE PERMIT MUST BE REPORTED PRIOR TO COMMENCEMENT OF ANY WORK

Attachment 2
A34-24 2353 Baseline Road
Page 6 of 11

DRAWINGS MUST NOT BE SCALED.
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK
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ALL DRAWINGS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF 3 SIXTY ARCHITECT INC. AND MUST BE RETURNED UPON REQUEST

No.	DATE:	REVISION
1	Nov 16/2023	ISSUED TO OWNER
2	Apr 9/2024	ISSUED TO OWNER FOR PERMIT SUBMISSION
3	July 24/2024	Revised & Reissued For Permit Submission

Lintel Schedule

NO.	DESCRIPTION
L1	2 - 2" x 8" SPR.
L2	3 - 2" x 8" SPR.
L3	2 - 2" x 10" SPR.
L4	3 - 2" x 10" SPR.
L5	2 - 2" x 12" SPR.
L6	3 - 2" x 12" SPR.

Exterior Loose Steel

NO.	Vert x Horiz x Thick	mm	BRICK (3 1/2 in)	Stone (4 in)
L7	3 1/2"x3 1/2"x1/4"	(89x76x6.4)	8'-1"	7'-9"
L8	4"x3 1/2"x1/4"	(102x89x6.4)	8'-9"	8'-2"
L9	5"x3 1/2"x5/16"	(127x89x7.9)	10'-10"	10'-1"
L10	5"x3 1/2"x7/16"	(127x89x11)	11'-5"	10'-8"
L11	5"x3 1/2"x1/2"	(127x89x13)	11'-9"	10'-11"
L12	6"x3 1/2"x7/16"	(152x89x11)	12'-7"	11'-8"
L13	6"x3 1/2"x1/2"	(152x89x13)	13'-5"	12'-5"
L14	6"x4"x1/2"	(152x102x13)	13'-6"	12'-7"
L15	8"x4"x7/16"	(178x102x11)	14'-1"	13'-1"

Copied from Table 9.20.5.2.B. Forming part of sentence 9.20.5.2.(3)

DOOR SCHEDULE (MIN. SIZES U/N OTHERWISE) PER O.B.C. DIV B PART 9 SECT. 9.6

ENTRY DOORS	2'-6" x 6'-0" (INSULATED)
EXT. SLAB DR.	2'-8" x 6'-10" (INSULATED)
GARAGE SLAB DR.	2'-8" x 6'-10" (INSULATED)
COLD STGE. DR.	2'-8" x 6'-10" (INSULATED)
EXT. SLOPING DR.	2'-8" x 6'-10" (INSULATED)
CLOSET DR.	2'-2"-0"x6'-10" SEE PLANS
LINEN CLOSET	1'-6" x 6'-10"
BATH POWDER DR.	2'-6" x 6'-10"
LAUNDRY RM. DR.	2'-8" x 6'-10"
BEDROOM DR.	2'-8" x 6'-10"

NOTE: SIZES ABOVE ARE MIN OBC SIZES WITH ONLY - COORDINATE WITH OWNER AND DOOR MANUF. ACTUAL CUSTOM DOOR, MATERIALS AND COLOURS-HI INDICATED EXCEEDS MIN REQ'MS ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. 9.6.8 AND 9.7.6 (RESISTANCE TO FORCED ENTRY)
ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.07 WHERE A STORM DOOR IS NOT PROVIDED EXCEPT FOR DOORS IN ENCLOSED UNHEATED VESTIBULES AND COLD CELLARS, AND EXCEPT FOR GLAZED PORTIONS OF DOORS.
WINDOWS, SPLITLIGHTS AND SLOPED GLASS DOORS SHALL MEET THE REQUIRED OVERALL COEFFICIENT OF HEAT TRANSFER INDICATED IN O.B.C. MATRIX

LEGEND:

CF.	= CONVENTIONAL ROOF FRAMING 2"x6" RAFTERS @ 16"C.C 2"x4" COLLAR TIES AT MIDSPANS COLLING JOISTS TO BE: 2"x4" @ 16"C.C FOR MAX. 9'-3" SPAN 2"x6" @ 16"C.C FOR MAX. 14'-0" SPAN RAFTERS OVER BRUSSES TO BE 2"x4" @ 16"C.C WITH A 2"x4" CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED AT 6'-0" VERTICALLY
G.T.	= GIRDER TRUSS-SEE ENGINEERED ROOF TRUSS DIMS
D.I.	= DOUBLE JOIST
T.I.	= TRIPLE JOIST
SB	= SOLID WOOD BEARING - THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 SEE STRUCT DIMS FOR PART 4 COMPLIANCE
LB	= LOAD BEARING
MB	= WALL ABOVE

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PROFESSIONAL ENGINEER
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PROVINCE OF ONTARIO

2353 BASELINE ROAD
Proposed ADDITIONAL
Dwelling Unit
Town of Georgina, Ontario

PROPOSED BASEMENT PLAN	COMM. NO.
	0289
SCALE: 3/16"=1'-0"	DATE: Nov 2023
DRAWN: FM	CHECKED: FM
	DRAWING NO. A3

ROOF FRAMING PLAN NOTES:

- 1. DESIGN LOADING (unfactored) ROOF (NORTH YORK) : SNOW=23PSF, DEAD=12PSF
2. WOOD DECK -5/8" T&G PLYWOOD (SPF#2-EXTERIOR GRADE)
3. WOOD COLUMNS TO BE 2X4 (SPF NO.2) AND MATCH BEAM PILES (TYPICAL UNO) ALL COLUMNS TO EXTEND TO TOP OF FOUNDATION WALL OR NEW BEAM.
4. WALLS: - TYPICAL NEW WALL - 2X6@16" WOOD STUD WALL (SPF NO.2) + 1-2X6 BOTTOM PLATE + 2-2X8 TOP PLATE + 2X6 SOLID BRIDGING AT 4'-0" O.C. (TYP.UNO)
5. WOOD JOISTS: - J1 - 2"X10" SPR. @16"C.C - J2 - 11.875" N/B @16"C.C (BY ALPA OR APPROVED EQUAL)
6. BEAMS: - BM01 - W16 X 40 STEEL BEAM - BM02 - 5.125"X11.875" GLULAM 24F-E BEAM - BM03 - 4-1.75"X9-1/2" LVL (2.0E) +1/2" THRU.BOLTS @12" STAGGERED - BM04 - 3-2X10 (SPF#2) - BM05 - 2-2X8 (SPF#2) - BM06 - 2-2X10 (SPF#2)

GENERAL NOTES :

- 1. ALL DESIGN BASED ON THE ONTARIO BUILDING CODE 2012
2. MAKE ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
3. CONTACT ENGINEER WITH ANY DISCREPANCIES.
4. CONCRETE MATERIALS TO CONFORM WITH CSA A23.1 AND A23.3
5. REINFORCEMENT REBAR TO BE GRADE 400 MPA AND CONFORM TO G30.12
6. ALL CONCRETE ABOVE GRADE TO BE CLASS C-2 UNLESS NOTED OTHERWISE.

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened, tied, braced and anchored to provide the necessary strength, rigidity and stability. O.B.C. 9.23.2.1.

SUPPORT-POST

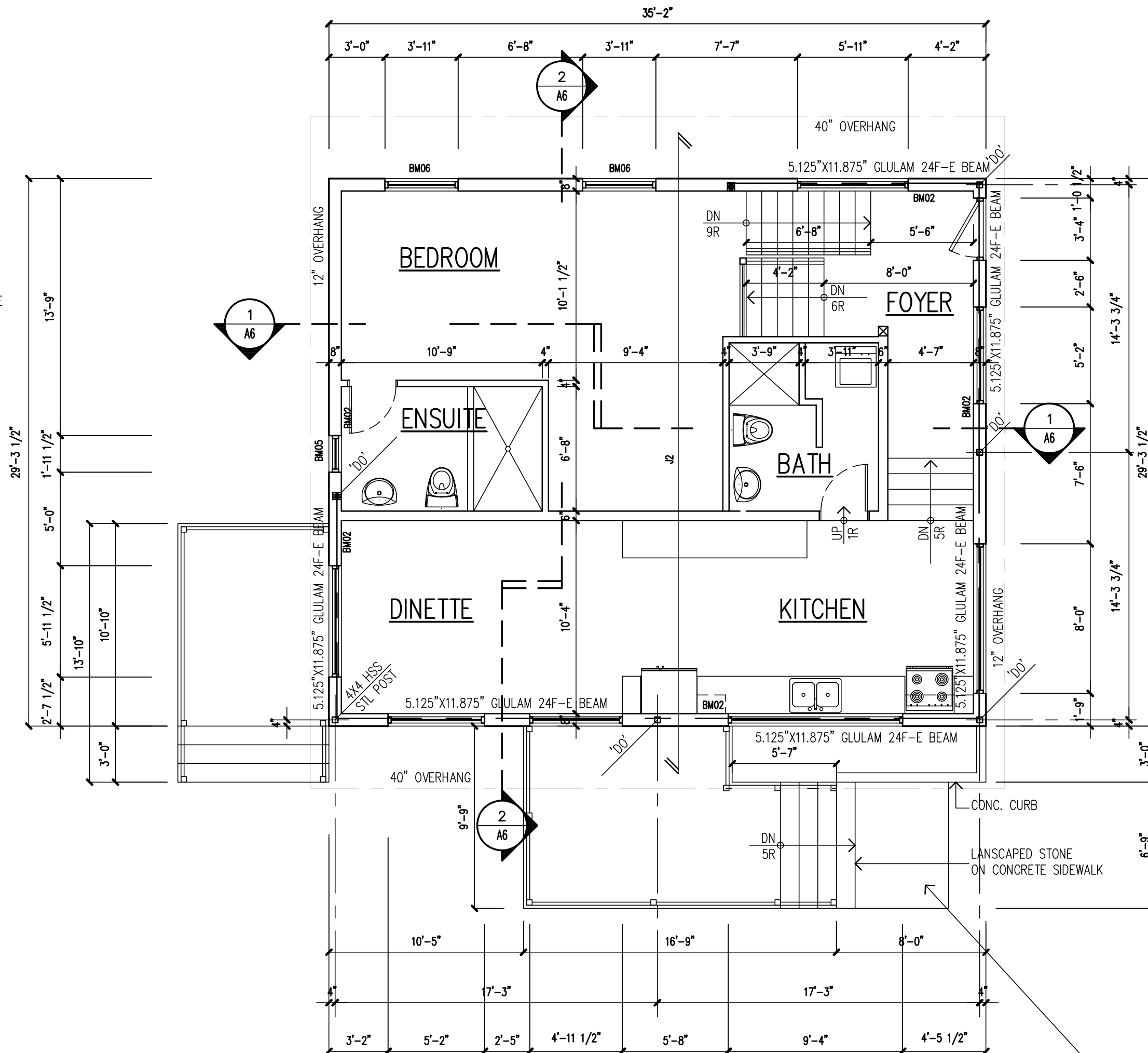
Provide posts under all beams/girders, trusses, etc. Posts are to run continuous to the foundation or equivalent support. O.B.C. 9.20.8.3., 9.23.8.1., and 9.23.10.7. (TYP.)

SUPPORT - LOADS

All loads must be supported and transferred to foundation or adequate support. O.B.C. 9.23.4.2., 9.17.9.15., 9.20.8.3., 9.23.8.1., 9.23.10.7. and 9.23.9.8.

Typical Floor Plan Notes

NOTE: IT IS THE RESPONSIBILITY OF THE BUILDER TO COORD., CHECK AND VERIFY ALL STRUCTURE (IE. FLOOR JOIST ENGINEERING, ROOF ENGINEERING AND OTHER STRUCTURAL ITEMS INDICATED). ANY REVISIONS TO DRAWINGS SUBMITTED AS PART OF A BUILDING PERMIT APPLICATION AND THAT FORMED THE BASIS FOR THE ISSUANCE OF THE PERMIT MUST BE REPORTED PRIOR TO COMMENCEMENT OF ANY WORK



GROUND FLOOR PLAN

ROOF FRAMING PLAN

1. SEE NOTES

Dimensions

NOTE: ALL EXTERIOR WALL DIMENSIONS INDICATED ARE TO FACE OF EXTERIOR FINISH FACING

Steel Column/Beam Note

NOTE: STEEL MANUFACTURER IS RESPONSIBLE TO SITE VERIFY ALL EXISTING DIMENSIONS BEFORE FABRICATION BEGINS

STEEL MANUFACTURER TO VERIFY WITH AUTHORITIES HAVING JURISDICTION IF ENGINEERED SHOP DRAWINGS ARE REQUIRED AND IF SO PROVIDE THEM IN YOUR OVERALL FEE

Stud Posts Built into Walls

THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 DIV B THE WIDTH OF THE STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS

Air Barrier System

THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT CAULK AT ALL JOINTS, INTERSECTIONS AND PENETRATIONS

SUMP PIT COVERS SHALL BE SEALED TO MAINTAIN CONTINUITY OF THE AIR BARRIER SYSTEM

Size and Spacing of Studs

REFER TO DETAIL 'SIZE AND SPACING OF STUDS' ON SHEET A10

Subfloor Note

SUBFLOOR TO BE MIN 3/4" PLYWOOD-TYP GLUED AND NAILED

Stud Wall Reinforcement

REFER TO DETAIL ON SHEET A1 FOR STUD WALL REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION

NOTE: ALL EXTERIOR CONCRETE TO BE TYPE C-2 CONC.

P. CONC. SIDEWALK SLAB (PROVIDE MIN. 5" SLAB ON 12" THICK CLEAR GRANULAR GRAVEL)

Bottom Wall Plates (as per 9.23.11.2.)

(1) A bottom wall plate shall be provided in all cases.(2) The bottom plate in exterior walls shall not project more than one-third the plate width over the support.

Stairs, Landings, Handrails & Guards

A LANDING SHALL BE PROVIDED AT TOP & BOTTOM OF EACH FLIGHT OF INT & EXT STAIRS INCLUDING STAIRS IN GARAGES

STAIRS LOCATED AT AN ENTRANCE FROM A GARAGE DO NOT REQUIRE A LANDING WHEN THE STAIR DOES NOT CONTAIN MORE THAN 3 RISERS

CLEAR HEIGHT OVER LANDINGS SHALL BE NOT LESS THAN 1950mm (6'-5")

MIN. CLEAR HEIGHT OVER STAIRS = 1950 (6'-5") MEASURED VERTICALLY FROM TOP OF HANDRAIL TO A LINE DRAWN THRU LEAD'G EDGE OF TREADS. HEIGHT OF HANDRAILS ON STAIRS SHALL BE NOT LESS THAN 865 (2'-10") AND NOT MORE THAN 965 (3'-2")

HAND RAIL REQUIRED ON AT LEAST ONE SIDE OF STAIRS

HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR AND TERMINATE IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL

HANDRAIL NOT REQ'D WHEN INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS & EXT STAIRS HAVE NOT MORE THAN 3 RISERS

AT LEAST ONE STAIR BTWN EACH FLOOR LEVEL, SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10"

RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJ TREADS OR LANDINGS, AND 10mm BETWEEN THE TALLEST AND SHORTEST RISERS IN THE FLIGHT

TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJACENT TREADS, AND 5mm BETWEEN ADJ TREADS OR LANDINGS, AND 10mm BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN THE FLIGHT

MAX. RISE = 200 (7 7/8")

MIN. RISE = 125 (4 7/8")

MAX. RUN = 355 (14")

MIN. RUN = 210 (8 1/4")

MAX. TREAD DEPTH = 355 (14")

MIN. TREAD DEPTH = 235 (9 1/4")

CURVED STAIR

MIN. CLEAR HEIGHT OVER STAIRS = 1950 (6'-5")

MIN. AVE. RUN = 200 (7 7/8")

WINDERS

MAX. ANGLE 90°

MAX. TREAD ANGLE 45°

MIN. TREAD ANGLE 30°

DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN ITS RUN PLUS 25mm (1")

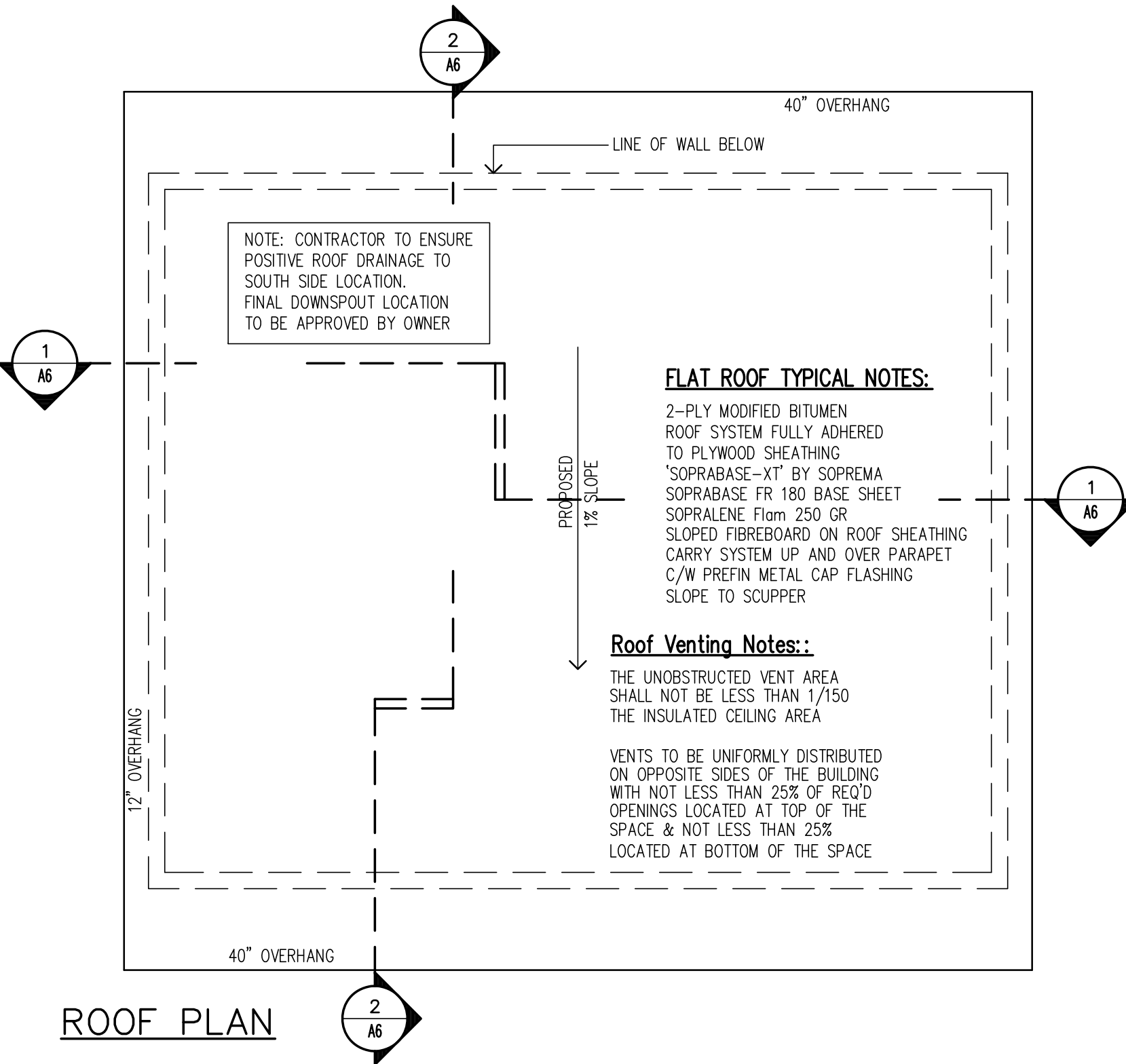
LEADING EDGE OF TREADS SHALL NOT REDUCE THE TREAD DEPTH BY MORE THAN 15mm AND NOT EXCEED 25mm HORIZONTALLY

GUARDS

REQUIRED WHEN THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 600mm (1'-11 1/2") OR ADJ SURFACE WITHIN 1.2M HAS A SLOPE OF MORE THAN 1:2

GUARDS (MIN HT) = 900 (2'-11") (stairs/landings and when guard is not more than 1800 (5'-11") above fin ground)

MAX HANDRAIL HT WHEN GUARD REQ'D @ LAND'GS = 1070 (3'-6")



ROOF PLAN

DRAWINGS MUST NOT BE SCALED.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK

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Table with 3 columns: No., DATE, REVISION. Contains revision history for the drawing.

Lintel Schedule

Table with 2 columns: NO., DESCRIPTION. Lists various wood lintel specifications.

Exterior Loose Steel

Table with 5 columns: NO., Vert x Horiz x Thick, mm, BRICK, Stone. Lists exterior loose steel specifications.

Copied from Table 9.20.5.2.B. Forming part of sentence 9.20.5.2.(3)

DOOR SCHEDULE

Table with 2 columns: ENTRY DOORS, EXT. SLAB DR., GARAGE SLAB DR., COLD STGE DR., EXT. SLOPING DR., CLOSET DR., LINEN CLOSET, BATH/POWDR DR., LAUNDRY RM DR., BEDROOM DR. Lists door specifications.

NOTE: SIZES ABOVE ARE MIN OBC SIZES WITH ONLY - COORDINATE WITH OWNER AND DOOR MANUF. ACTUAL CUSTOM DOOR, MATERIALS AND COLOURS-HI INDICATED EXCEEDS MIN REQS

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. 9.8.8 AND 9.7.6 (RESISTANCE TO FORCED ENTRY)

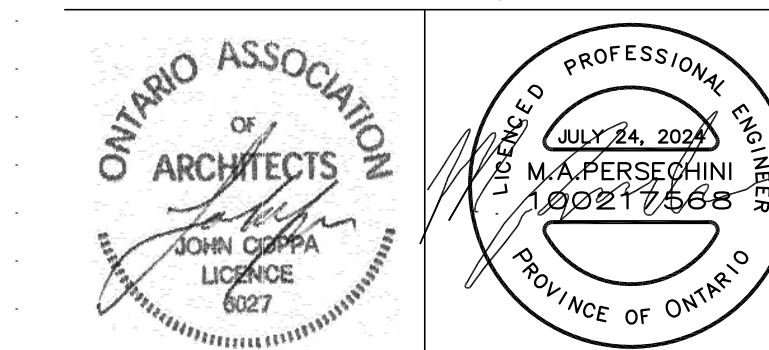
ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.171 (WHERE A STORM DOOR IS NOT PROVIDED EXCEPT FOR DOORS IN ENCLOSED UNHEATED VESTIBLES AND COLD CELLARS, AND EXCEPT FOR GLAZED PORTIONS OF DOORS)

WINDOWS, SLOUGHTS AND SLIDING GLASS DOORS SHALL MEET THE REQUIRED OVERALL COEFFICIENT OF HEAT TRANSFER INDICATED IN O.B.C. TABLE

- LEGEND:
CF. = CONVENTIONAL ROOF FRAMING
2"x4" RAFTERS @ 16"C.C
2"x4" COLLAR TRS AT MIDSPANS
COLLAR JOISTS TO BE
2"x4" @ 16"C.C. FOR MAX. 9'-3" SPAN
2"x4" @ 12"C.C. FOR MAX. 14'-0" SPAN
RAFTERS OVER TRUSSES TO BE 2"x4" @ 16"C.C. WITH A 2"x4" CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED AT 6'-0" VERTICALLY
G.T. = GIRDER TRUSS-SEE ENGINEERED ROOF TRUSS DWGS
D.I. = DOUBLE JOIST
T.I. = TRIPLE JOIST
S.B. = SOLD WOOD BEARING - THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 DIV B SEE STRUCT DWGS FOR PART 4 COMPLIANCE
NOTE: THE WIDTH OF STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS
L.B. = LOAD BEARING
W.A. = WALL ABOVE

36sixty architect inc. 175 Slave Crescent Richmond Hill, Ontario L4C 0S8 416-507-1073 647-698-3447

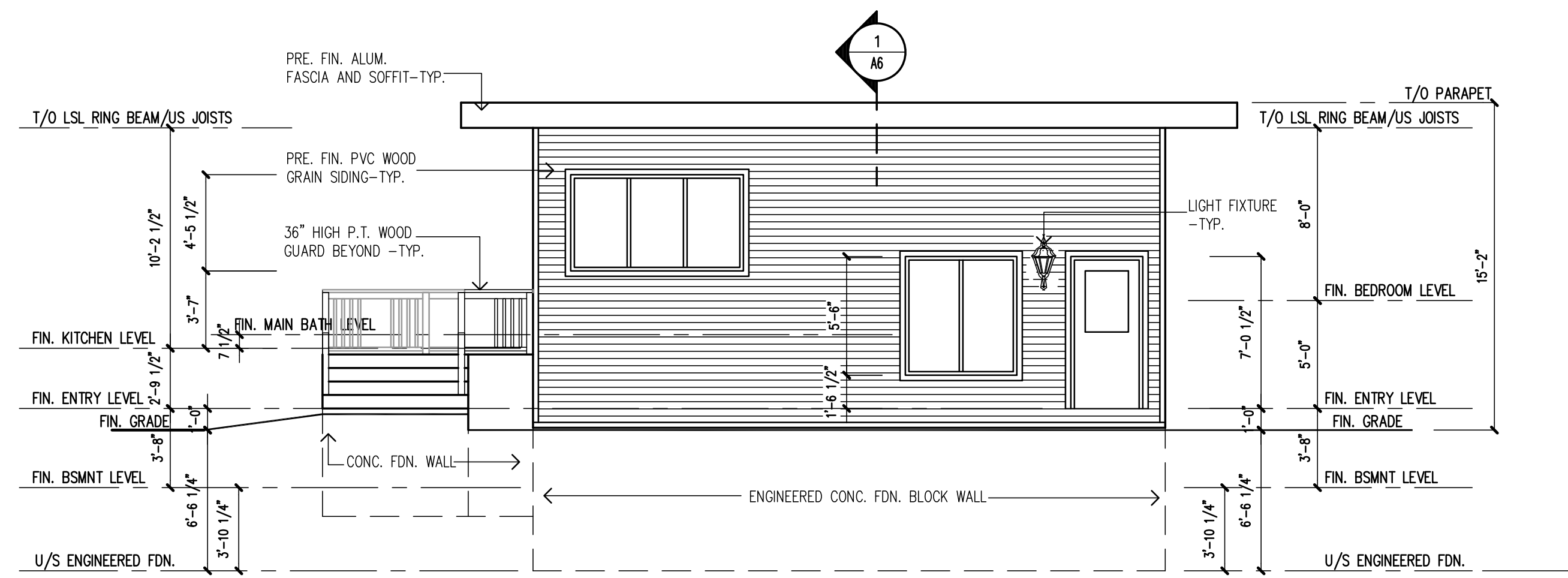
3sixty@3sixtyarchitect.ca @3sixtyarchitect



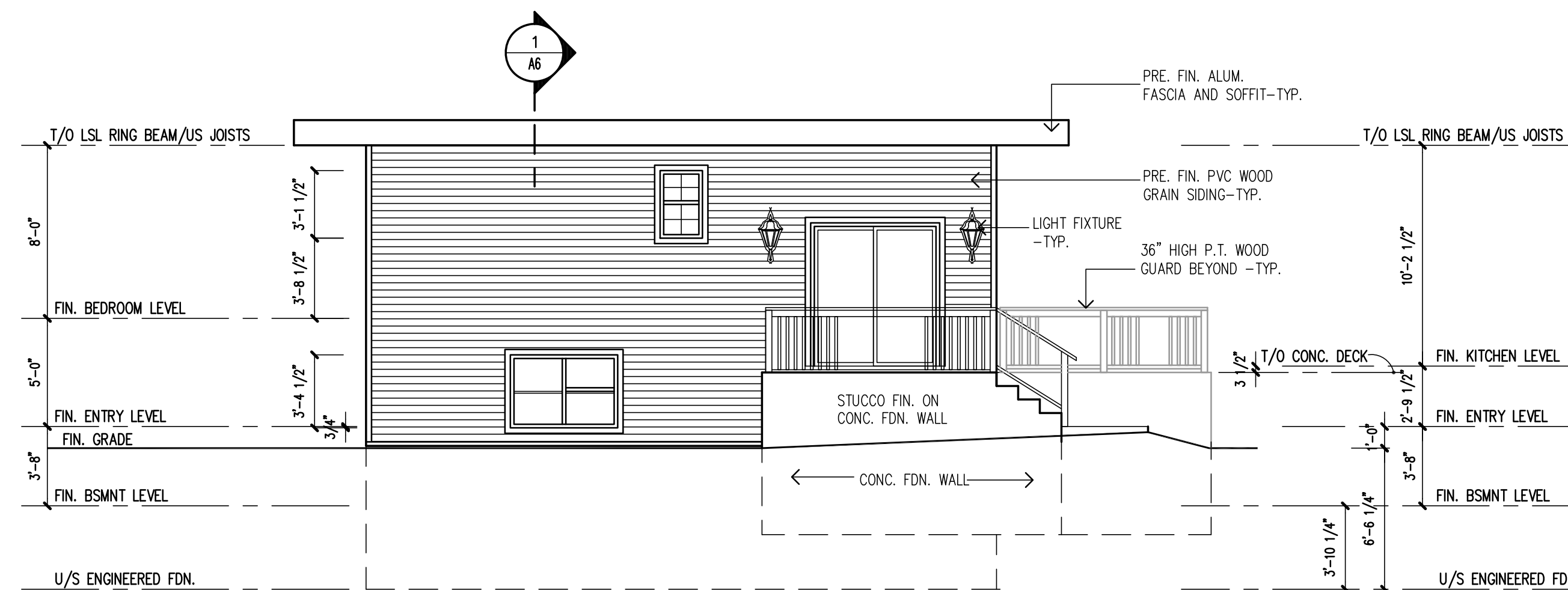
2353 BASELINE ROAD Proposed ADDITIONAL Dwelling Unit Town of Georgina, Ontario

Table with 4 columns: PROPOSED GROUND FL PLAN, COMM. NO., SCALE, DATE, DRAWN, CHECKED, DRAWING NO. Contains project and drawing information.

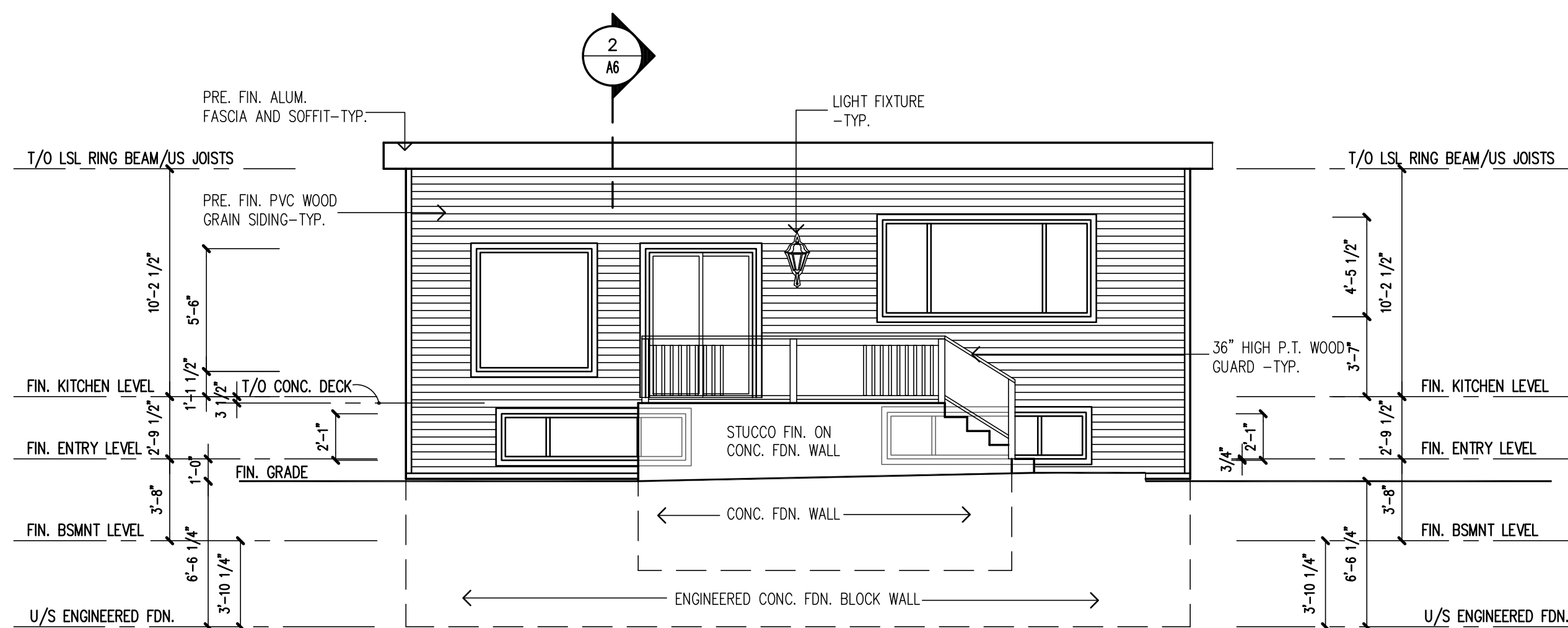
Attachment 2 A34-24 2353 Baseline Road Page 7 of 11



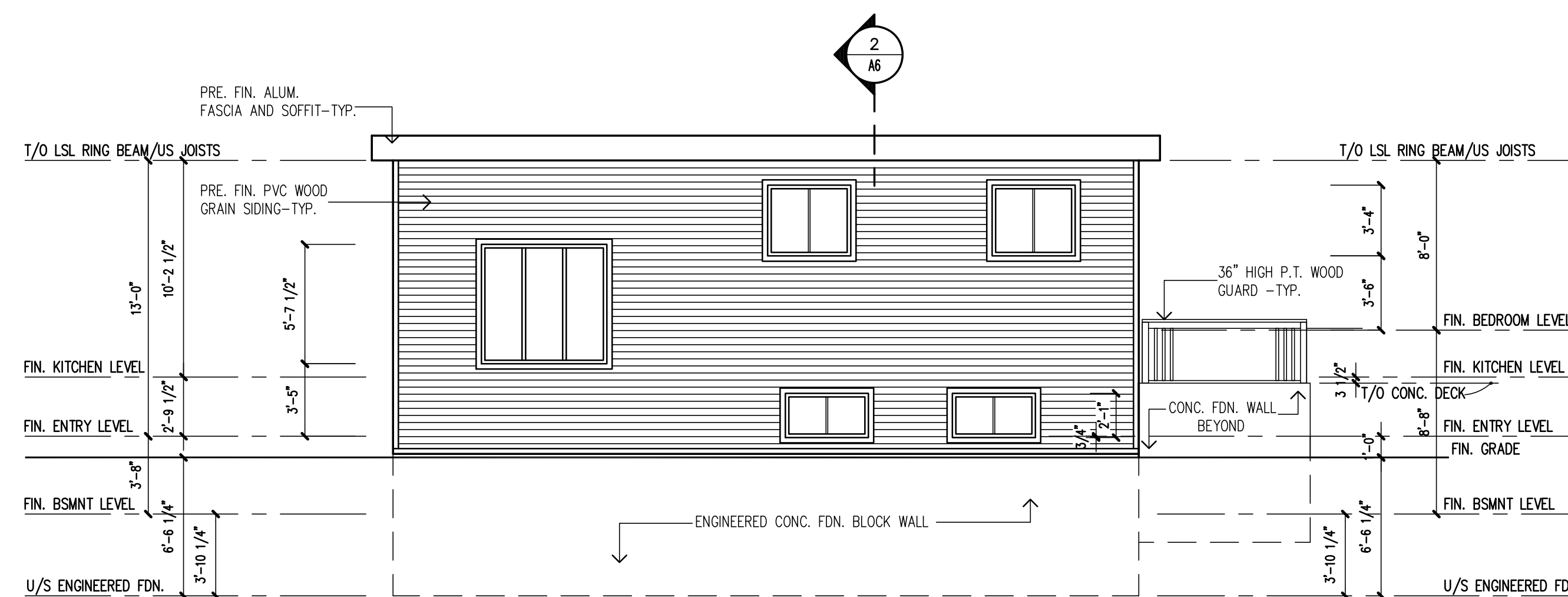
EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION



SOUTH (SIDE) ELEVATION



NORTH (SIDE) ELEVATION

TYPICAL ELEVATION NOTES:

ALL GUTTERS, RAINWATER LEADERS SOFFITS AND FASCIAS TO BE PRE-FINISHED ALUM. AS SELECTED BY OWNER -U.N.O.

SHINGLES TO BE MIN. 210# ASPHALT STYLE BY OWNER

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES, WHEN IN SIDING FIELD TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES, WHEN IN STUCCO FIELD TO BE EIFS (STUCCO)

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES, WHEN IN STUCCO FIELD TO BE EIFS (STUCCO)

ALL MOULDINGS, TRIMS AND PRECAST CONC PROFILES AS PER OWNER SELECTION

EXTERIOR SOFFIT MOULDING TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL COUNTERFLASHING TO BE PREFIN METAL-COLOUR BY OWNER

HORIZONTAL BAND AT WINDOW SILL HEIGHT TO BE PRECAST CONC. -PROFILE BY OWNER

ALL EXTERIOR AND INTERIOR CORNERS TO RECEIVE PREFIN. TRIM MATERIAL (AZEK)



NOTE:
LOCATION OF THROUGH WALL FLASHING TO CONFORM TO O.B.C. SECTION 9.20.13.3

EXTERIOR GUARD NOTES
GUARDS SHALL BE DESIGN TO RESIST MINIMUM SPECIFIED LOADS PRESCRIBED IN TABLE 9.8.8.2. OF THE O.B.C.
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COORDINATE ON SITE WITH OWNERS/SURVEYORS TO ESTABLISH ACTUAL NUMBER OF STEPS AND FINISHED FLOOR ELEVATIONS -REPORT DISCREPANCIES TO 3 SIXTY ARCHITECT INC. PRIOR TO PROCEEDING

Attachment 2
A34-24 2353 Baseline Road
Page 8 of 11

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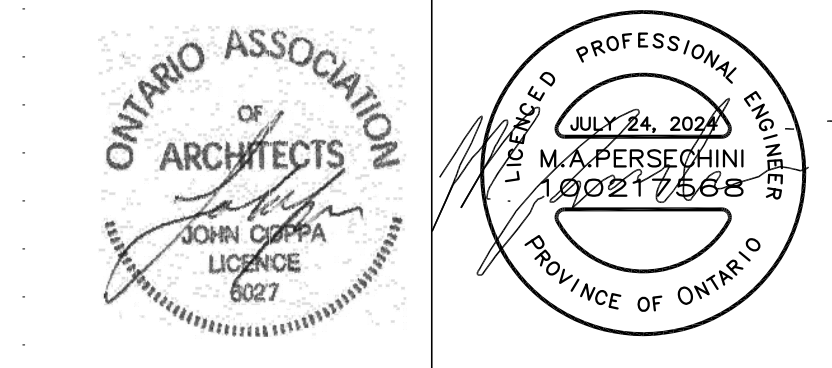
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3sixty@3sixtyarchitect.ca
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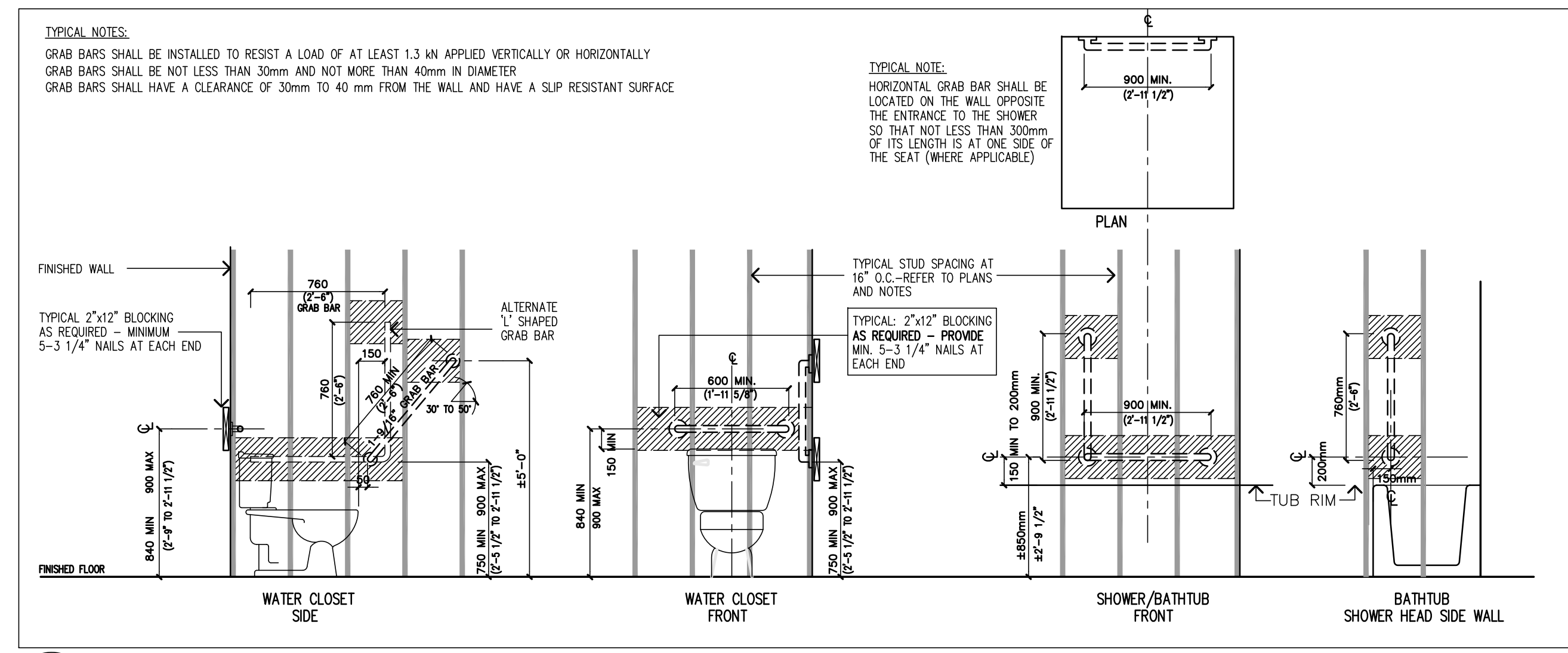
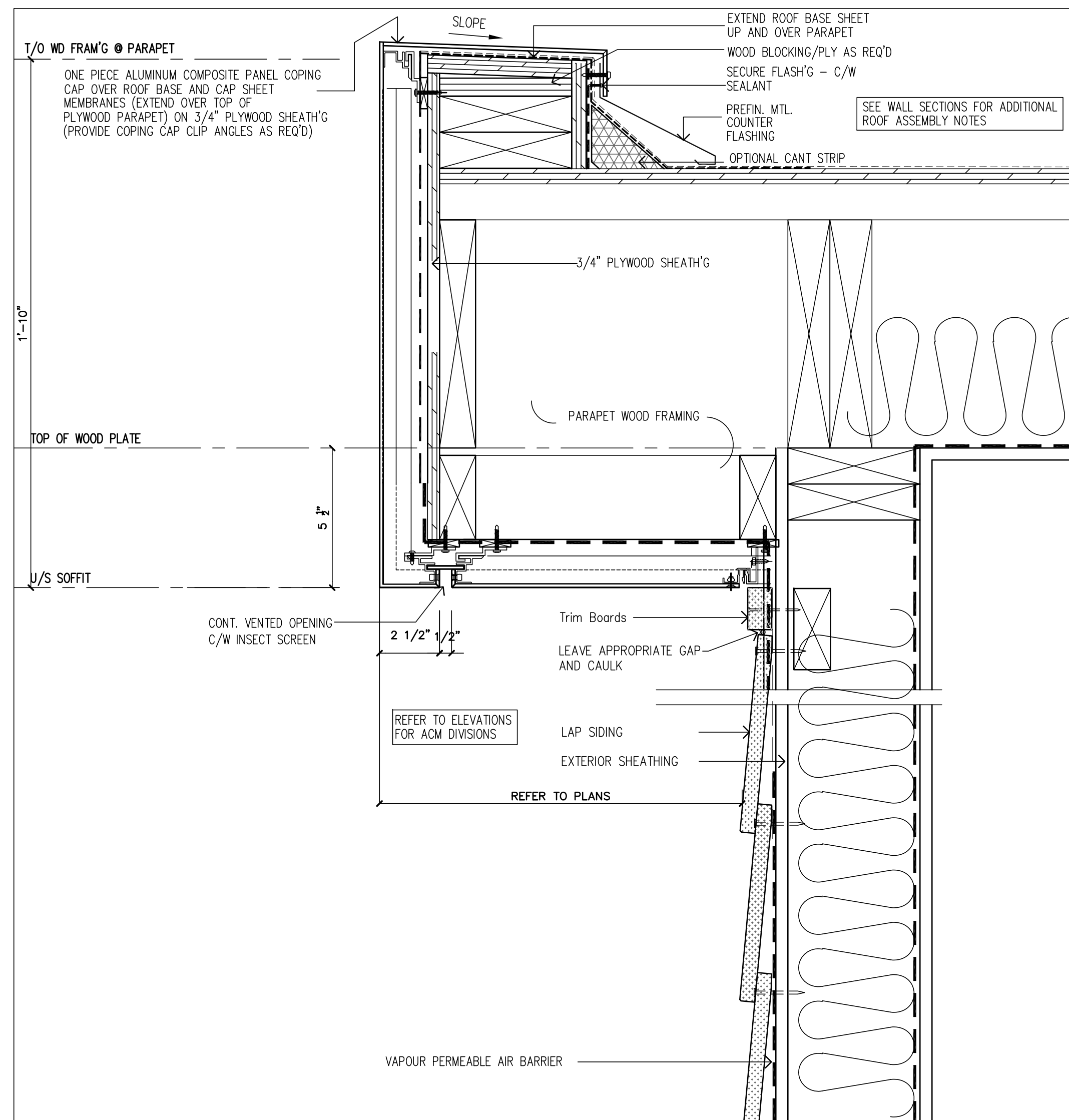
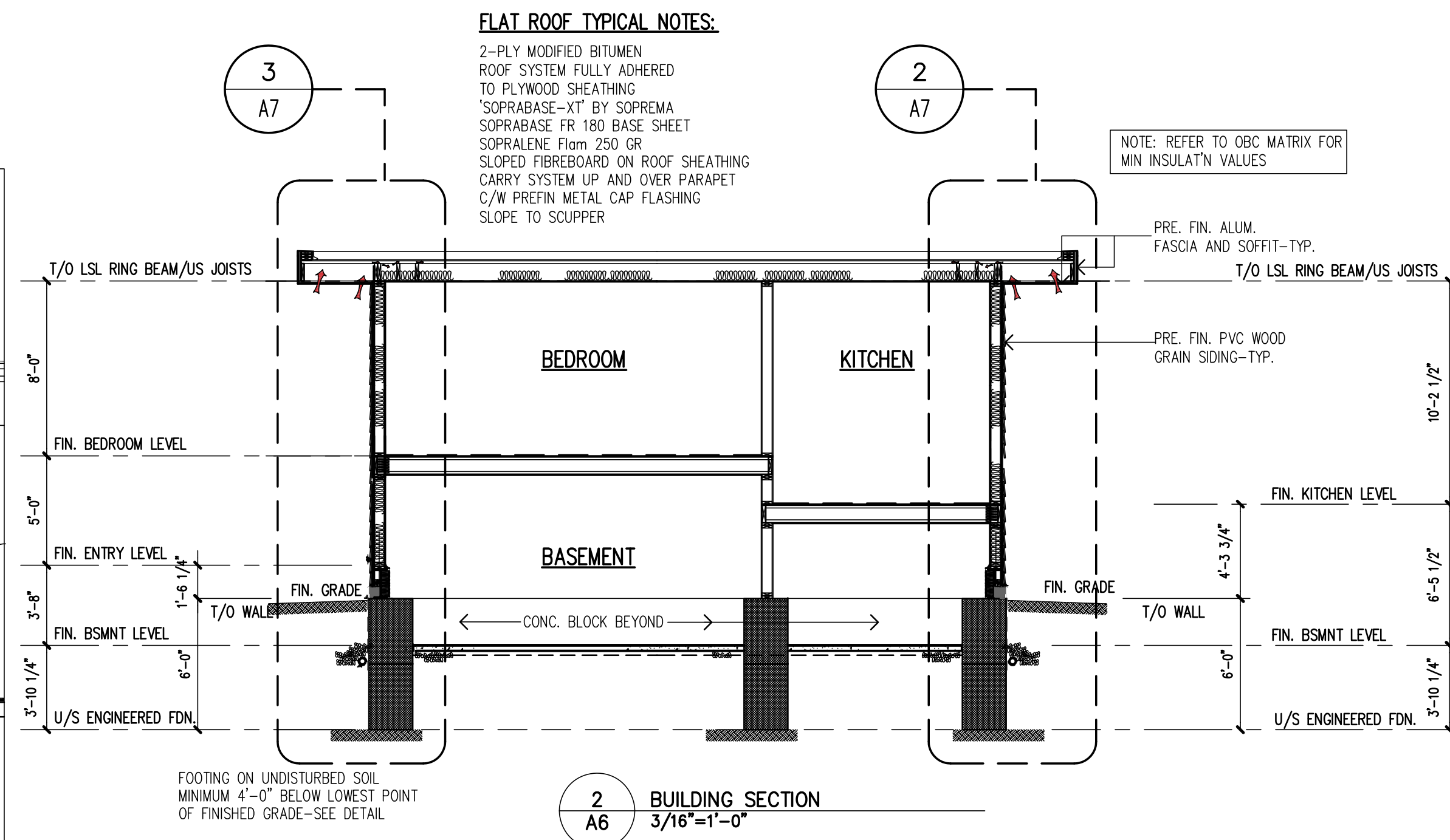
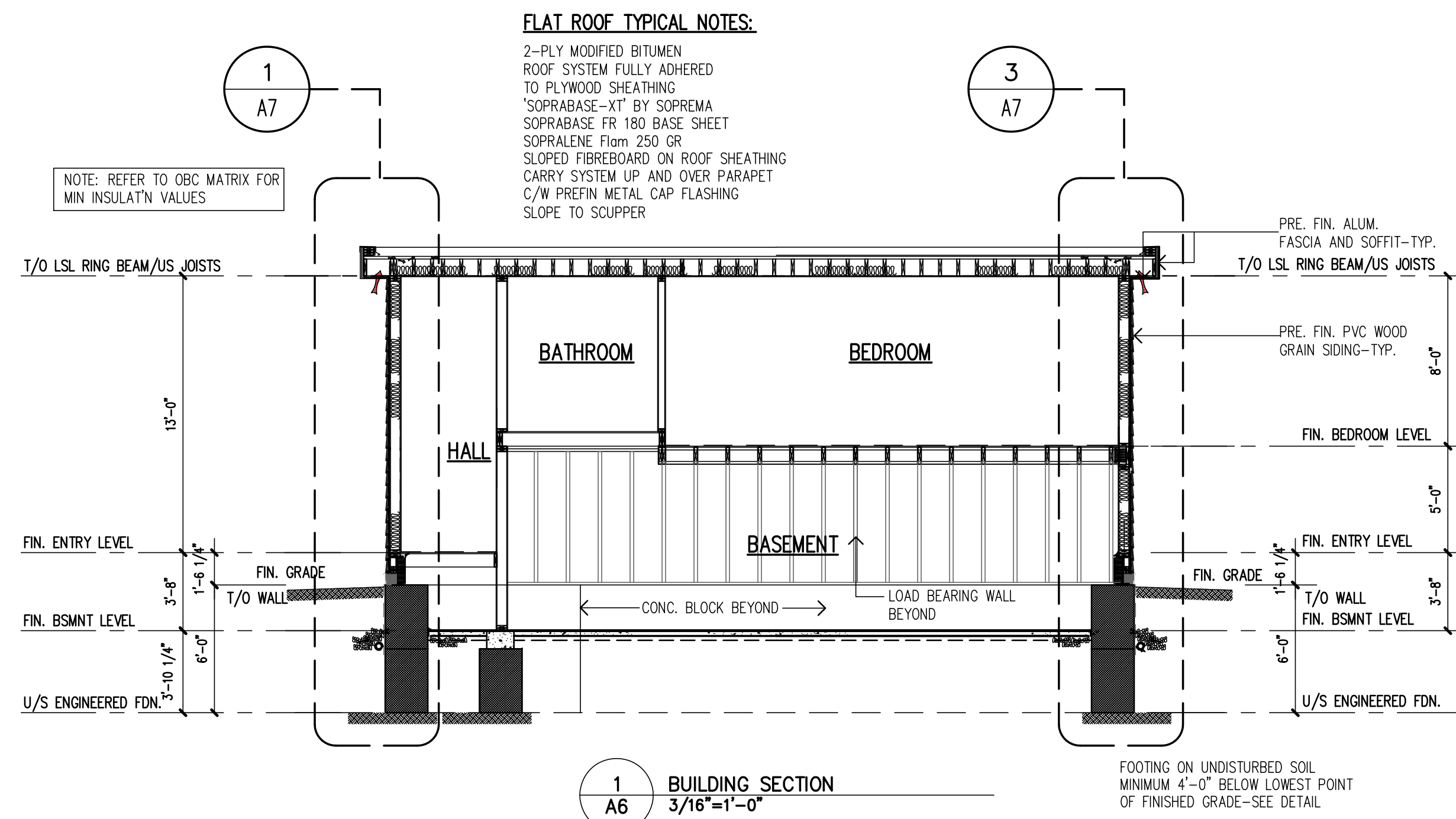
2353 BASELINE ROAD
Proposed ADDITIONAL
Dwelling Unit
Town of Georgina, Ontario

PROPOSED ELEVATIONS		COMM. NO.
		0289
SCALE: 3/16"=1'-0"	DATE: Nov 2023	DRAWING NO.
DRAWN: FM	CHECKED: FM	A5

Size and Spacing of Studs Table 9.23.10.1 Forming Part of Sentence 9.23.10.1.(1)

TYPE OF WALL	SUPPORTED LOADS INCL DEAD LOADS	MIN. STUD SIZE, mm	MAX. STUD SPACING, mm	MAX. UNSUPPORTED HEIGHT, m
INTERIOR	NO LOAD	38x89 (2"x4")	406 (16")	3.6 (11'-10")
	ATTIC NOT ACCESSIBLE BY STAIRWAY	38x89 (2"x4")	610 (24")	3.6 (11'-10")
	ATTIC ACCESSIBLE BY STAIRWAY + ONE FLR ROOF LOAD PLUS ONE FLOOR	38x89 (2"x4")	406 (16")	2.4 (7'-10")
	ATTIC ACCESSIBLE BY STAIRWAY + ONE FLR ROOF LOAD PLUS ONE FLOOR ATTIC NOT ACCESSIBLE BY STAIRWAY + 2 FLRS	38x89 (2"x4")	406 (16")	3.6 (11'-10")
	ATTIC ACCESSIBLE BY STAIRWAY + 2 FLRS ROOF LOAD PLUS TWO FLOORS	38x89 (2"x4")	305 (12")	3.6 (11'-10")
	ATTIC ACCESSIBLE BY STAIRWAY + 3 FLRS ROOF LOAD PLUS THREE FLOORS	38x140 (2"x6")	406 (16")	4.2 (13'-9")
EXTERIOR	ROOF WITH OR WITHOUT ATTIC STORAGE:	38x89 (2"x4")	610 (24")	3.0 (9'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS ONE FLOOR:	38x89 (2"x4")	406 (16")	3.0 (9'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS TWO FLOORS:	38x140 (2"x6")	610 (24")	3.0 (9'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS THREE FLOORS:	38x89 (2"x4")	305 (12")	3.0 (9'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS TWO FLOORS:	38x140 (2"x6")	406 (16")	3.6 (11'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS THREE FLOORS:	38x140 (2"x6")	305 (12")	1.8 (5'-11")

NOTE: REFER TO STRUCTURAL DRAWINGS WHERE WALL HEIGHT EXCEEDS 11'-10"



TYPICAL ELEVATION NOTES:

ALL GUTTERS, RAINWATER LEADERS SOFFITS AND FASCIAS TO BE PRE-FINISHED ALUM. AS SELECTED BY OWNER -U.N.O.

SHINGLES TO BE MIN. 210# ASPHALT STYLE BY OWNER

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES TO BE PRECAST CONC WHEN IN MASONRY/STONE FIELD

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES, WHEN IN SIDING FIELD TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES, WHEN IN STUCCO FIELD TO BE EIFS (STUCCO)

ALL MOULDINGS, TRIMS AND PRECAST CONC PROFILES AS PER OWNER SELECTION

EXTERIOR SOFFIT MOULDING TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL COUNTERFLASHING TO BE PREFIN METAL-COLOUR BY OWNER

HORIZONTAL BAND AT WINDOW SILL HEIGHT TO BE PRECAST CONC. -PROFILE BY OWNER

ALL EXTERIOR AND INTERIOR CORNERS TO RECEIVE PREFIN. TRIM MATERIAL (AZEK)

NEW PREFIN. SIDING FINISH

NOTE: LOCATION OF THROUGH WALL FLASHING TO CONFORM TO O.B.C. SECTION 9.20.13.3

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Attachment 2
 A34-24 2353 Baseline Road
 Page 9 of 11

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3 Sixty architect inc.
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 Richmond Hill, Ontario L4C 0S8
 416-587-1073 647-898-3447
 3sixty@3sixtyarchitect.ca
 @3sixty.architect

ONTARIO ASSOCIATION OF ARCHITECTS
 M.A. PERSECHINI
 LICENCE 5027

REGISTERED PROFESSIONAL ENGINEER
 JULY 24, 2024
 M.A. PERSECHINI
 LICENCE 190217568
 PROVINCE OF ONTARIO

2353 BASELINE ROAD
 Proposed ADDITIONAL Dwelling Unit
 Town of Georgina, Ontario

CROSS SECTIONS SECTIONS & DETAILS

SCALE: AS NOTED DATE: Nov. 2023 DRAWING NO. A6

COMM. NO. 0289

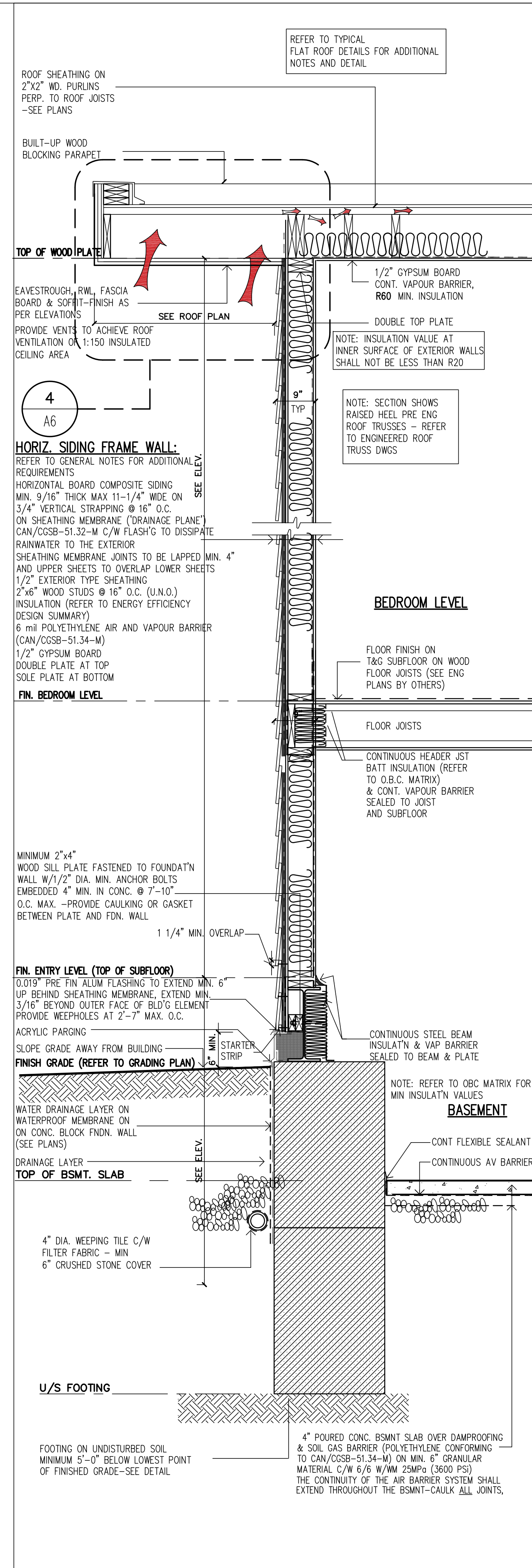
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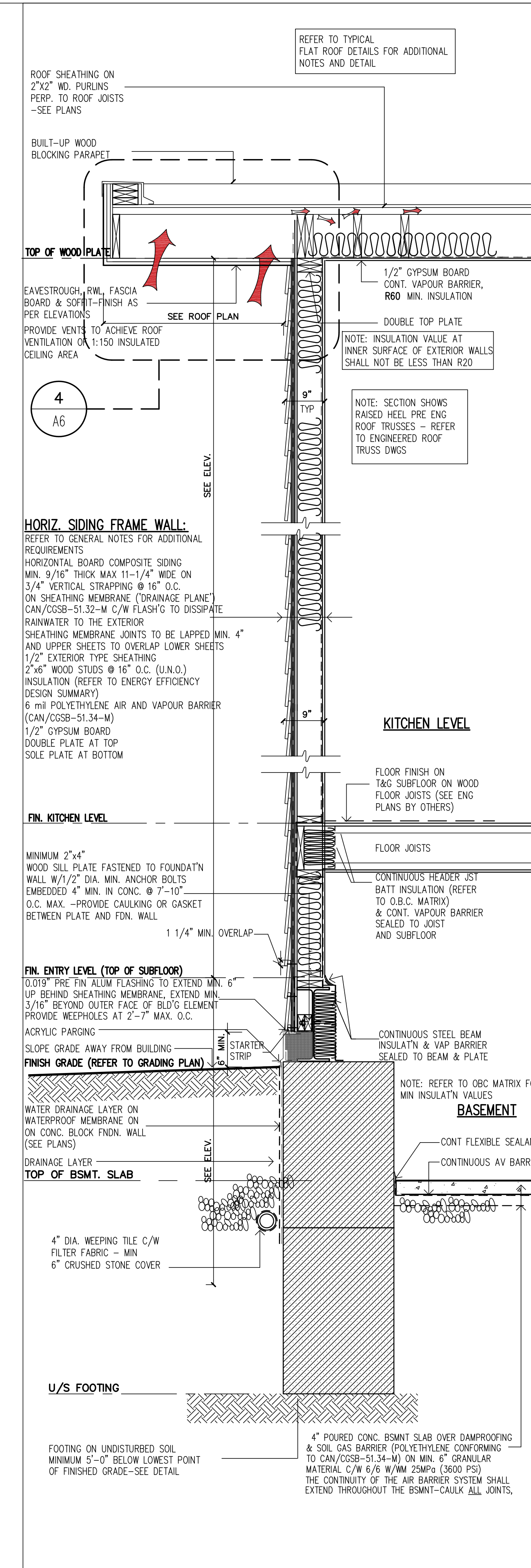
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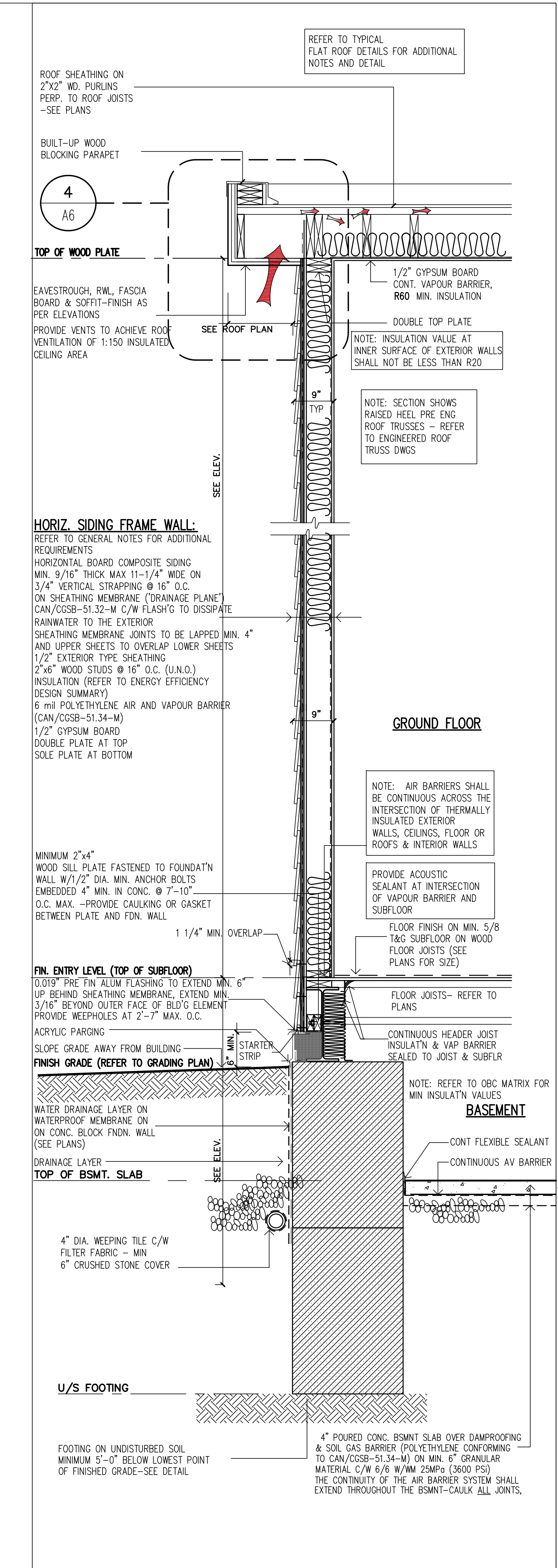
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3
A7 TYP WALL SECT - ONE STOREY HORIZ. SIDING - W.O. BASEMENT
3/4"=1'-0"



3
A7 TYP WALL SECT - ONE STOREY HORIZ. SIDING - W.O. BASEMENT
3/4"=1'-0"



2
A7 TYP WALL SECT - ONE STOREY HORIZ. SIDING - FULL BASEMENT
3/4"=1'-0"

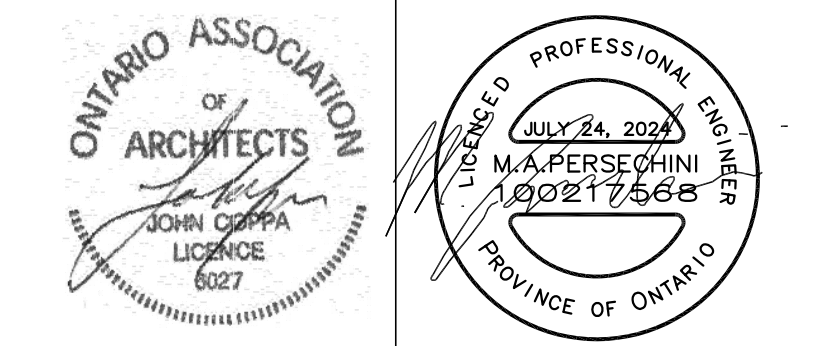
Attachment 2
A34-24 2353 Baseline Road
Page 10 of 11

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architect inc.

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Richmond Hill, Ontario L4C 0S8

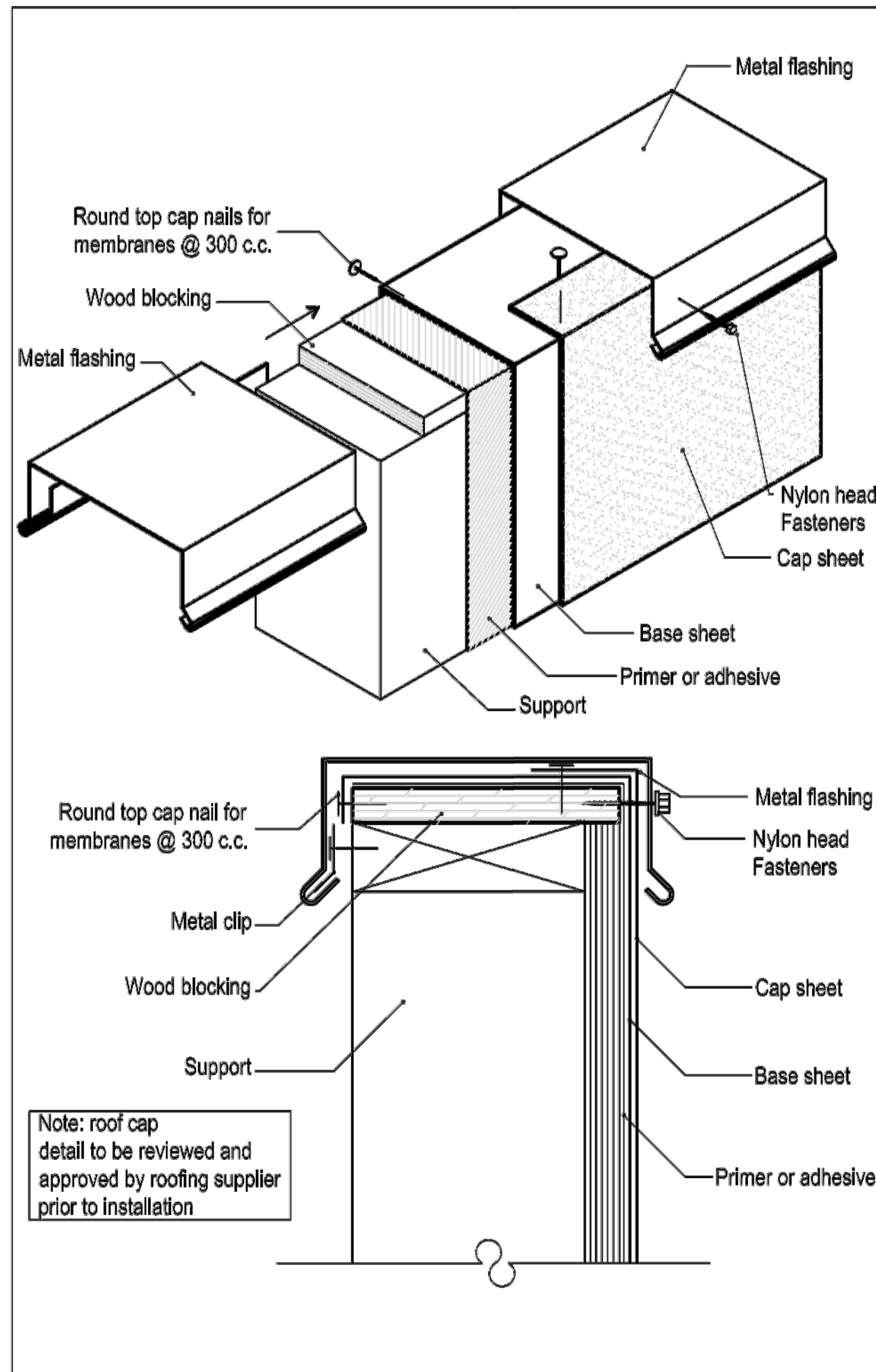
416-507-1073 647-898-3447

3sixty@3sixtyarchitect.ca
@3sixtyarchitect

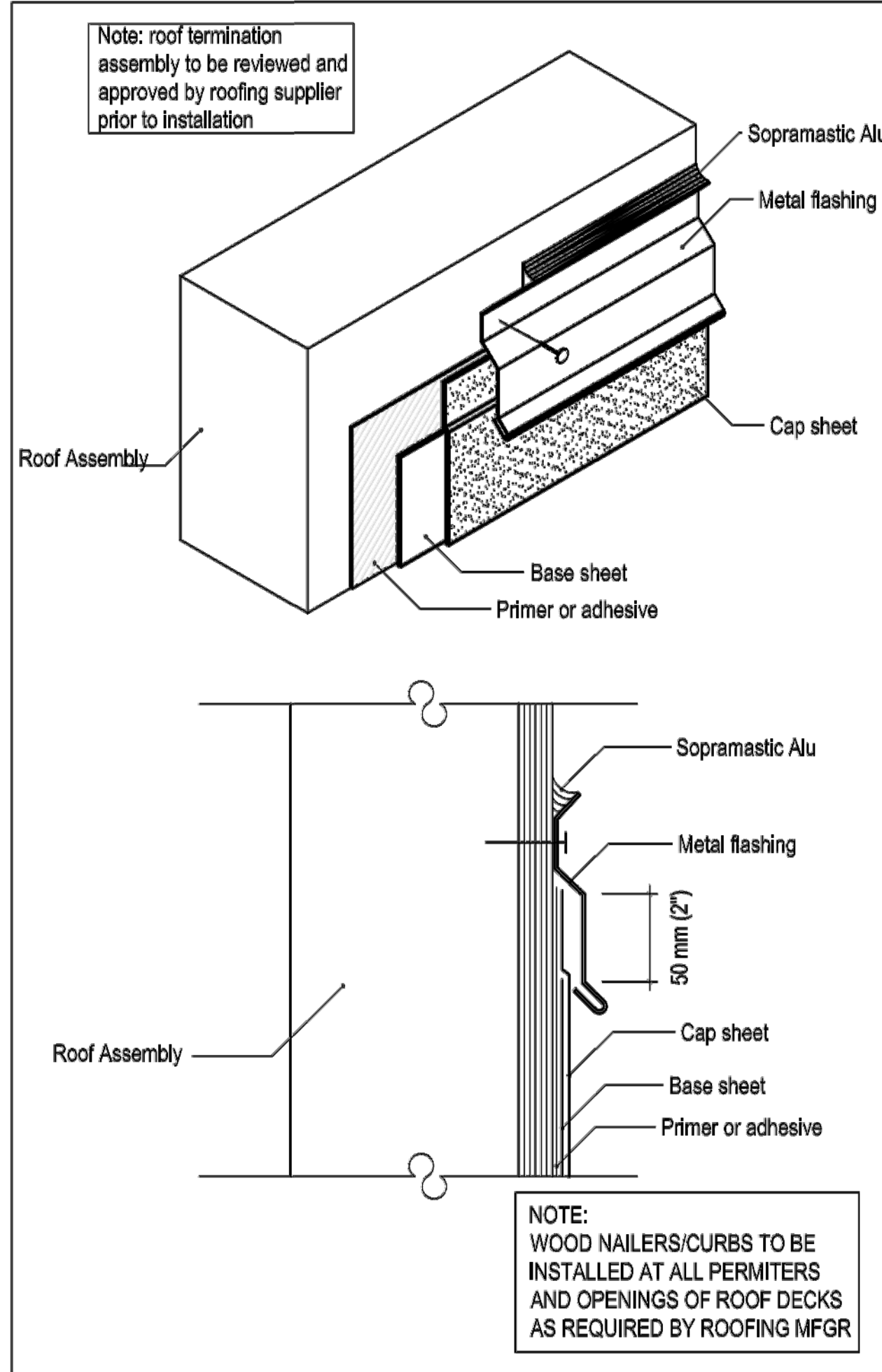


2353 BASELINE ROAD
Proposed ADDITIONAL
Dwelling Unit
Town of Georgina, Ontario

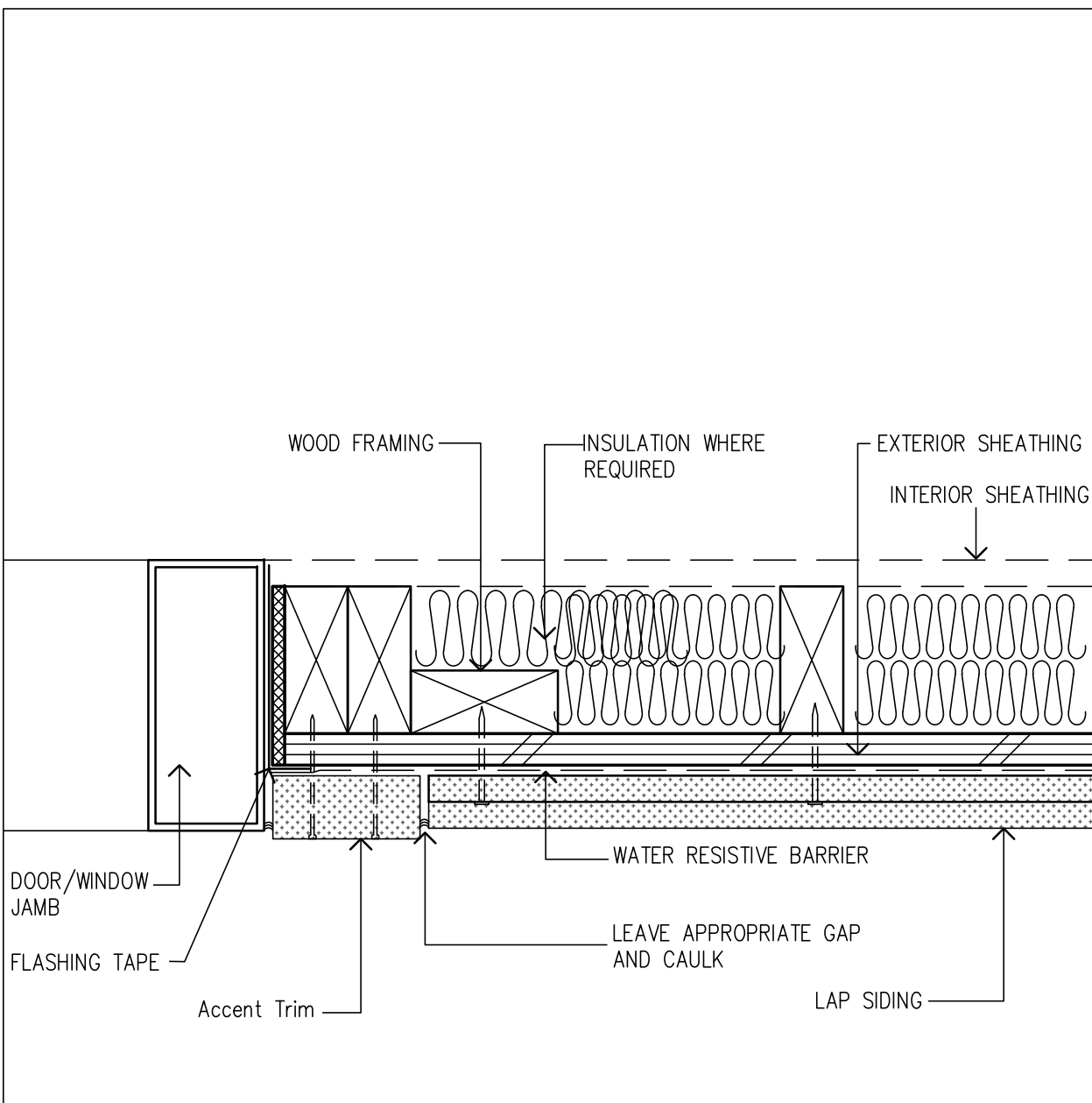
SECTIONS	COMM. NO.
SECTION DETAILS	0289
SCALE(S) NOTED	DATE: Nov. 2023
DRAWN: FM	CHECKED: FM
	DRAWING NO. A7



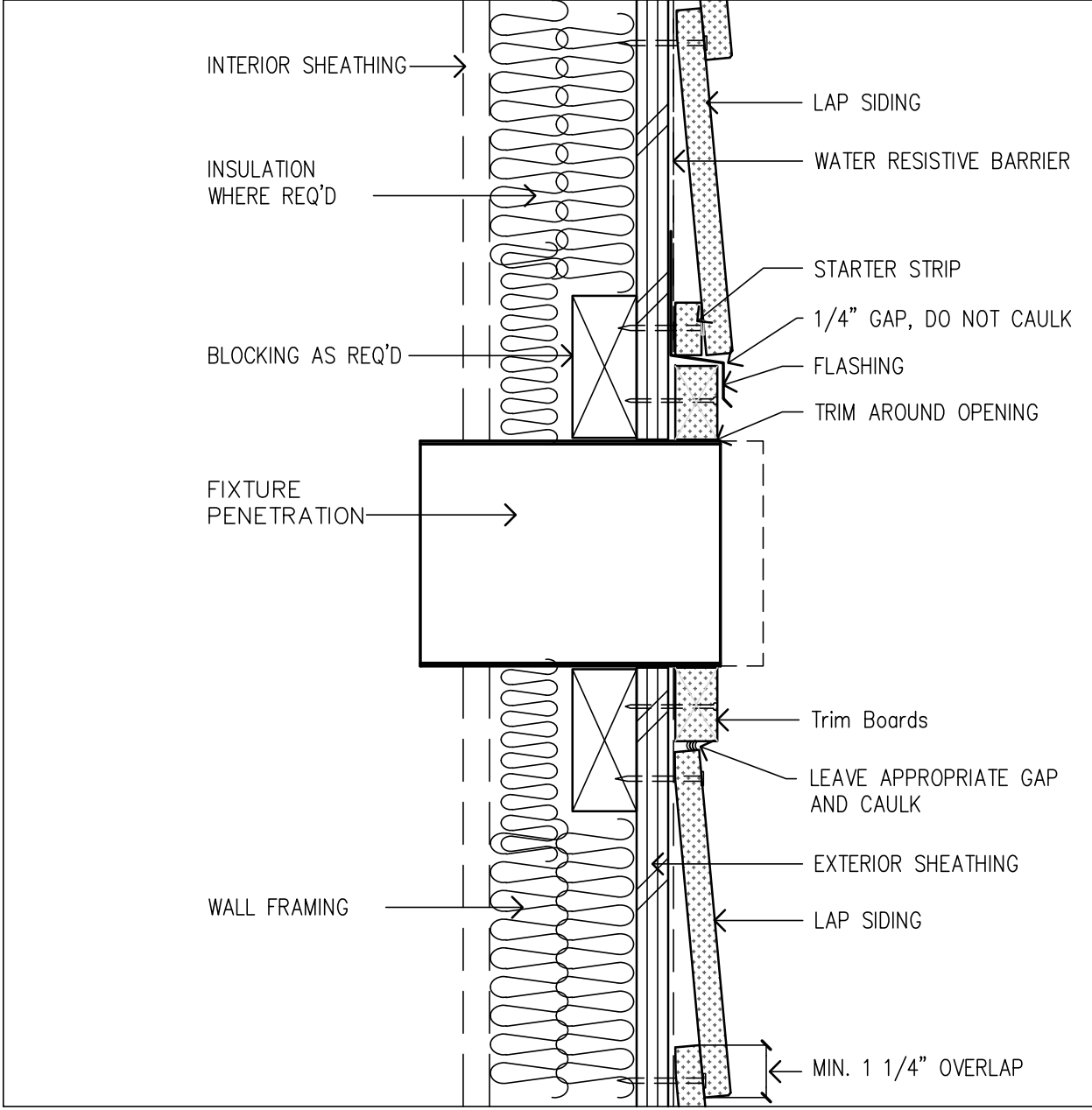
10 TYPICAL DETAIL – METAL CAP FLASHING/PARAPET TERMINATION
1 1/2" = 1'-0"



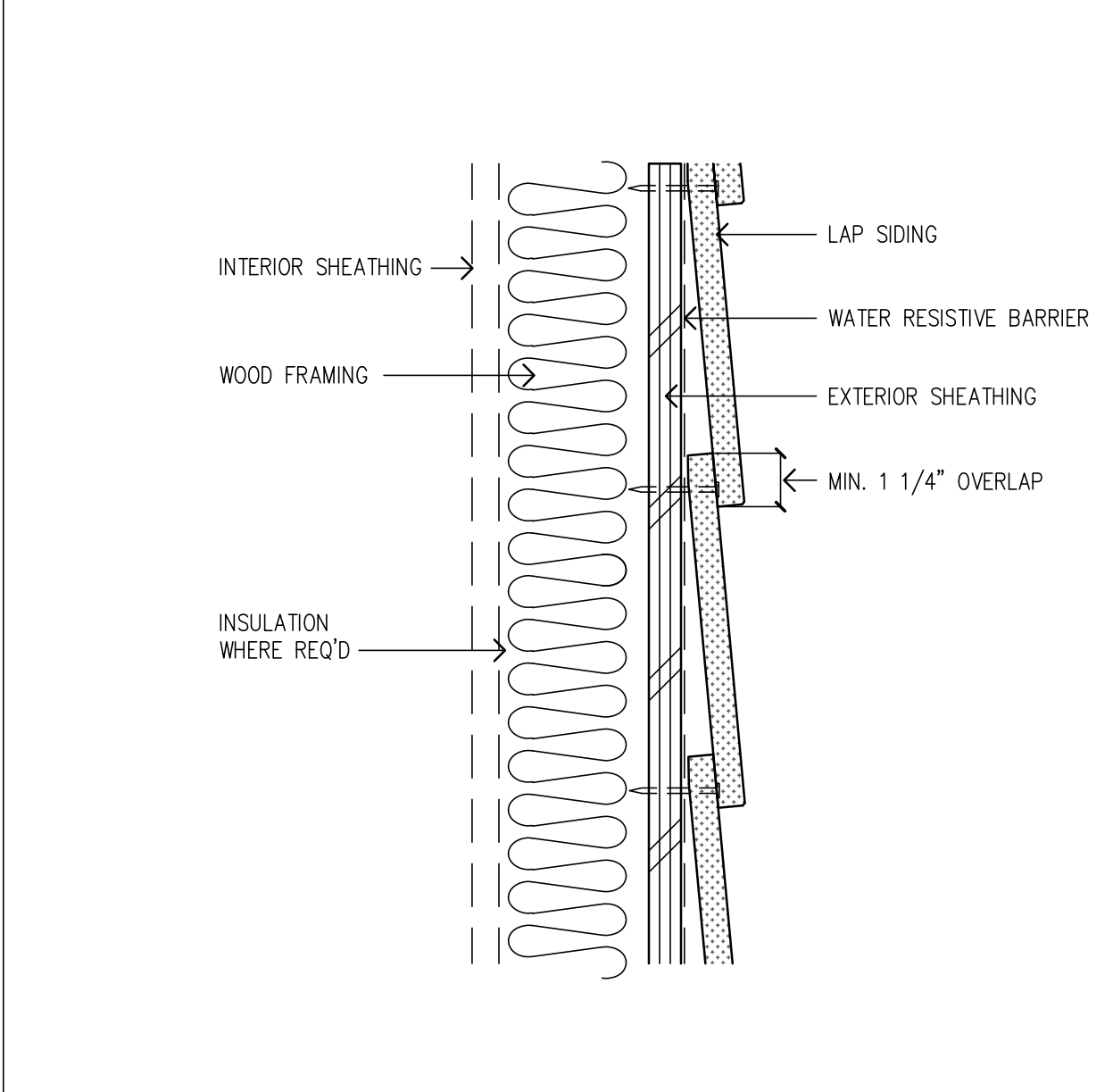
9 TYPICAL DETAIL – METAL COUNTERFLASHING TERMINATION
1 1/2" = 1'-0"



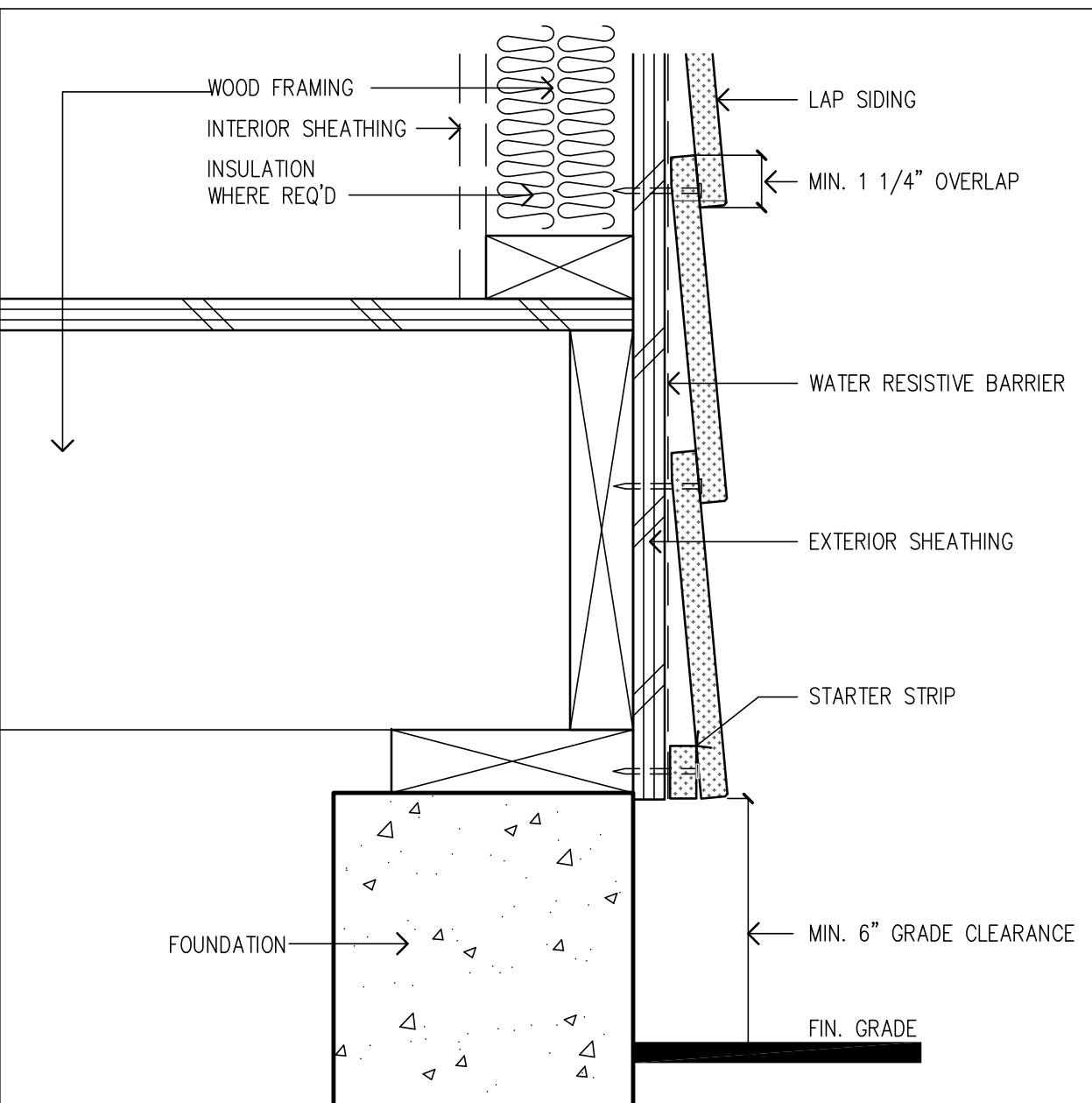
8 PLAN DETAIL – DOOR/WINDOW JAMB
3" = 1'-0"



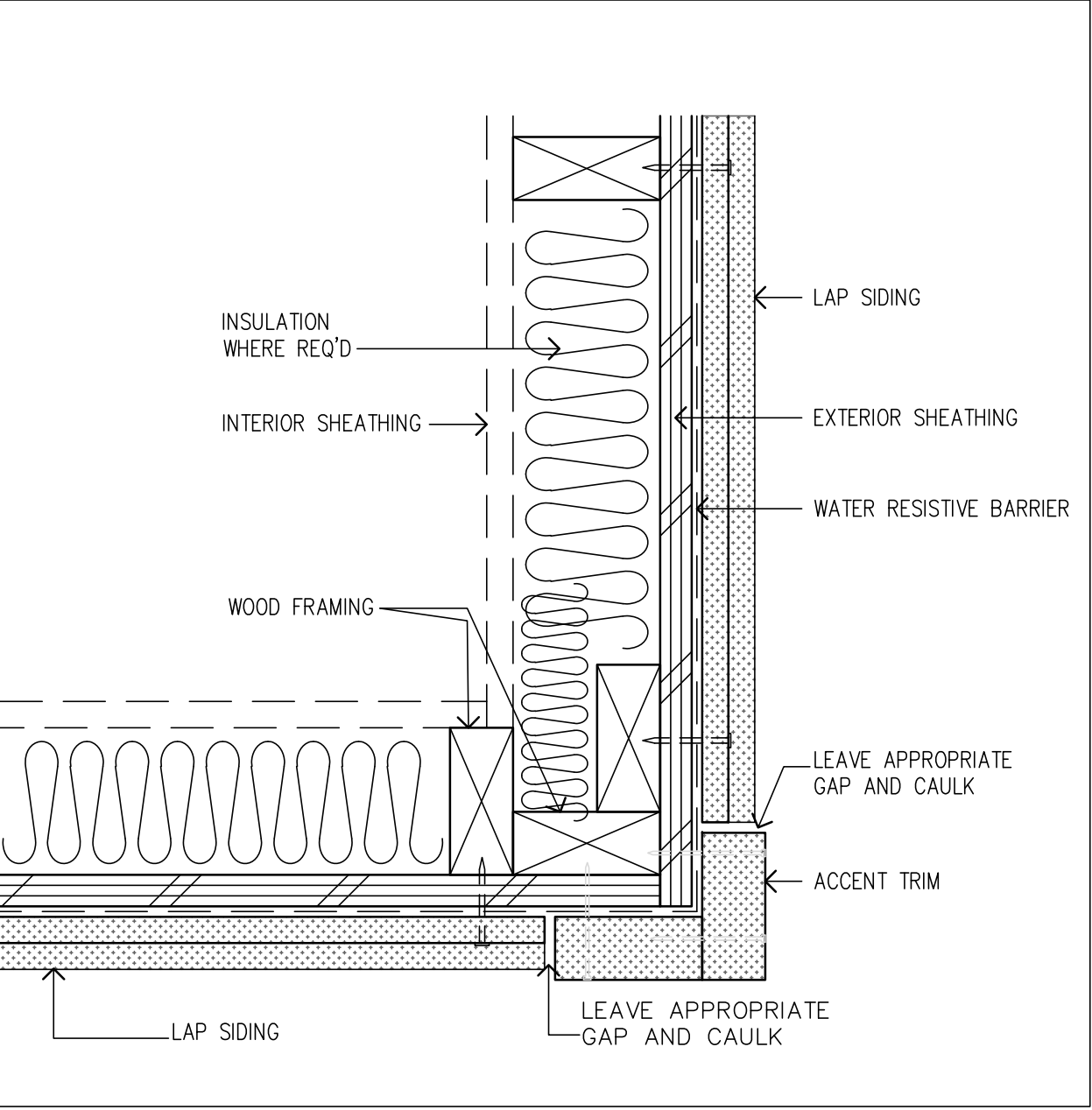
7 SECTION DETAIL – HORIZONTAL SIDING FIXTURE PENETRATION
3" = 1'-0"



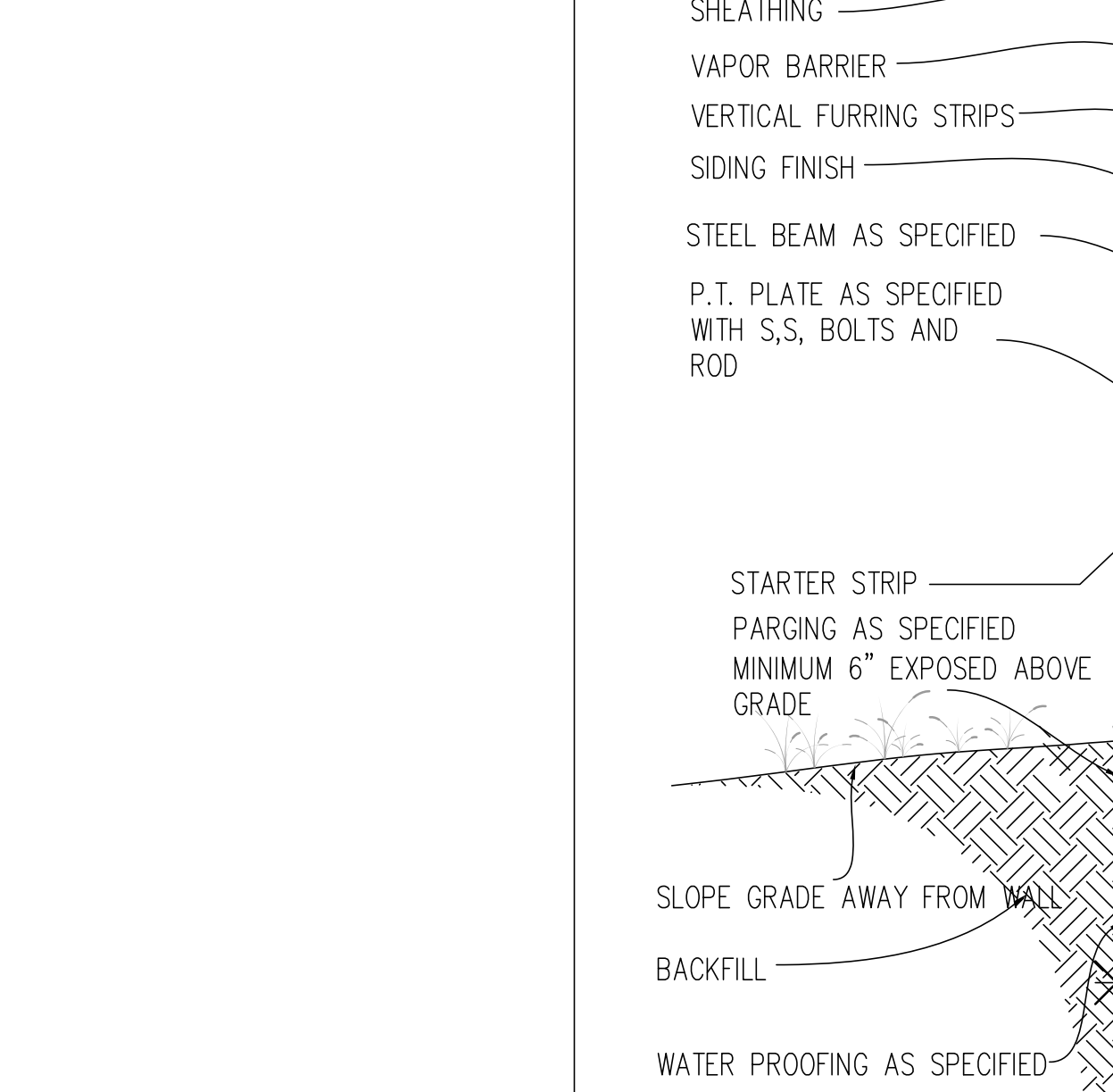
6 SECTION DETAIL – HORIZONTAL SIDING LAP VIEW
3" = 1'-0"



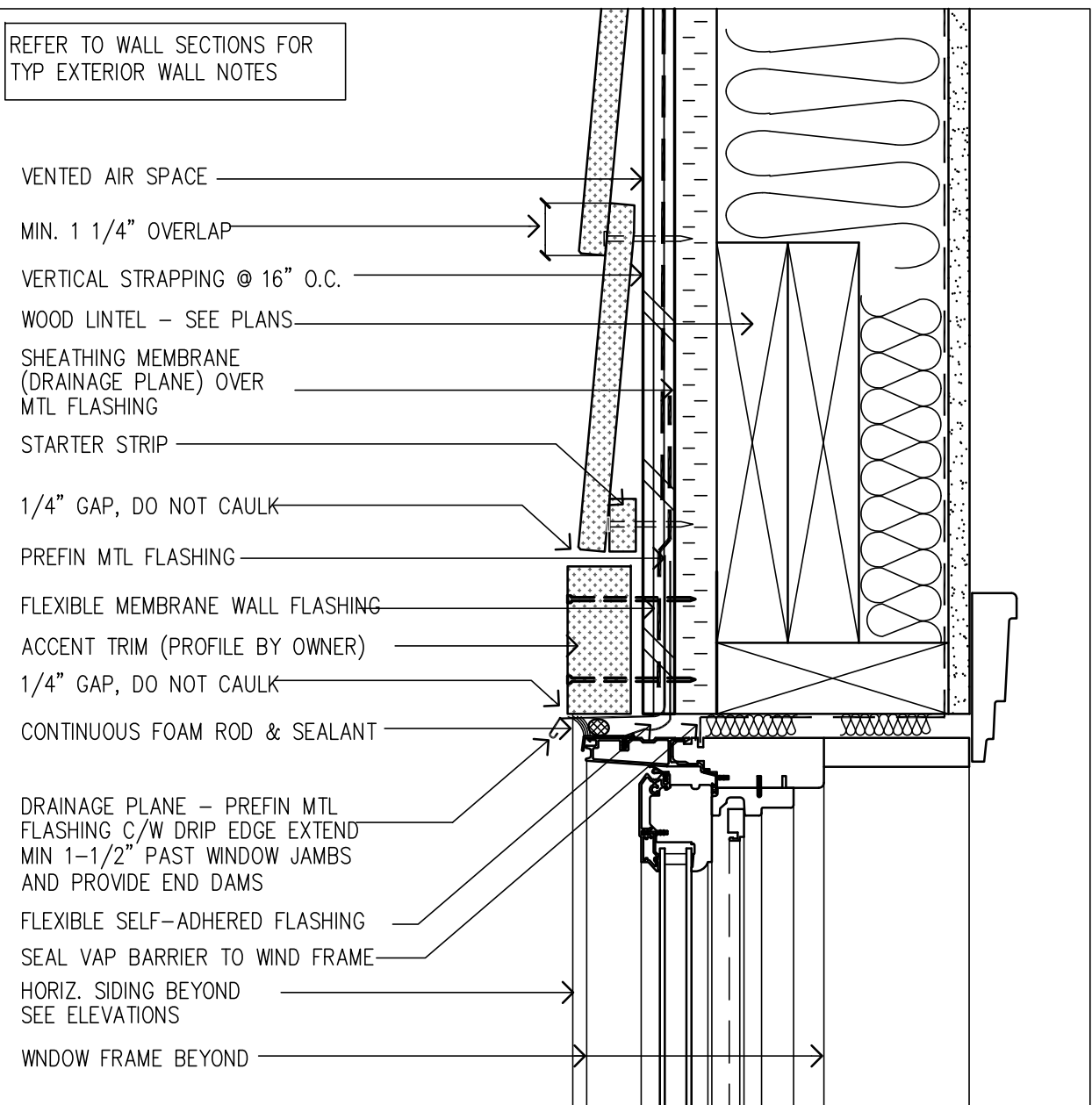
5 SECTION DETAIL – HORIZ. SIDING AT GRADE
3" = 1'-0"



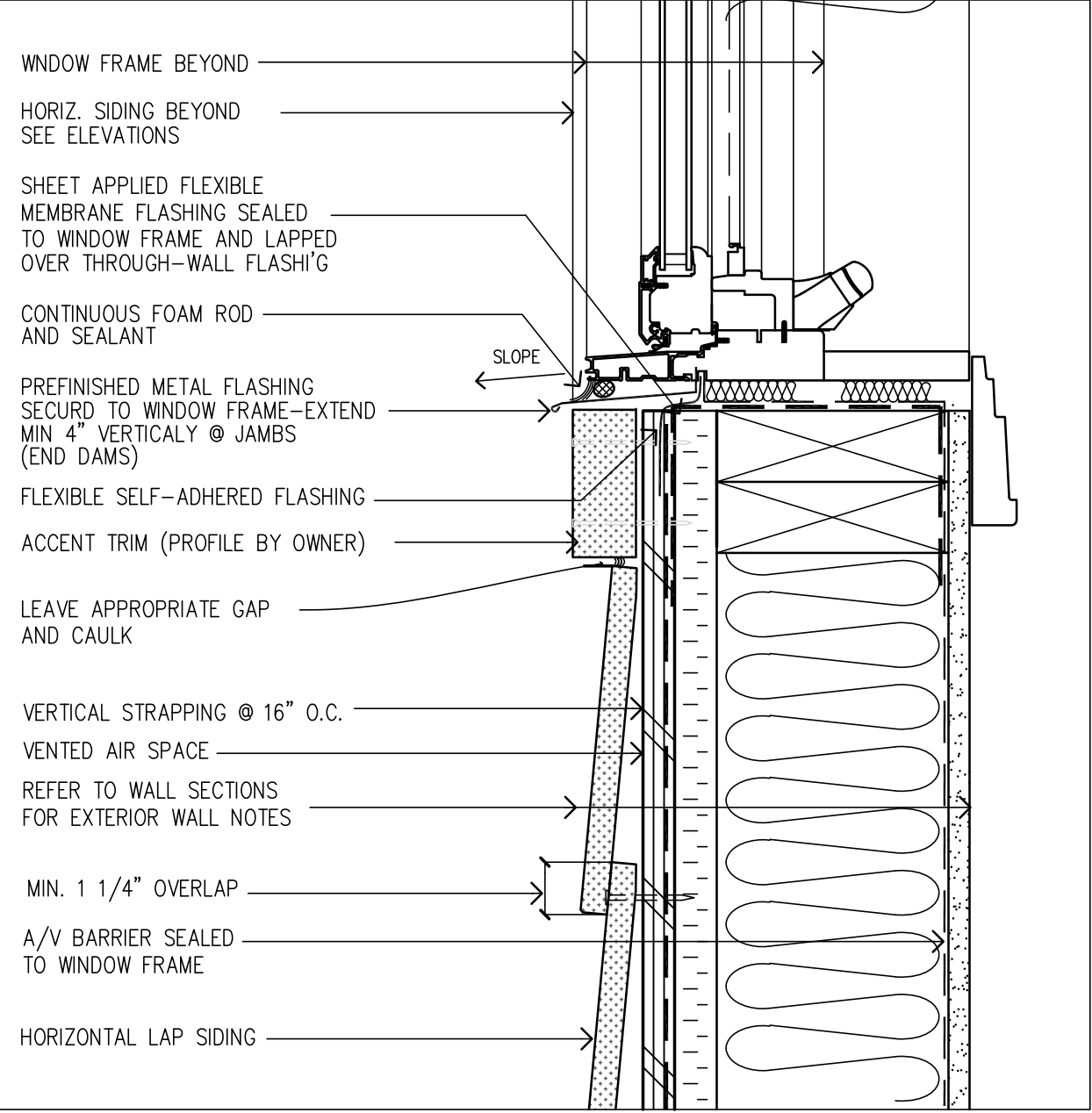
4 PLAN DETAIL – HORIZONTAL SIDING OUTSIDE CORNER
3" = 1'-0"



1 TYP DETAIL – 'BIG BLOCK' FOUNDATION SILL
1 1/2" = 1'-0"



3 SECTION DETAIL – MASONRY WINDOW HEAD
3" = 1'-0"



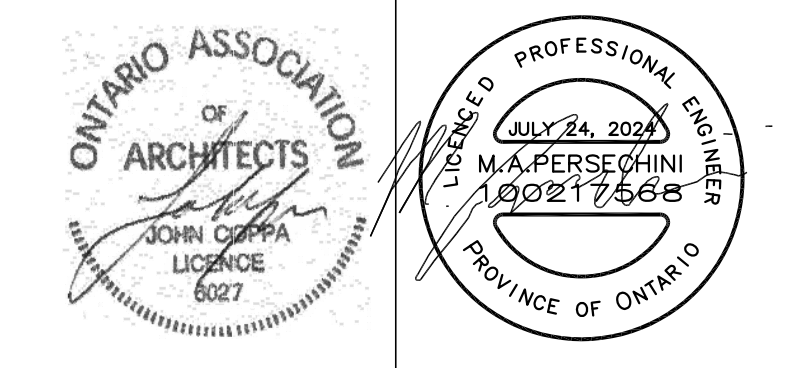
2 SECTION DETAIL – HORIZ. SIDING AT WINDOW SILL
3" = 1'-0"

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2353 BASELINE ROAD
Proposed ADDITIONAL Dwelling Unit
Town of Georgina, Ontario

ROOF DETAILS		COMM. NO.
HORIZ. LAP SIDING DETAILS		0289
SCALE(S) NOTED	DATE: Nov. 2023	DRAWING NO.
DRAWN: FM	CHECKED: FM	A8

Site Photos

2353 Baseline Road
Facing West



2353 Baseline Road
Facing North West



2353 Baseline Road
Facing South



2353 Baseline Road
Facing South - East



2353 Baseline Road
Facing North



2353 Baseline Road
Facing West



Consolidated Comments for A34-24 - 2353 Baseline Road

Department/Agency	Date Received	Response:
Building Division		
Building/Plumbing Inspector	January 27, 2025	Property is on septic. Septic needs to be assessed by an engineer since it has not been in use since around 2018 or before, prior to any building permits can be issued.
Clerks Division		
Community Services		
Development Engineering	January 28, 2025	See Attached
Economic Development	January 22, 2025	No Objections/Concerns
Georgina Fire Department	January 28, 2025	No Objections
Municipal Law		
Operations & Infrastructure		
Tax & Revenue	January 17, 2025	No Tax concerns
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority (LSRCA)	January 28, 2025	See Attached
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation	January 21, 2025	Located outside MTO permit control, Mto has no further comments
Monavenir Catholic School Board		
MPAC		

Consolidated Comments for A34-24 - 2353 Baseline Road

Ontario Power Generation		
Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board		
York Region - Community Planning & Development Services	January 24, 2025	No comment
York Region District School Board		
York Regional Police		



Sent via e-mail: braines@georgina.ca

January 28, 2025

Municipal File No.: A34-34
LSRCA File No.: VA-168769-012025

Brianna Raines
Secretary-Treasurer to the Committee of Adjustment
Planning Division, Development Services Department
26557 Civic Centre Rd
Keswick, ON L4P 3G1

Dear Ms. Raines,

Re: Application for Minor Variance
2353 Baseline Road
Town of Georgina
Owner: Antonio & Rosetta Comegna
Applicant: 3 Sixty Architect Inc.

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to demolish and rebuild the existing second dwelling. The Applicant/Owner is seeking relief from the Town of Georgina Zoning By-law 500, as amended to permit the replacement Legal Non-Conforming second/additional dwelling to expand past the extent of the previous second/additional dwelling.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Agency Circulation (dated January 17, 2025)
- Architectural Drawings prepared by 3 Sixty Architect Inc.

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act*. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Recommendation

Based on our review of the submitted information in support of the application, the proposal is consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

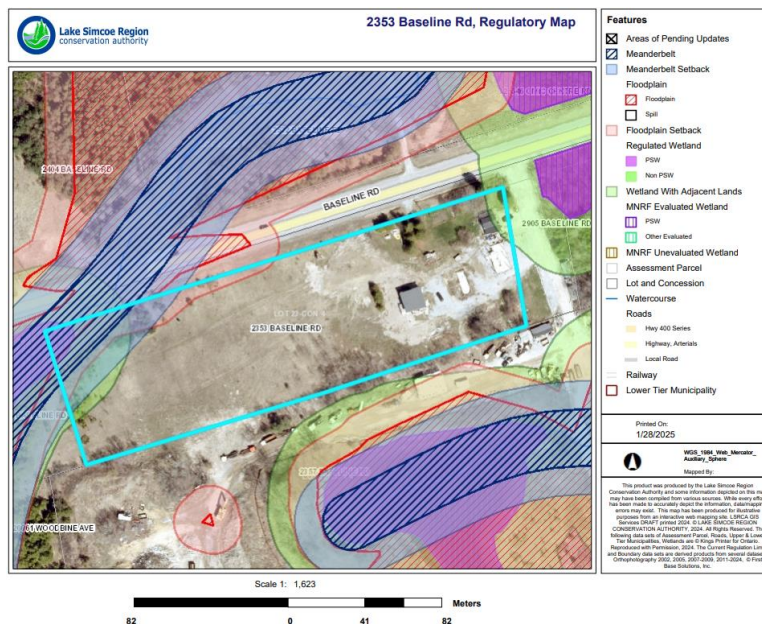
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

Site Characteristics

The subject land is approximately 1.83 hectares (4.52 acres) in area and is located south of Baseline Road within the Town of Georgina. The subject land is currently zoned ‘Rural (RU)’ per the Town of Georgina Zoning By-law 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24. Please see a detailed regulatory map below. This is representative of:
 - The presence of a watercourse (Crescent Creek)
 - Flooding and erosion (meanderbelt) hazards associated with the watercourse
 - Provincially Significant Wetland (PSW) and the associated 30 metre adjacent lands
- The subject property contains identified woodland areas.
- The subject property is within a Significant Groundwater Recharge Area (SGRA).
- The subject property is within the Greenbelt Natural Heritage System and Protected Countryside designations per the Greenbelt Plan.



Delegated Responsibility and Statutory Comments

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial

Planning Statement (PPS). There are identified natural hazards on the subject lands (floodplain, erosion hazard area). The proposal is located outside of the hazardous lands and therefore is consistent with 5.2 of the PPS.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. The proposal is located outside of the regulated area therefore a permit from the LSRCA is not required at this time.

Advisory Comments

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

Summary

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 5.2 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject site. In future, a permit from the LSRCA will be required for any development or site alteration within the regulated portion;
3. **That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.**

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,



Jessica Lim
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)

To: Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike Lampietro, Manager, Development Engineering
Cory Repath, Sr. Development Inspector
Vikum Wegiriya, Jr. Development Technologist
Matthew DeLuca, Jr. Development Inspector
Laura Taylor, Operations Administrative Assistant

Date: January 28th, 2025

Re: MINOR VARIANCE A34-24
2353 Baseline Road
CONCESSION 4, PART OF LOT 23
ROLL NO.: 109-810

The Development Engineering Division has no objection to Minor Variance Application No. A34-24, subject to the following condition(s) being fulfilled to the Engineering Development Division's satisfaction:

1. The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
 - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.



**THE CORPORATION OF THE
TOWN OF GEORGINA
Committee of Adjustment Minutes**

Date: Monday, January 20, 2025
Time: 7:30 PM

Members of
Committee Present: John Rogers, Chair

 Karen Whitney
 Chris Burns
 Lynda Rogers
 Joseph Bonello

Staff Present: Brianna Raines, Secretary Treasurer of the Committee of
 Adjustment
 Jeff Healey, Supervisor of Development Planning
 Monika Sadler, Planner I

1. ROLL CALL

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council and Committee, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

As noted above

2. INTRODUCTION OF ADDENDUM ITEM(S)

1. A33-24 - 87 Sibbald Crescent - Letter of Support

3. DECLARATION OF PECUNIARY INTEREST

Committee Member, Chris Burns declared a pecuniary interest for applications A20-24 and A33-24.

Committee Chair, John Rogers declared a pecuniary interest for application A29-24. Committee Member Karen Whitney was appointed Acting Chair for this application.

Moved By Joseph Bonello
Seconded By Lynda Rogers

Carried Unanimously

4. EXPLANATION OF HEARING PROCEDURE

Secretary-Treasurer for the Committee of Adjustment Brianna Raines read the explanation of hearing procedure.

5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

There are none.

A motion was made to move A33-24 into second position under Agenda item 7.

Moved By Karen Whitney
Seconded By Lynda Rogers

Carried Unanimously

6. APPLICATIONS FOR CONSENT

**1. CONSENT APPLICATION B18-24
5 AND 5A EVELYN AVENUE**

The Agent, Alicia Monteith from Corbett Land Strategies did a presentation on the application.

There were no public speakers or public comments on the application.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Joseph Bonello
Seconded By Chris Burns

- 1. That the Committee of Adjustment receive Report No. DS-2025-0005 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Consent Application B18-24, submitted by the owners for the property municipally addressed as 5 and 5A Evelyn Avenue; and,**

2. **Staff recommend the following:**
- a. **That the Committee of Adjustment approve Consent Application B18-24 as it pertains to the property known as 5 and 5A Evelyn Avenue, to sever and convey Severed Lands from Retained Lands and convey same to Benefitting Lands, as shown in Attachment 3 to Report No. DS-2025-0005; and,**
 - b. **That the approval of Consent Applications B18-24 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer of two (2) white prints of a deposited reference plan of survey to conform substantially with the applications, as submitted;**
 - ii. **Submission to the Secretary-Treasurer of draft transfer documents, in duplicate, conveying Severed Lands to Benefitting Lands as indicated on Attachment 3 to Report No. DS-2025-0005;**
 - iii. **Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Planning Division that the Owner / Applicant submit and obtain approval for a Cancellation of Consent (B19- 24) related to previous Consent Application B10-17 from 2017;**
 - iv. **Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that the shed located on Retained Lands has been removed; and,**
 - v. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

7. APPLICATIONS FOR MINOR VARIANCE

Committee Member Chris Burns left the meeting, as a pecuniary interest was declared.

- 1. **MINOR VARIANCE APPLICATION A20-24
32 SNOOKS ROAD
PLAN 69, PART OF BLOCK 4, PART OF LOT 5, PLAN 65R-1648, PART 3**
The owner, Lois Andrews, did a brief presentation on the application.

There were no public speakers or public comments on the application.

Committee Member Lynda Rogers wanted confirmation that the issue of the ramp was to be discussed as well. Committee Chair John Rogers confirmed that it was a condition of the Minor Variance. Mrs. Andrews confirmed that she was aware that an encroachment agreement would be required once the minor variance was approved.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Karen Whitney
Seconded By Joseph Bonello

1. **That the Committee of Adjustment receive Report No. DS-2025-0002 prepared by the Development Planning Division, Development Services Department, dated January 20, 2024, respecting Minor Variance Application A20-24, for the property municipally addressed as 32 Snooks Road; and,**
2. **Staff recommend the following:**
 - a. **That the Committee of Adjustment approve Minor Variance Application A20-24 to permit relief from the following:**
 - i. **Section 6.1(c): To permit an addition to the single detached dwelling with a front yard setback of 0.8 metres, whereas a front yard setback of 6 metres is required;**
 - ii. **Section 5.45 (h): To permit a handicap ramp to encroach nil metres into the front yard setback, whereas an encroachment of 2 metres into the required front yard is permitted;**
 - b. **That the approval of Minor Variance Application A20-24 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer that the re-circulation fee has been paid to the satisfaction of the Development Planning Division;**
 - ii. **Submission to the Secretary-Treasurer of written confirmation from the Operations and Infrastructure Division that all matters identified in Attachment 4 to Report No. DS-2025-0002 have been addressed to the Division's satisfaction; and**
 - iii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision**

- c. **That the approval of Minor Variance Application A20-24 be subject to the following term(s):**
 - i. **That the proposed addition be constructed in general conformity with Attachment 2 to Report DS-2025-0002, in accordance with the relief recommended to be approved in Recommendation 2a);**

Carried Unanimously

2. **MINOR VARIANCE APPLICATION A33-24
87 SIBBALD CRESCENT
PLAN 204 LOT 56**

The owner, Melissa Pestill, did a brief presentation on the application.

Committee Chair John Rogers wanted some clarification on whether the existing house was being replaced or being modified. Mrs. Pestill advised that it is being cleaned up. Committee Chair John Rogers, then advised that in Monika's report there was discussion of the height of the building, the main building is shorter than the garage will be. Committee Chair John Rogers mentioned that he did see that there is an elevation difference. Mrs. Pestill advised that the garage will just be slightly taller than the house thus making it more visually appealing as the house is sitting up at a higher elevation.

There were no public speakers. Committee did receive a public comment that was mentioned in the addendum items, being a letter of support for the application.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions

Moved By Karen Whitney
Seconded By Lynda Rogers

- 1. **That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A33-24, for the property municipally addressed as 87 Sibbald Crescent; and,**
- 2. **Staff recommend the following:**

- a. **That the Committee of Adjustment approve Minor Variance Application A33-24 to permit relief from the following:**
 - i. **Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 6.95 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;**
 - ii. **Section 5.1(f): To permit a detached accessory building with a height to the eaves of 5.49 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;**
- b. **That the approval of Minor Variance Application A33-24 be subject to the following term(s):**
 - i. **That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0006, in accordance with the relief recommended to be approved in Recommendation 2a);**
 - ii. **That the detached garage shall not have any interior water fixtures and/or washroom facilities (i.e. sink, toilet, shower or bathtub); and,**
 - iii. **That the detached garage shall not be utilized for sleeping accommodation/living quarters at any time.**
- c. **That the approval of Minor Variance Application A33-24 be subject to the following condition(s):**
 - i. **Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0006 have been addressed to the satisfaction of the Conservation Authority; and**
 - ii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

Committee Member Chris Burns returned to the meeting.

3. **MINOR VARIANCE APPLICATION A28-24
837 TRIVETTS LANE
PLAN 65M-4740, LOT 13**

The agents, Ashley and Antonio Ingoglia, did a brief explanation on the application.

Monika Sadler, Planner I provided a presentation on the application.

There were no public speakers or comments.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns

Seconded By Joseph Bonello

1. **That the Committee of Adjustment receive Report No. DS-2025-0001 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A28-24, for the property municipally addressed as 837 Trivetts Lane; and,**
2. **Staff recommend the following:**
 - a. **That the Committee of Adjustment approve Minor Variance Application A28-24 to permit relief from the following:**
 - i. **Section 10.5.68: To permit a minimum rear yard setback of 5 metres, whereas a minimum rear yard setback of 8 metres is required;**
 - ii. **Section 6.1 (i): To permit a maximum lot coverage of 38.5%; whereas a maximum lot coverage of 35% is required;**
 - iii. **Section 6.1(j): To permit a maximum building height of 11.5 metres, whereas a maximum building height of 11 metres is required;**
 - iv. **Section 5.28(i): To permit a maximum driveway width of 9.45 metres, whereas a maximum driveway width of 9 metres is required;**
 - b. **That the approval of Minor Variance Application A28-24 be subject to the following term(s):**
 - i. **That the proposed single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0001, in accordance with the relief recommended to be approved in Recommendation 2a);**
 - c. **That the approval of Minor Variance Application A28-24 be subject to the following condition(s):**

- i. **Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0001 have been addressed to the satisfaction of the Conservation Authority; and**
- ii. **That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.**

Carried Unanimously

Committee Chair John Rogers left the meeting, as a potential pecuniary interest was declared. and Karen Whitney took the Chair as Acting Chair.

- 4. MINOR VARIANCE APPLICATION A29-24
43 THE QUEENSWAY NORTH
CON 3 PT LOT 14 RS65R13228; PART 1

The agent, Lisa Rapoport, did a brief presentation on the application.

There were no public speakers or public comments.

Committee Member Chris Burns asked the agent how they will maintain the accessibility of the exit path while still securing it for residents. Ms. Rapoport advised that they use a Mag Lock.

Following the vote, Acting Committee Chair Karen Whitney advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns
Seconded By Joseph Bonello

- 1. **That the Committee of Adjustment receive Report No. DS-2025-0003 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A29-24, for the property municipally addressed as 43 The Queensway North; and,**
- 2. **Staff recommend the following:**
 - a. **That the Committee of Adjustment approve Minor Variance Application A29-24 to permit relief from the following:**
 - i. **Section 5.1 (b): To permit the construction of an accessory building (pergola) in a front yard, whereas an**

- accessory building or structure shall not be erected in any yard other than an interior side yard or rear yard;
- ii. **Section 5.1(b):** To permit the construction of an accessory building (shed) in a front yard; whereas an accessory building or structure shall not be erected in any yard other than an interior side yard or rear yard;
 - iii. **Section 5.12:** To permit a 2.4-metre high fence with nil front yard setbacks, whereas adherence to the minimum yard requirements is required for a fence with a maximum height exceeding 2 metres;
- b. That the approval of Minor Variance Application A29-24 be subject to the following term(s):
- i. That the proposed accessory structures be constructed in general conformity with Attachment 2 to Report DS-2025-0003, in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application A29-24 be subject to the following condition(s):
- i. Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0003 have been addressed to the satisfaction of the Conservation Authority; and
 - ii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

Carried Unanimously

Committee Chair John Rogers returned to the meeting.

5. MINOR VARIANCE APPLICATION A25-24
24996 WOODBINE AVENUE
CONCESSION 3, PART LOTS 14 AND 15 (NG), 65R-38842, PART OF
PART 1

The agent, Michael Smith, did a brief presentation on the application.

There were no public speakers or public comments.

Committee Member Chris Burns asked for clarification as to how Mr. Smith's presentation showed seven (7) variances, the map in the agenda shows six (6) variances. Mr. Smith advised that when the staff report was completed one of the variances was divided into two parts, being lots with frontage 15 metre and 18 metre corner lots. Committee Member Chris Burns then asked if the lots are currently sold. Matthew Creador, representative for Treasure Hill, advised that the lots have not been sold yet as they are gearing up for the springtime sales launch. Committee Member Chris Burns then pointed out that Lot 43 does not front on a street. Mr. Smith confirmed that they won't be able to pull a permit on that lot until the second phase.

Committee Chair John Rogers asked if Danny Wheeler Boulevard was to be extended to Woodbine during this phase of the subdivisions. Mr. Smith confirmed that is correct.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns
Seconded By Karen Whitney

1. **That the Committee of Adjustment receive Report No. DS-2025-0004 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A25-24, for the property municipally addressed as 24996 Woodbine Avenue; and,**
2. **Staff recommend the following:**
 - a. **That the Committee of Adjustment approve Minor Variance Application A25-24 to permit relief from the following:**
 - i. **Section 7.5.113 (b) (ii): To permit a maximum interior garage width of 8.9 metres, whereas the maximum interior garage width of 6 metres is permitted;**
 - ii. **Section 5.28(i): To permit a maximum driveway or parking area width of 60% of the lot frontage for the 15-metre (minimum) interior lots, whereas a maximum of 55% is permitted;**
 - iii. **Section 7.5.113 (b) (v): To permit a maximum driveway or parking area width of 9.9 metres for the 18-metre corner lots, whereas a maximum driveway width is the width of the interior garage, plus 0.5 metres is permitted;**
 - iv. **Section 7.5.113 (a): To permit an interior side yard setback of 0.6 metres on one side, whereas an interior**

side yard setback on both sides of 1.2 metres is required;

- v. **Section 5.28(i):** To permit a minimum distance between the driveway and the intersection of street lines of 6 metres, whereas a minimum distance of 9 metres is permitted;
 - vi. **Section 5.35 (a):** To permit a minimum size of a sight triangle of 5 metres at the intersection of local streets in a Residential Zone, whereas a minimum size of sight triangle at the intersection of local streets in a Residential Zone of 6 metres is permitted;
 - vii. **Section 7.5.113 (a):** To permit a rear yard setback of 6 metres, whereas a rear yard setback of 7 metres is required.
- b. That the approval of Minor Variance Application A25-24 be subject to the following term(s):
- i. That the proposed subdivision be constructed in general conformity with Attachment 3 to Report DS-2025-0004, in accordance with the relief recommended to be approved in Recommendation 2a);

Carried Unanimously

8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS

There are none.

9. MINUTES OF PREVIOUS MEETING

1. December 2, 2024 Meeting Minutes

The minutes from December 2, 2024 meeting were adopted by the Committee.

Moved By Joseph Bonello
Seconded By Lynda Rogers

Carried Unanimously

10. COMMUNICATIONS

There are none.

11. OTHER BUSINESS

A timeline of January 31, 2025 was given for Committee Members to provide a photo to receive a photo card from the Town of Georgina.

A reminder was given to renew the OACA membership, either by renewing themselves or renewing by sending login information to the Secretary Treasurer of the Committee of Adjustment.

12. NEXT MEETING

The February 3, 2025 meeting is cancelled. The next meeting will be Wednesday, February 19, 2025.

13. ADJOURNMENT

Meeting was adjourned.

John Rogers, Chair

Brianna Raines, Secretary-Treasurer