

# THE CORPORATION OF THE TOWN OF GEORGINA Committee of Adjustment

Wednesday, February 19, 2025 7:30 PM

**Pages** 

#### 1. ROLL CALL

"The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities."

- 2. INTRODUCTION OF ADDENDUM ITEM(S)
- 3. DECLARATION OF PECUNIARY INTEREST
- 4. EXPLANATION OF HEARING PROCEDURE
- REQUESTS FOR DEFERRAL OR WITHDRAWAL
- 6. APPLICATIONS FOR CONSENT
- 7. APPLICATIONS FOR MINOR VARIANCE
  - MINOR VARIANCE APPLICATION A31-24
     909 LAKE DRIVE NORTH
     PLAN 124, LOT 77 AND PART OF LOT 78; CONCESSION 3, PART OF LOT 28
    - 1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A31-24, for the property municipally addressed as 909 Lake Drive North; and,
    - 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff

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#### recommend the following:

- a. That the Committee of Adjustment approve Minor Variance Application A31-24 to permit relief from the following:
  - Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;
  - ii. <u>Section 5.1(f):</u> To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;
- b. That the approval of Minor Variance Application A31-24 be subject to the following term(s):
  - That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0009, in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application A31-24 be subject to the following condition(s):
  - Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that a deeming by-law has been registered on title;
  - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0009 have been addressed to the Division's satisfaction; and
  - iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

## 2. 2353 BASELINE ROAD CONCESSION 4, PART OF LOT 23

- 1. That the Committee of Adjustment receive Report No. DS-2025-0010 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A34-24, for the property municipally addressed as 2353 Baseline Road.
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A34-24 to permit the following:
    - i. the expansion and replacement of a legal nonconforming single detached dwelling.

- b. That the approval of Minor Variance Application A34-24 be subject to the following term(s):
  - i. That the proposed replacement of a single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0010, in accordance with the relief recommended to be approved in Recommendation 2(a).
- c. That the approval of Minor Variance Application A34-24 be subject to the following condition(s):
  - Submission to the Secretary-Treasurer of written confirmation from The Lake Simcoe Regional Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction;
  - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction; and
  - iii. That the above notes conditions be fulfilled within two(2) years of the date of Notice of Decision.
- 8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS
- 9. MINUTES OF PREVIOUS MEETING
  - 1. January 20, 2025 meeting minutes
- 10. COMMUNICATIONS
- 11. OTHER BUSINESS
- 12. NEXT MEETING

The next meeting is March 3, 2025.

13. ADJOURNMENT

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#### THE CORPORATION OF THE TOWN OF GEORGINA

#### **REPORT NO. DS-2025-0009**

# FOR THE CONSIDERATION OF COMMITTEE OF ADJUSTMENT February 19, 2025

SUBJECT: MINOR VARIANCE APPLICATION A31-24 909 LAKE DRIVE NORTH

PLAN 124, LOT 77 AND PART OF LOT 78; CONCESSION 3, PART OF

**LOT 28** 

#### 1. RECOMMENDATIONS:

- 1) That the Committee of Adjustment receive Report No. DS-2025-0009 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A31-24, for the property municipally addressed as 909 Lake Drive North; and,
- 2) That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a) That the Committee of Adjustment approve Minor Variance Application A31-24 to permit relief from the following:
    - i) <u>Section 5.1(f):</u> To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;
    - ii) <u>Section 5.1(f)</u>: To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;
  - b) That the approval of Minor Variance Application A31-24 be subject to the following term(s):
    - That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0009, in accordance with the relief recommended to be approved in Recommendation 2a);
  - c) That the approval of Minor Variance Application A31-24 be subject to the following condition(s):

- Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that a deeming by-law has been registered on title;
- ii) Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters identified in Attachment 4 to Report No. DS-2025-0009 have been addressed to the Division's satisfaction; and
- iii) That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

#### 2. PURPOSE:

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application A31-24 for the property located at 909 Lake Drive North regarding the construction of a detached garage with an additional dwelling unit above.

#### 3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)

909 Lake Drive North

Plan 124. Lot 77 and Part of Lot 78 and Concession 3

Part of Lot 28 Roll #: 123-3580

#### PROPOSAL

The owner of the subject property is proposing to construct a detached dwelling and an accessory structure (detached garage with additional dwelling unit) on the subject lands. It must be noted that no relief to the by-law has been requested for the proposed detached dwelling.

A Minor Variance application has been submitted concerning the proposal, requesting the following relief for the proposed accessory structure:

- i) <u>Section 5.1(f):</u> To permit a detached accessory building with a height to the roof peak of 7.15 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres.
- ii) <u>Section 5.1(f):</u> To permit a detached accessory building with a height to the eaves of 5.35 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres.

A Site Sketch and building plans showing the proposal and the requested relief are included as Attachment 2.

#### 3.1 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 909 Lake Drive North. A summary of the characteristics of the property is as follows:

General Property Information	General Property Information				
Municipal Address	909 Lake Drive North				
Zoning	Residential (R) Zone				
Frontage	23.1 Metres				
Area	2,314.8 Square Metres				
Official Plan /	Serviced Lakeshore Reside	ential Area			
Secondary Plan Land Use					
Designation					
Regional Official Plan Land	Rural Area				
Use Designation					
Related Applications	Deeming By-law (DEEM-2025-0001)				
Land Use and Environmental Considerations					
Existing Structures	Single Detached Dwelling,				
	and sheds (proposed to be	,			
Proposed Structures	Single Detached Dwelling and Detached				
	Garage with Additional Dwe	<u> </u>			
Heritage Status	Neither listed nor designate	ed			
Regulated by LSRCA	Yes, Partially (Front Yard)				
Key Natural Heritage Features	None				
Natural Hazards	None				
Servicing	Servicing				
	<u>Existing</u>	<u>Proposed</u>			
Water	Municipal	Municipal			
Sanitary	Municipal	Municipal			
Access	Existing driveways	Existing driveways			

#### 4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

#### 4.1 PUBLIC CIRCULATION

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on February 3, 2025, to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

#### 4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application A31-24 are outlined below.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan, including existing and proposed entrances, prepared by a Professional Engineer or an Ontario Land Surveyor (Attachment 4).

As the existing lot is located on more than one lot on a registered plan of subdivision, the Development Planning Division will require a Deeming By-law in order to merge the lots together to construct the single detached dwelling and accessory structure on the subject property. The owner has submitted a related Deeming By-law application for the property.

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance:

- Plumbing / Building Inspector, Building Department
- Economic Development and Tourism Division
- Georgina Fire Department
- Lake Simcoe Region Conservation Authority
- Ministry of Transportation
- Tax and Revenue
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

#### 5. ANALYSIS:

The following evaluation of Minor Variance Application A31-24 is based on the four (4) prescribed tests as set out in Section 45(1) of the *Planning Act*:

i. Is the general intent and purpose of the Official Plan maintained? - Yes

The subject property is designated Serviced Lakeshore Residential in the Town's Official Plan. Single detached dwellings and accessory buildings, structures and uses thereto are permitted in this designation.

Staff are of the opinion that the proposal maintains the general intent and purpose of the Official Plan.

ii. Is the general intent and purpose of the Zoning By-law maintained? – Yes

The subject property is zoned Residential (R) Zone on Map 4 of Schedule 'A' to Zoning By-law No. 500, as amended. A single-detached dwelling and accessory

structures are permitted in the R zone. The proposed variances to seek relief to the building height requirements for accessory building structures, no other relief to the By-law is requested.

#### a. Accessory Structure Height

Section 5.1 (f) of Zoning By-law No. 500, as amended, permits a maximum height of 4.5 metres to the eaves and 6.0 metres from the average grade to the highest point of the structure for accessory structures on lots 600 square metres or greater. The Applicant has requested relief to allow a maximum height of 7.15 metres to the peak and 5.35 metres to the eaves.

The intent of the maximum height to the peak and the eaves is to limit adverse shadowing and visual impact, provide for neighbouring properties and ensure accessory buildings are subordinate in size to the main building.

Staff note that the requested height exceeds the permitted height by 1.15 metres to the peak and 0.85 metres to the eave and is to provide to give space for the garage and additional dwelling unit above the garage. It must be noted that the proposed single detached dwelling will comply with the zoning by-law and will be approximately 10.4 metres height.

It is noted that the proposed accessory structure will back onto the Eastbourne Golf Course and have access through an existing private lane on Eastbourne Drive. Given the location of the proposed accessory structure is well separated from existing dwellings on neighbouring lots, staff are satisfied that there will be no adverse visual impacts to the street and neighbouring properties.

Staff are of the opinion that the proposed variance maintains the general intent and purpose of Zoning By-law 500, as amended.

iii) Is the Minor Variance desirable for the appropriate development of the property or use of land, building or structure? – Yes

The proposed accessory structure is in keeping with the existing physical character of the neighbourhood as the area generally consists of various lot sizes with single detached dwellings located along Lake Drive North and accessory structures generally located in the rear yard along Eastbourne Drive

Staff are satisfied that the proposal is desirable for the appropriate development of the subject land and surrounding neighbourhood.

iv) Is the relief sought minor in nature? – Yes

In considering whether the relief sought is minor, Staff note that this test is not simply a question of numerical value. The principal consideration is that of the potential impact the variance may have and whether those impacts are minor or

acceptable. In light of the above evaluation of the application, Staff are of the opinion that the requested variance is minor in nature.

#### 6. **CONCLUSION**:

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application A31-24, as it pertains to the proposed accessory structure, meets the four (4) prescribed tests as set out in Section 45(1) of the Planning Act, R.S.O. 1990 and represents good planning.

## **APPROVALS:**

Prepared by: Monika Sadler

Planner I

Approved By: Jeff Healey, MCIP, RPP

Supervisor of Development Planning

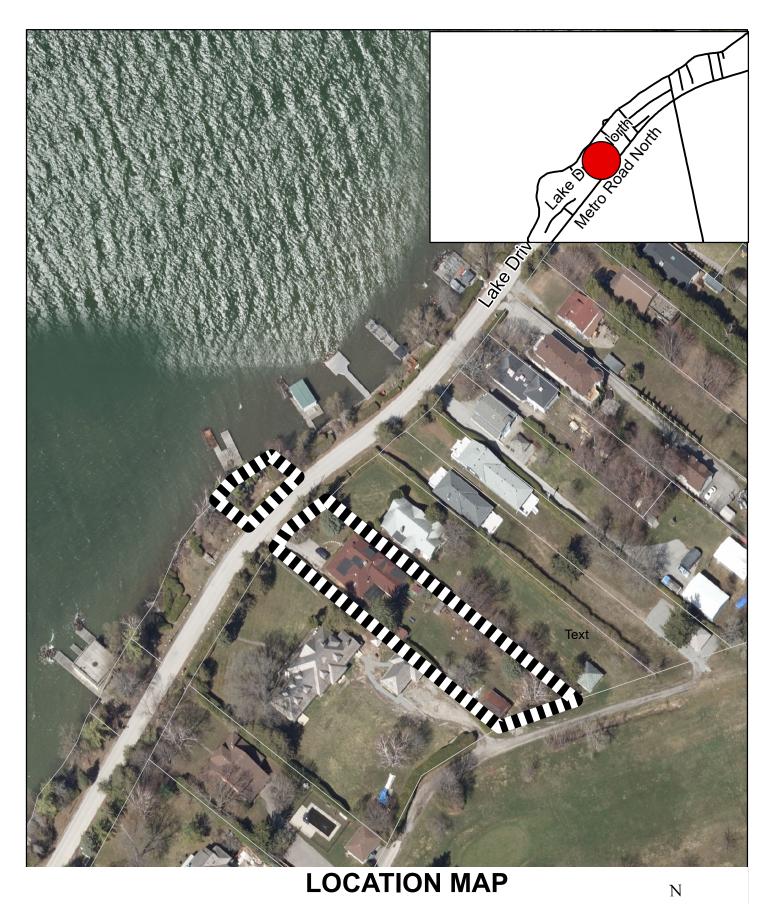
#### Attachments:

Attachment 1 – Location Map

Attachment 2 - Site Plan

Attachment 3 – Site Photos

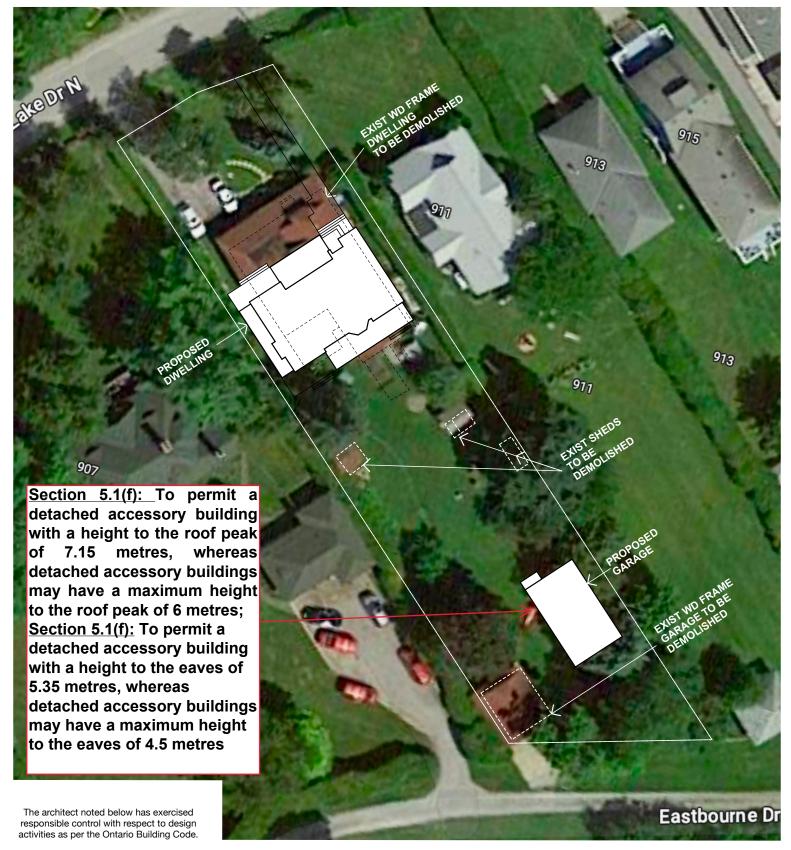
Attachment 4 – Comments





0 12.5 25 50 Meters

Attachment 1
A31-24
(909 Lake Drive North)
Page 1 of 1





**Proposed Dwelling & Detached Garage** 909 Lake Dr. N., Georgina, Ont.

Drawing Title:

**Birds Eye View** 

PAUL ROTH ARCHITECT INC

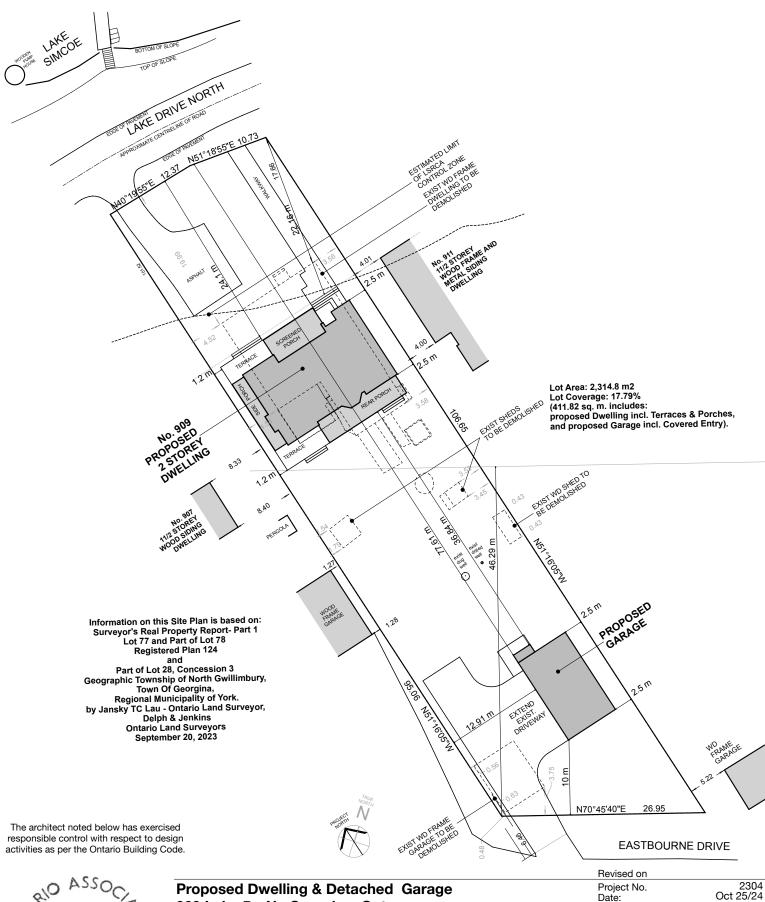
272 Riverside Drive Toronto M6S 4B2 T: 416 529 0118 F: pull other hier @gmail.com Certificate of Practice Number: 4939

Revised on

2304 Oct 25/24 Project No. Date:

Drawing No.

Attachment 2 A31-24 (909 Lake Drive North) Page 1 of 7





**Proposed Dwelling & Detached Garage** 909 Lake Dr. N., Georgina, Ont.

Drawing Title:

Site Plan

**PAUL ROTH** ARCHITECT INC.

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Attachment 2 A31-24 (909 Lake Drive North) Page 2 of 7

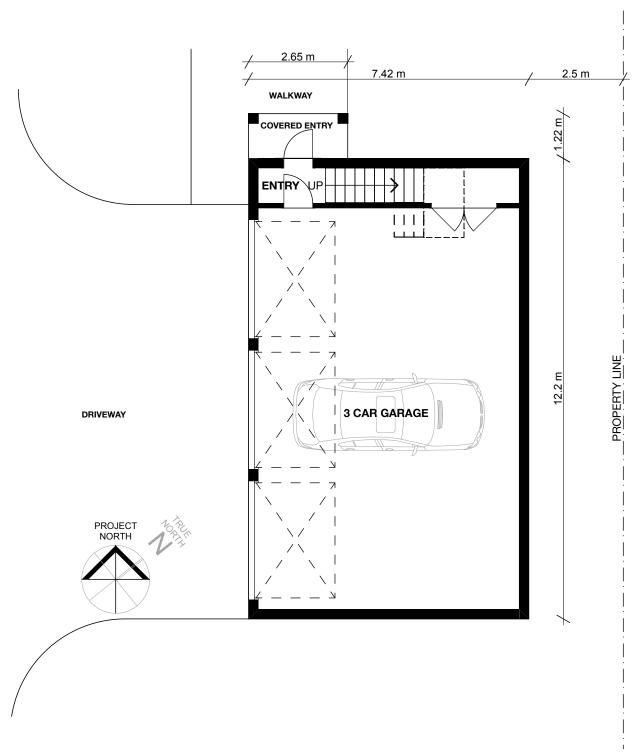
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Project No. Date:

Drawing No.

Scale:



The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



	Revised on	
Proposed Dwelling & Detached Garage	Project No. Date:	2304 Oct 25/24
909 Lake Dr. N., Georgina, Ont.	Scale:	1:100

Drawing Title: Drawing No.

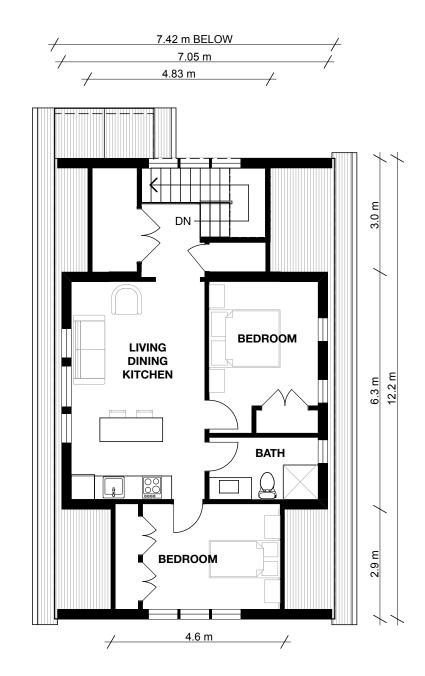
Garage Ground Floor Plan

PAUL ROTH

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Attachment 2 A31-24 (909 Lake Drive North) Page 3 of 7

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The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.

PROJECT NORTH

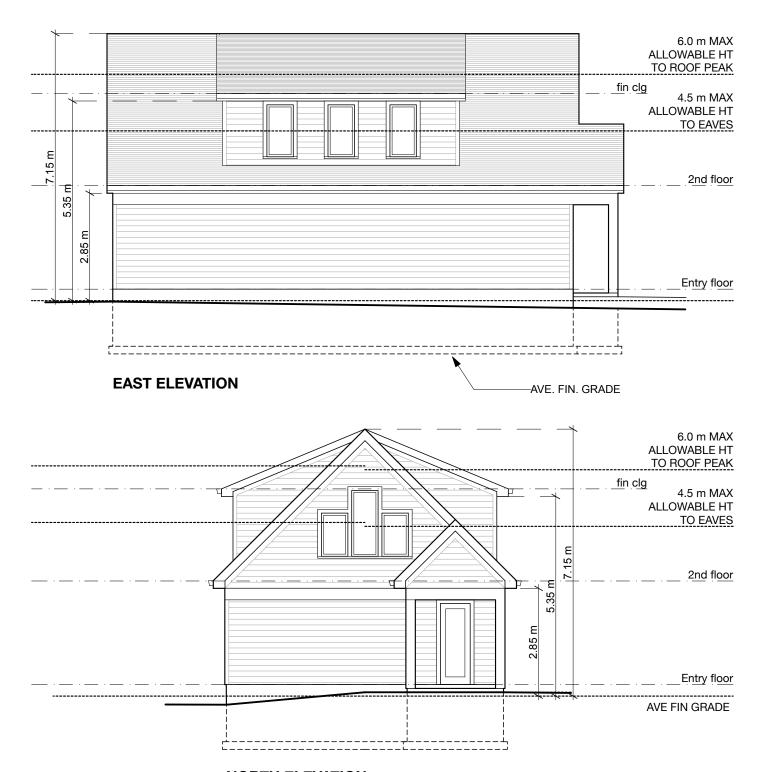


	Revised on	
Proposed Dwelling & Detached Garage 909 Lake Dr. N., Georgina, Ont.	Project No. Date: Scale:	2304 Oct 25/24 1:100
Drawing Title:	Drawing No.	
Garage Second Floor Plan		9

PAUL ROTH ARCHITECT INC

272 Riverside Drive Toronto M6S 4B2 Certificate of Practice Number: 4939

Attachment 2 A31-24 (909 Lake Drive North) Page 4 of 7



#### **NORTH ELEVATION**

The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



	Hevisea on	
Proposed Dwelling & Detached Garage	Project No. Date:	2304 Oct 25/24
909 Lake Dr. N., Georgina, Ont.	Scale:	1:100
Drawing Title:	Drawing No.	

rawing Title:

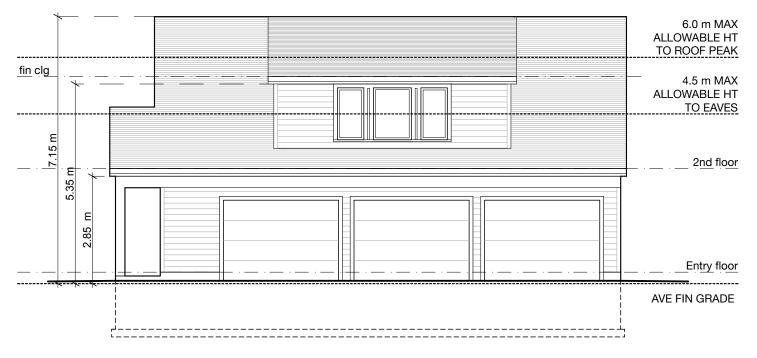
Garage Elevations

PAUL ROTH ARCHITECT INC.

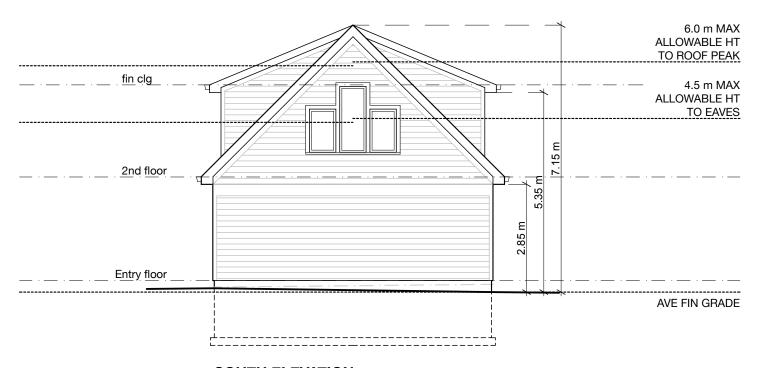
272 Riverside Drive Toronto M6S 4B2 Certificate of Practice Number: 4939

Attachment 2 A31-24 (909 Lake Drive North) Page 5 of 7

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#### **WEST ELEVATION**



#### **SOUTH ELEVATION**

The architect noted below has exercised responsible control with respect to design activities as per the Ontario Building Code.



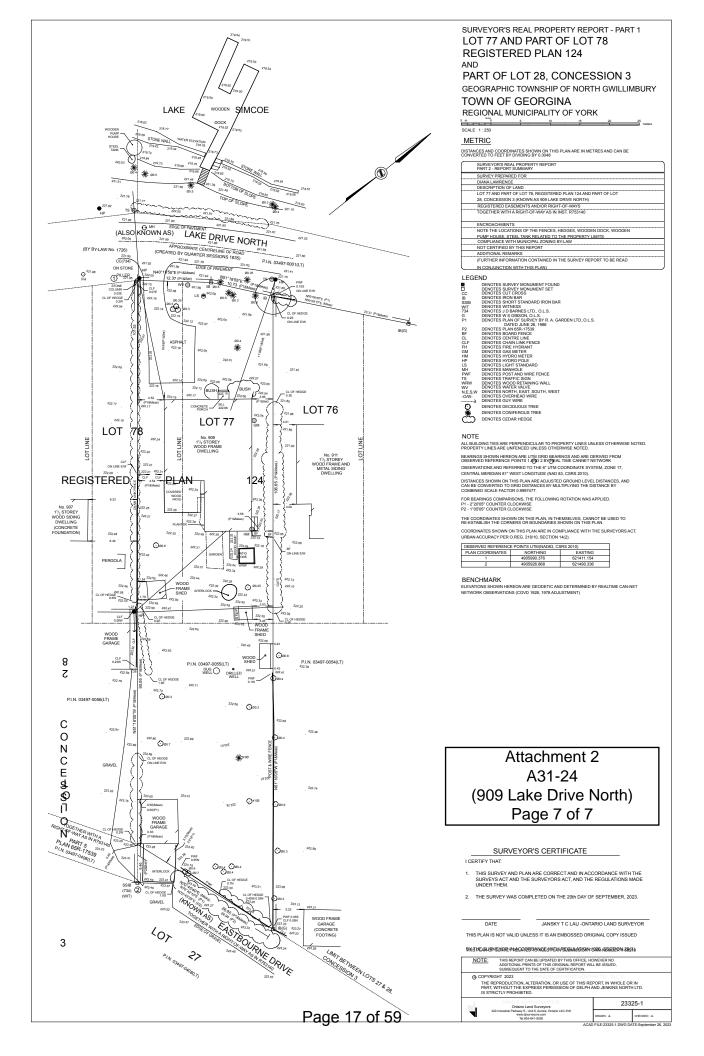
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Proposed Dwelling & Detached Garage	Project No. Date:	2304 Oct 25/24
909 Lake Dr. N., Georgina, Ont.	Scale:	1:100
Drawing Title:	Drawing No.	

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Garage Elevations

PAUL ROTH ARCHITECT INC.

272 Riverside Drive Toronto M6S 4B2 T: 416 52 Po 118 E: prutothar hiteg@gmail.com Certificate of Practice Number: 4939 Attachment 2 A31-24 (909 Lake Drive North) Page 6 of 7 11

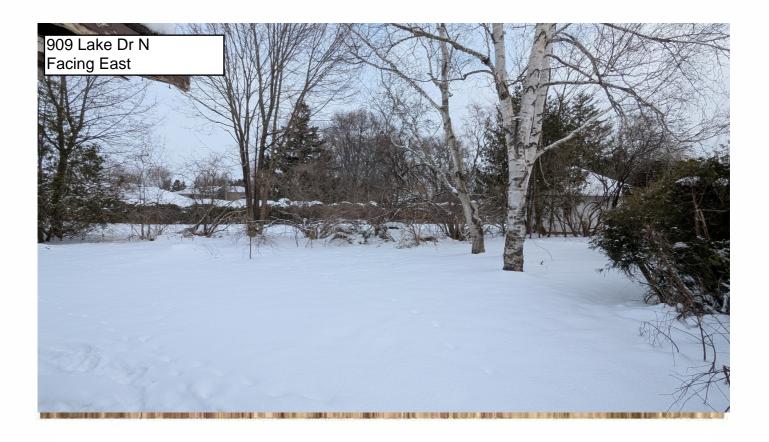


# Site Photos





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**To:** Brianna Raines, Secretary Treasurer - Committee of Adjustments

From: Michelle Gunn, Development Engineering Clerk

cc: Mike lampietro, Manager, Development Engineering

Cory Repath, Sr. Development Inspector

Vikum Wegiriya, Jr. Development Technologist Matthew DeLuca, Jr. Development Inspector Laura Taylor, Operations Administrative Assistant

**Date:** January 28<sup>th</sup>, 2025

**Re:** MINOR VARIANCE A31-24

909 Lake Drive North

PLAN 124 LOT 77 PT LOT 78; CON 3 PT LOT 28

ROLL NO.: 123-3580

The Development Engineering Division has no objection to Minor Variance Application No. A31-24, subject to the following condition(s) being fulfilled to the Engineering Development Division's satisfaction:

- The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
  - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.

#### THE CORPORATION OF THE TOWN OF GEORGINA

#### **REPORT NO. DS-2025-0010**

# FOR THE CONSIDERATION OF COMMITTEE OF ADJUSTMENT February 19, 2025

SUBJECT: MINOR VARIANCE APPLICATION A34-24 2353 BASELINE ROAD CONCESSION 4, PART OF LOT 23

#### 1. RECOMMENDATION:

- 1. That the Committee of Adjustment receive Report No. DS-2025-0010 prepared by the Development Planning Division, Development Services Department, dated February 19, 2025, respecting Minor Variance Application A34-24, for the property municipally addressed as 2353 Baseline Road.
- 2. That in the event no public or Committee concerns are raised at the meeting warranting investigation and a further meeting, Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A34-24 to permit the following:
    - i. the expansion and replacement of a legal non-conforming single detached dwelling.
  - b. That the approval of Minor Variance Application A34-24 be subject to the following term(s):
    - i. That the proposed replacement of a single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0010, in accordance with the relief recommended to be approved in Recommendation 2(a).
  - c. That the approval of Minor Variance Application A34-24 be subject to the following condition(s):
    - Submission to the Secretary-Treasurer of written confirmation from The Lake Simcoe Regional Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction;
    - ii. Submission to the Secretary-Treasurer of written confirmation from the Development Engineering Division that all matters

## identified in Attachment 4 to Report No. DS-2025-0010 have been addressed to the Division's satisfaction; and

iii. That the above notes conditions be fulfilled within two (2) years of the date of Notice of Decision.

#### 2. PURPOSE:

The purpose of this report is to provide Staff's analysis concerning Minor Variance Application A34-24 regarding the expansion and replacement of one of the legal non-conforming single detached dwelling.

#### 3. BACKGROUND:

Property Description: (refer to Attachments 1 to 3)

2353 Baseline Road

Concession 4, Part of Lot 23

Roll #: 109-810

#### 3.1 PROPOSAL

A single-detached dwelling located on the subject lands has been demolished and has been replaced with an enlarged detached dwelling. The applicant has applied for a building permit to rectify the above-noted works and requires a minor variance due to the expansion and replacement of the detached dwelling.

The current zoning by-law does not permit multiple detached dwellings in this zone. The applicant has provided satisfactory documentation that the dwellings predate the zoning by-law and are consequently considered legal non-conforming.

The applicant requests the Committee of Adjustment to exercise their power granted in Section 45(2)(a)(i) of the Planning Act to permit:

i. <u>Expansion of a Legal Non-Conforming Use:</u> To permit the expansion and replacement of a single detached dwelling.

A Site Sketch showing the proposed minor variance is included as Attachment 3.

#### 3.2 SUBJECT PROPERTY AND THE SURROUNDING AREA:

The subject property is located at 2353 Baseline Road. A summary of the characteristics of the property is as follows:

General Property Information			
Municipal Address	2353 Baseline Road		
Zoning By-law 500	Rural (RU) Zone		

Zoning By-law 600	Agricultural Protection (AP) Environmental Protection (	
Frontage	255.50 Metres	
Area	20,318.24 Square Metres	
Official Plan /	Agricultural Protection Area	a and Environmental
Secondary Plan Land Use	Protection Area	
Designation		
Regional Official Plan Land	Agricultural Area	
Use Designation		
Related Applications	None	
Land Use and Environmental Co	onsiderations	
Existing Structures	Two single detached dwelli	ngs
Proposed Structures	One single detached dwelli	ng
Heritage Status	Neither listed nor designate	ed
Regulated by LSRCA	Yes, Partially	
Key Natural Heritage Features	None	
Natural Hazards	None	
Servicing		
	<u>Existing</u>	<u>Proposed</u>
Water	Private	Private
Sanitary	Private	Private
Access	Driveway	Driveway

#### 4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

#### 4.1 PUBLIC CIRCULATION

In accordance with the provisions of the *Planning Act*, the Notice of Hearing for the subject application was sent by mail on February 3, 2025 to all landowners within 60.0 metres of the subject property.

As of the date of writing this report, Town Staff have not received any submissions from the general public.

#### 4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

All Town department and external agency comments for Minor Variance Application A34-24 are outlined below.

The Plumbing / Building inspector has indicated no objects and advises the Applicant that the septic system for the building will need to be assessed by an engineer since it has not been in use since 2018. The septic system must be assessed prior to issuance of any building permits.

The Lake Simcoe Region Conservation Authority (LSRCA) has indicated no objections and requires, as a condition of the minor variance, that the applicant / owner

pay the LSRCA Plan Review Fee in accordance with the LSRCA fee schedule (Attachment 4). The LSRCA also advises the applicant / owner that any future development or site alteration located in the regulated portion of the property will require a LSRCA permit.

The Development Engineering Division has indicated no objection and requires, as a condition of the minor variance, that the applicant / owner provide a detailed grading and drainage plan including existing and proposed entrances prepared by a Professional Engineer or an Ontario Land Surveyor (Attachment 4).

The following Town departments / divisions and external agencies have indicated no objections to the Minor Variance.

- Economic Development and Tourism Division
- Georgina Fire Department
- Ministry of Transportation
- Tax and Revenue Division
- York Region

A number of external agencies and Town departments / divisions have not provided comments.

#### 5. ANALYSIS:

Expansion of a Legal Non-Conforming Use – Section 45(2)(a)(i) of the Planning Act:

The Owner seeks to expand the legal non-conforming single detached dwelling with larger replacement dwellings through the powers granted to the Committee of Adjustment under Section 45(2)(a)(i) of the *Planning Act*.

This section allows the Committee to permit the enlargement or extension of a building or structure containing a legal non-conforming use if the use within the building or structure that existed on the day the Zoning By-law was passed continued until the date of the application to the Committee. However, no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the Zoning By-law was passed.

The Owner has provided the Town with sufficient documentation that the dwelling existed prior to the day the Town introduced a comprehensive Zoning By-law (Zoning By-law No. 911 was passed by Council on May 9, 1977) and that the dwelling uses have continued to this day. The dwellings will be rebuilt within the limits of the property.

The former Local Planning Appeal Tribunal (LPAT) provided the following evaluation tests for reviewing applications for expansion under Section 45(2)(a)(i) of the Planning Act:

- 1. Whether the application is desirable for appropriate development of the subject property.
- 2. Whether the application will result in undue adverse impacts on the surrounding properties and neighbourhood.

The dwelling was demolished circa 2019. Construction of an enlarged dwelling began shortly afterwards on the same location as the original dwelling. The enlarged dwelling remained partially constructed for a few years and the exterior works were completed circa 2023. The applicant is currently seeking a building permit to legalize the works that have occurred to the dwelling.

The dwelling has expanded approximately 50.26 square metres and is located the same setback distance from the roadway (Baseline Road). The detached dwelling has expanded approximately 2.5 metres to the south and meets all the required setbacks set out in Zoning By-laws 500 and 600, as amended. The enlarged dwelling is of an appropriate size for the rural nature of the property. Furthermore, the dwelling is generally compatible with the dwelling sizes and uses of neighbouring rural properties.

Staff are of the opinion that the application is desirable for appropriate development of the subject property and that the application will not result in undue adverse impacts on the surrounding properties and neighbourhood.

#### 6. **CONCLUSION:**

Subject to the recommendations by Staff in Section 1 of this report, Staff are of the opinion that Minor Variance Application A34-24, as it pertains to the expansion of the legal non-conforming single detached dwelling, is appropriate and represents good planning.

#### APPROVALS:

Prepared by: Monika Sadler

Planner I

Approved By: Jeff Healey, MCIP, RPP

Supervisor of Development Planning

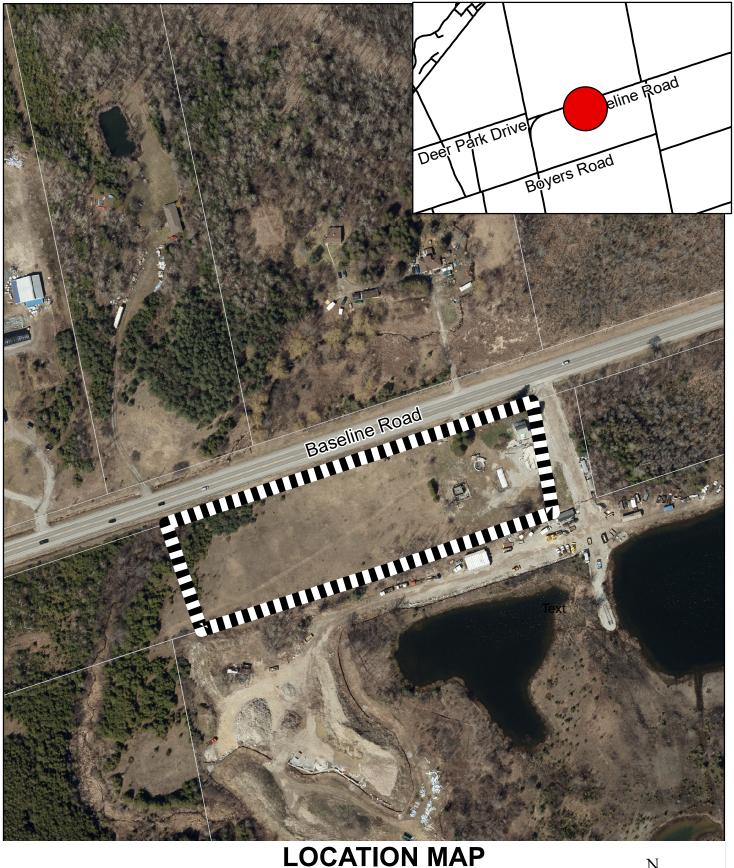
Attachments:

Attachment 1 – Location Map

Attachment 2 – Site Photos

Attachment 3 - Site Plan and Elevations

Attachment 4 - Comments



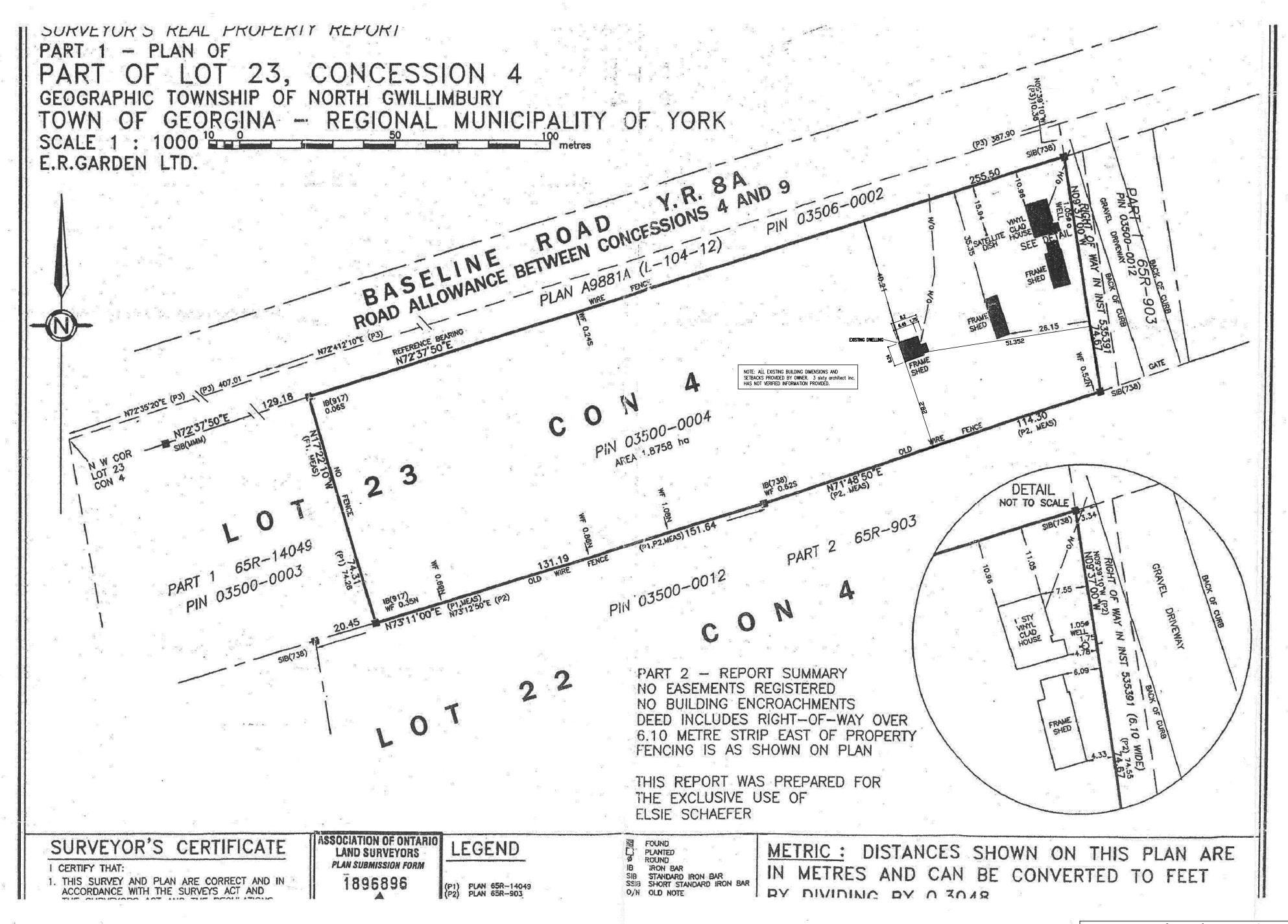


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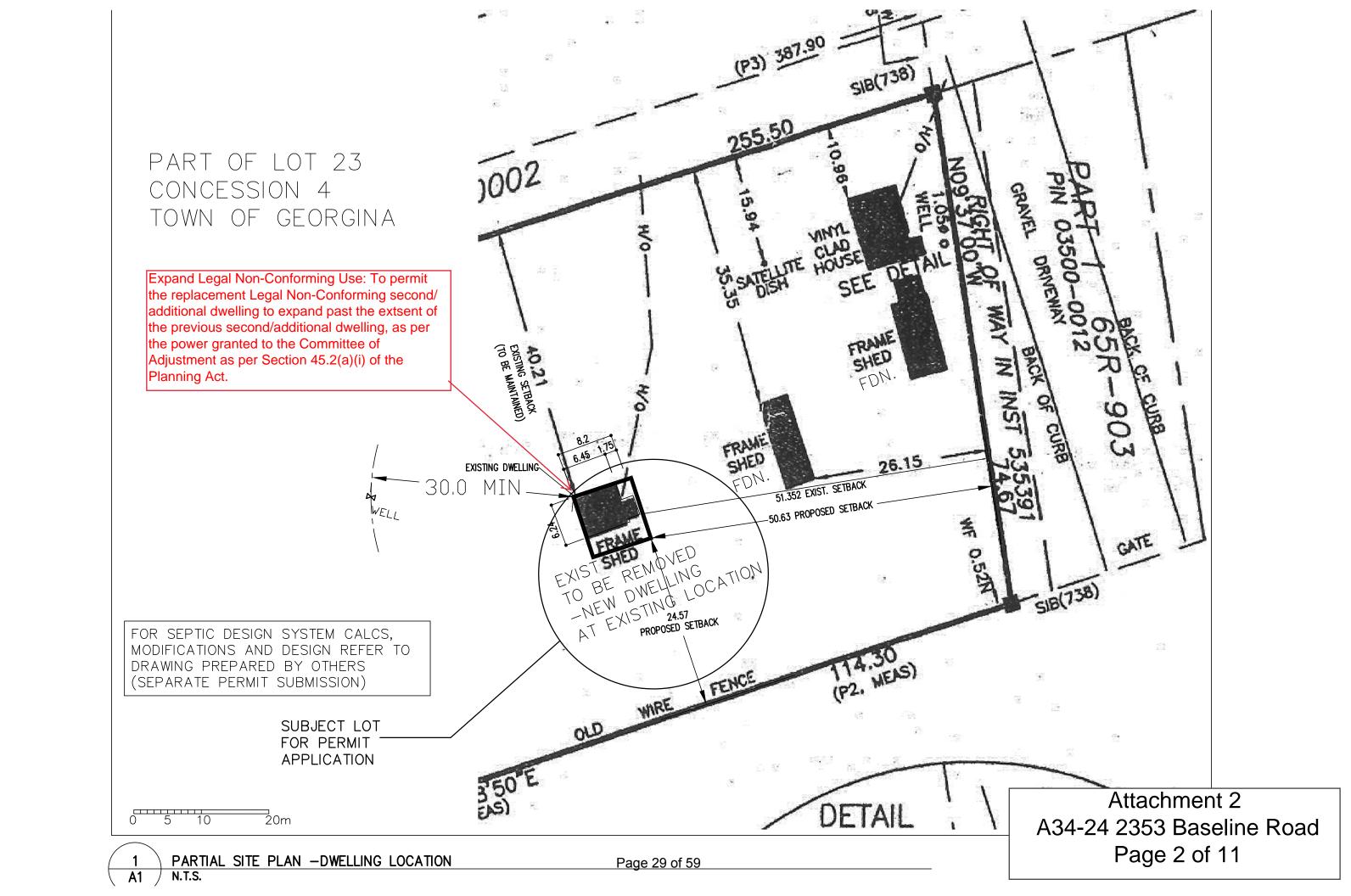




Attachment 1 A34-24 2353 Baseline Road Page 1 of 1

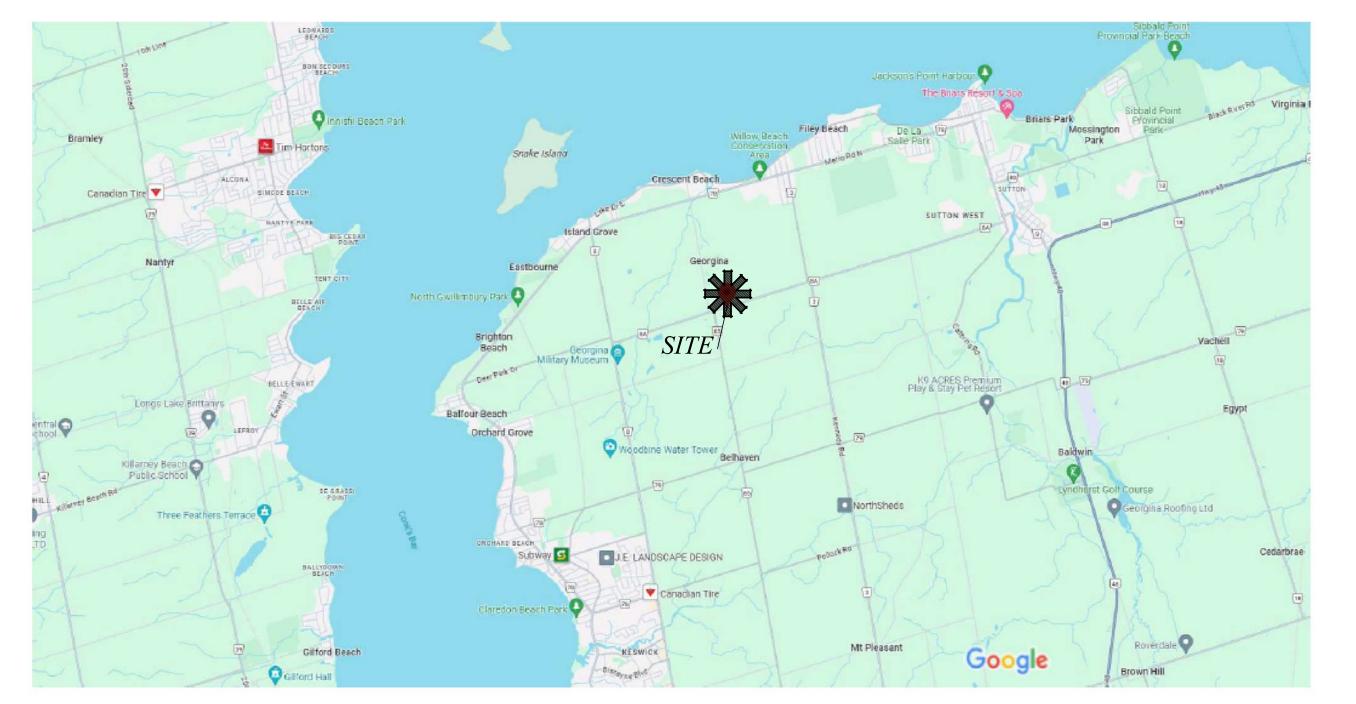


Attachment 2
A34-24 2353 Baseline Road
Page 1 of 11



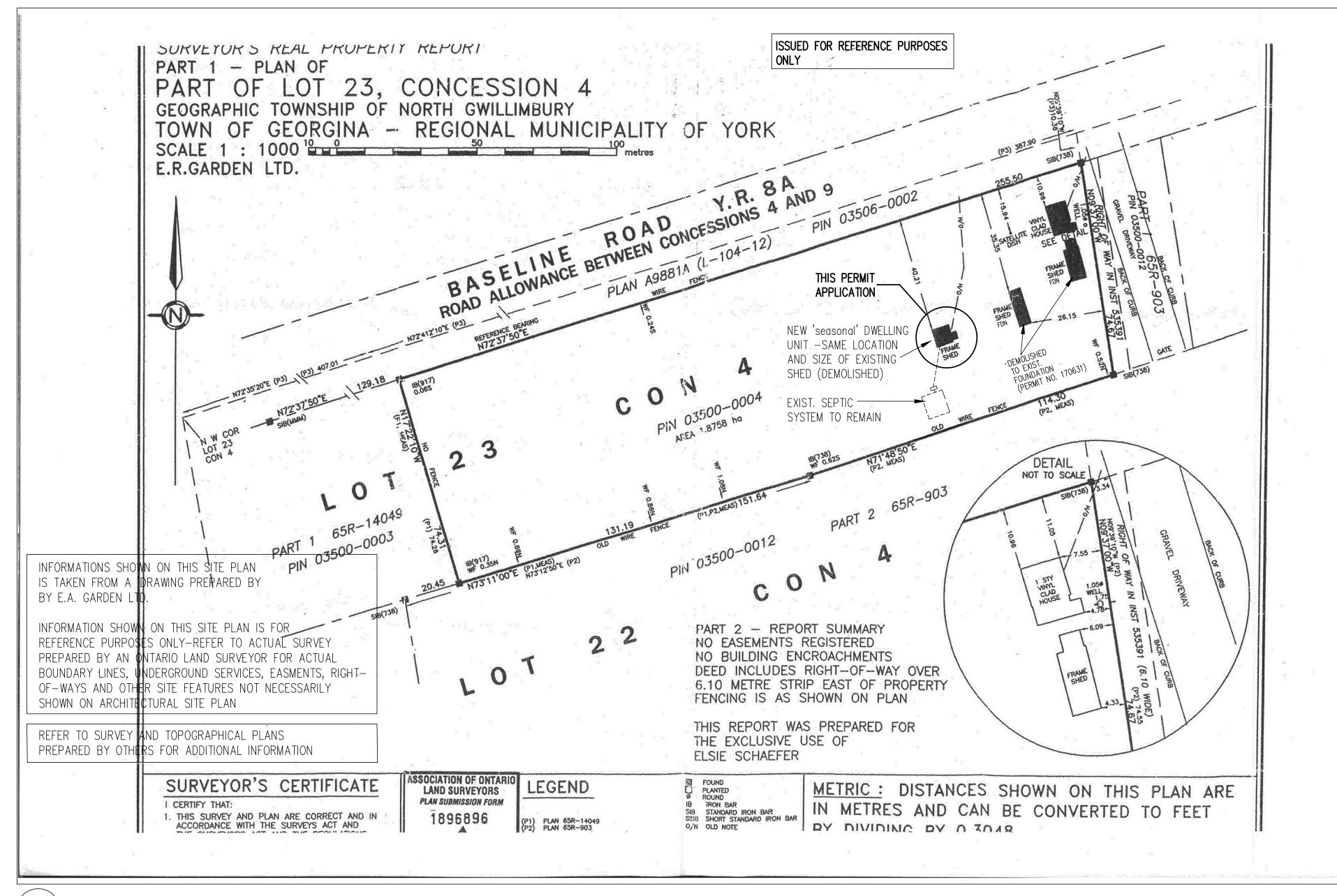
# Proposed Additional Dwelling Unit

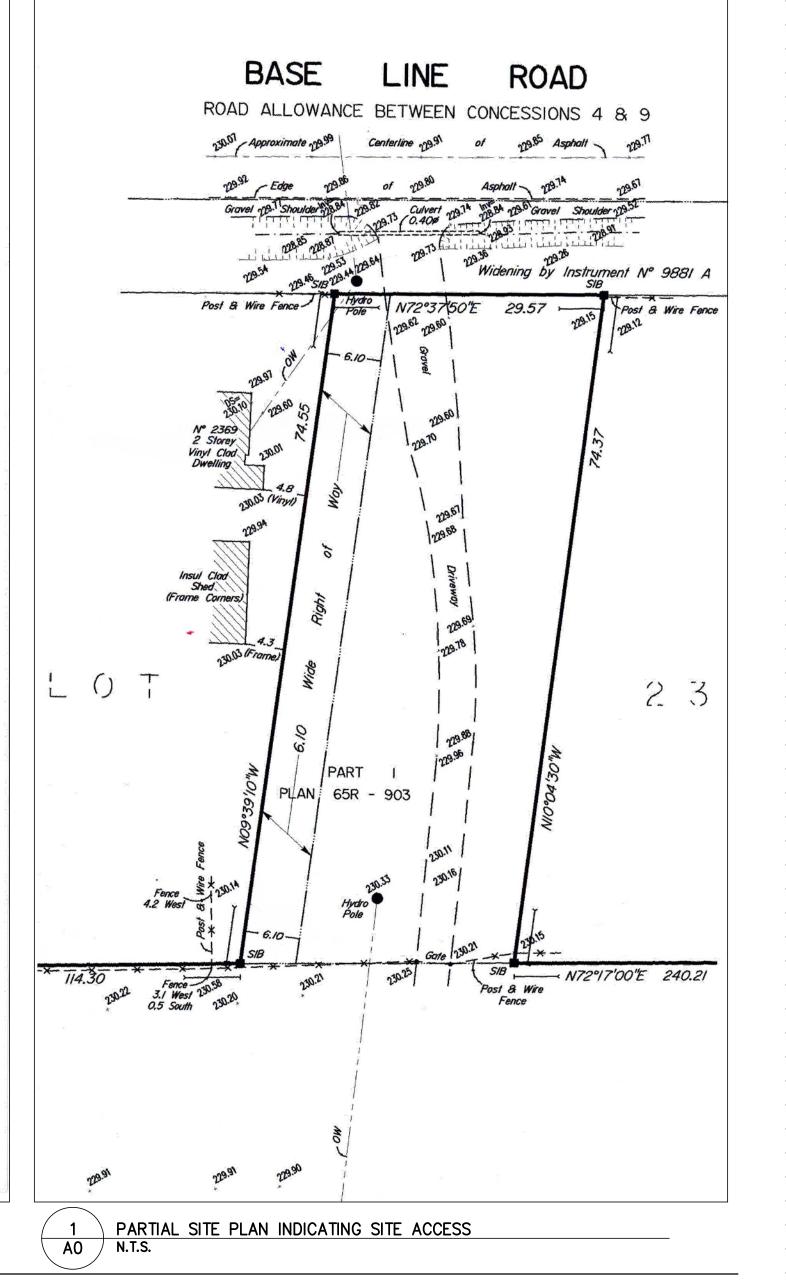
2353 Baseline Road
Conc. 4, Part of Lot 23
Town of Georgina,
Keswick, Ontario



Map data @2023 Google 1 km

KEY PLAN (NOT TO SCALE)





DIAMINGS MOST NOT BE SCA

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAMUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS.

THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND EPPORS OR OMISSIONS TO THE APCHIECT IN WRITING

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHE TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISITING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK

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).	DATE:	REVISION
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- 2 Apr 9/2024 ISSUED TO OWNER FOR PERMIT SUBMISSION
- 3 July 24/2024 Revised & Reissued For Permit Submission

Attachment 2
A34-24 2353 Baseline Road
Page 3 of 11



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416-587-1073 647-898-3447

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② @3sixty.architect



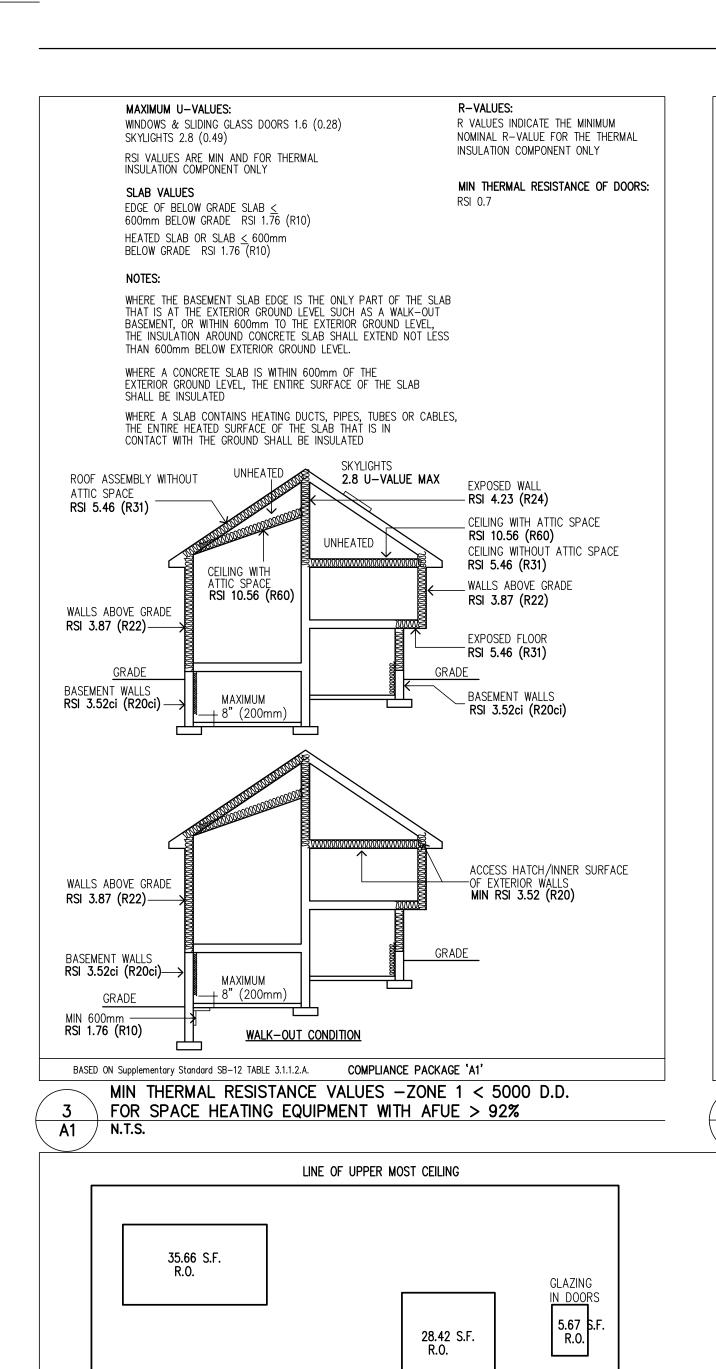


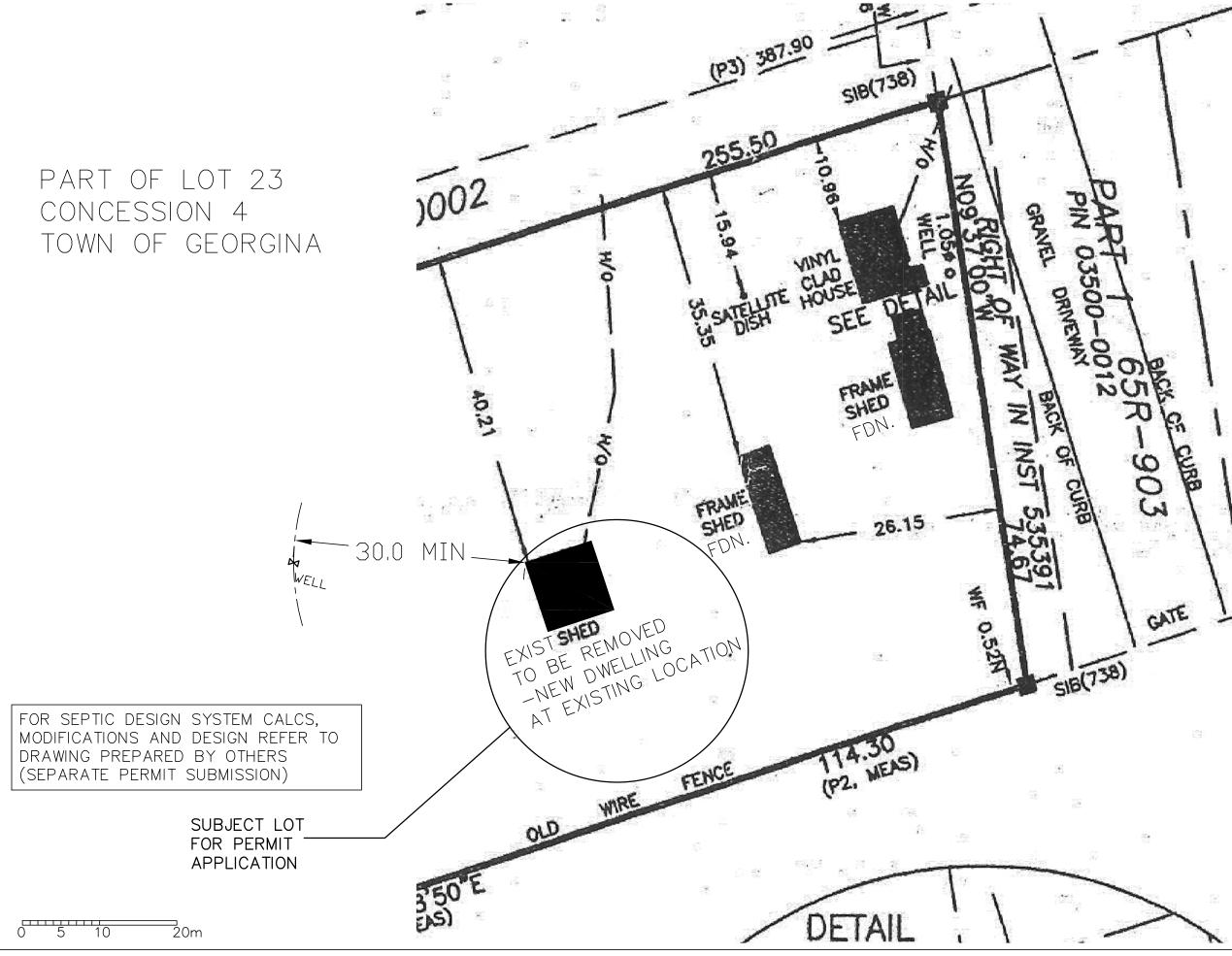
2353 BASELINE ROAD

Proposed ADDITIONAL Dwelling Unit

Town of Georgina, Ontario

	T. SURVEY ACCESS	, KEY	PLAN	0289
SCALE:	AS NOTED	DATE:	Nov. 2023	DRAWING NO.
DRAWN:	FM	CHECKED:	FM	AU





PARTIAL SITE PLAN -DWELLING LOCATION

A1 / N.T.S.

O.B.C. 3.1.1.1. Energy Efficiency

TOTAL AREA OF SIDELIGHTS = 0 sq.ft.

TOTAL AREA OF SKYLIGHTS = 0 sq.ft.

TOTAL AREA OF WINDOWS = 267.27 sq.ft. (24.83 m2)

TOTAL AREA OF SLIDING GLASS DOORS = 0 sq.ft.

TOTAL AREA OF GLASS IN DOORS = 79.30 sq.ft. (7.37 m2)

TOTAL GROSS WALL AREA = 1794.93 sq.ft. (166.75 m2)

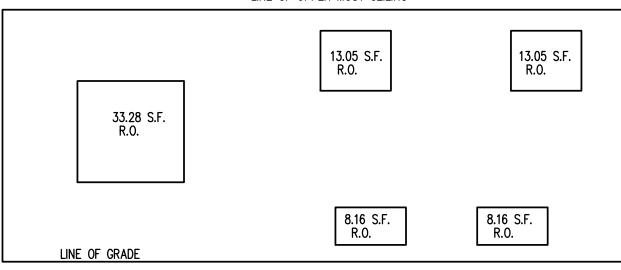
TOTAL WIND/SIDELT/SKYLT/GLASS AREA = 346.57 sq.ft. (32.20 m2)

RATIO = 19.31%

LINE OF UPPER MOST CEILING 6.11 S.F. R.O. IN DOORS 40.58 S.F. R.O. 16.73 S.F. R.O.

TOTAL RATIO OF GLAZED OPENINGS TO GROSS WALL AREA

GROSS WALL AREA & OPENINGS



GROSS WALL AREA & OPENINGS

DIAGRAMATIC ELEVATION STUDY -GROSS WALL & GLAZED OPENING AREAS 3/16"=1'-0"

GROSS WALL AREA & OPENINGS

AREA OF WALL = 487.18 S.F.

AREA OF WINDOWS/GL. IN DOORS = 137.68 sq.ft.

ELEVATION

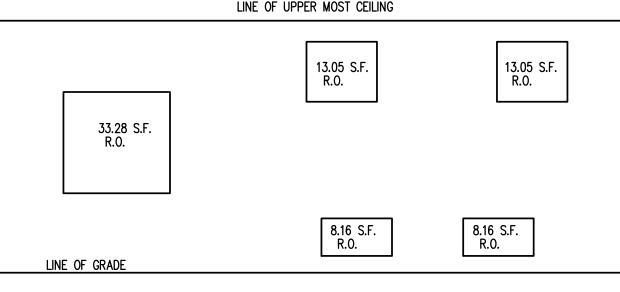
40.44 S.F.

18.58 S.F. R.O.

LINE OF UPPER MOST CEILING

AREA OF WINDOWS/GL. IN DOORS = 63.43 sq.ft. AREA OF WALL = 405.33 S.F.

LINE OF UPPER MOST CEILING



AREA OF WINDOWS/GL. IN DOORS = 75.71 sq.ft. AREA OF WALL = 492.33 S.F.

3 SIXTY architect inc. Certificate of Practice Number: 4197

175 STAVE CRESCENT, Richmond Hill, ON L4C 0S8 TEL: 416 • 284 • 1073 FAX: 416 • 284 • 1908 **E-MAIL:** 3sixty@3sixtyarchitect.ca NAME OF PROJECT: 2353 Baseline Road

2353 Baseline Road Part of Lot 23 Concession 4 Town of Georgina, Ontario

			Or	ntarios	2006 Buil	ding Code					eference
					atrix Parts				Ц_	References are to Di (A) for Division A or	vision B unless noted (C) for Division C
	PROJEC <sup>*</sup>	T DESC	RIPTION		I <b>X</b> I NE			IPART 11	□ P/	ART 3	D <b>X</b> I PART
1				□AL	DDITION TERATION		1 to 11.4	1.1.2.	(A)	1.1.2.(A) 9.10.1.3.	
2	MAJOR	AJOR OCCUPANCY(S)  CHANGE OF USE  Residential Occupancy								1.(1)	9.10.1.3.
3	BUILDIN		<u>`</u>	STING:	- Troolag	NEW:	TC	OTAL:	1 4 1		1.4.1.2.(A
4	GROSS	AREA:	EXI	STING:		95.70 i NEW: 95.70 i	m2 TO	95.70 m	2		·
_	אס סד	95.70 m2 95.70 m2						_		1.4.1.2.(A	
5					ter Access		ELUW GRAL	DE: <b>1</b>		1 & 1.4.1.2.(A) 10 & 3.2.5	9.10.4 & 1.4.1.2 9.10.20
7	Building (					C Residen	tial Occ	upancy		20-83	9.10.2
8	Sprinkle	r Syster	m Propo	sed	□ entire	building (EX ted compartm ted floor ared nent only [	ISTING) nents is		3.2.1. 3.2.2.	17	9.10.8.2 INDEX
					i <b>X</b> inot r		⊐iii iieu	or root radiii	y INDEA		INDEX
9	Standpip	•				□ Yes 🕱	]No		3.2.9		N/A
	Fire Ala			- A I	1 _		]No		3.2.4		9.10.18.
	Water S High Bu		oupply is	s Adequ	are		]No ]No		3.2.5. 3.2.6	/	N/A N/A
13	Constru		estriction	ns	□Combi	⊥tes <b>∡</b> ustible □Nor		stible 🗓 Bot		20-83	9.10.6.
-					permit	ted req	uired			<del>-</del>	
14	Actual ( Mezzani					ustible □Nor	n-combu	stible □Bot		1 (7) (0)	0.40.4.4
15	Occupar			on .	<b>NA</b> □m²/pe	rson	<b>IX</b> 1 design	of building	3.2.1.	1.(3)–(8)	9.10.4.1
. •	Baseme	nt	Occupo		C Load persons			3.1.17.		9.9.1.3.	
	1 <sup>st</sup> Flr (	Grnd)	Occupo	incy	С	Load		persons			
	2 <sup>nd</sup> Flo	or	Occupo	ıncv		Load Load		persons			
	3 <sup>rd</sup> Flo		Occupa	-		Load		persons			
	4th Floo	or	Occupo	ıncy	_	Load		persons	1		
	5th Floo 6th Floo		Occupo Occupo			Load		persons persons	1		
	7th Floo		Occupa		_	Load		persons			
	8th Floo	or	Occupo		-	Load	<u> </u>	persons			
	Barrier-				□Yes	I <b>X</b> INo (Exp	lain) <b>Nf</b>	R 9.5.2.1.(2)	3.8		9.5.2
• •	Hazardo Reguiro			tal Aa	Yes	<b>IX</b> No Liste	d Design	No		& 3.3.1.19	9.10.1.3.(
18	Require Fire		FF	R (Hou			escription		3.2.2.2	20-83 &	9.10.8 9.10.9
	Resisto		Floors	N.							3.10.3
	Ratin	١ ١	Roof Mezzar	nine <b>N</b>							
	(FRR	)	FRR of	suppo	rting	Liste	d Design	No.			
			Floors	embers <b>N</b>		Or De	escription	(SB-2)			
		}	Roof	N.	•						
40			Mezzar	ine <b>N</b>	A Hours	( F. J	1-		7.0-		0.40.43
19		· '	aration f L.D.	- Cons L/H		f Exterior Wal I Proposed	ls FRR	Listed	3.2.3 Comb	Comb.Constr.	9.10.14 Non-comb.
	Wall	Area o EBF (m) <sup>2</sup>	(m)	or H/L	Permitted Max. % o Openings	f % of Openings	(Hours)	Design or Description	Const	Nonc. Cladding	Constr.
	North	_		-	_	_	_				
	South	-	-	_	-	_	-				
	East	-	_	_	_		_				
	West	-	-	-	_	_	-				
20	Other	- Desc	cribe:								

2012 Building Code Data Matrix, Part 3 or 9

			fficiency Design Summ art 9 Residential	ary			Reference andard SB-12
1	COMPLIANCE OPTI	ON	SB-12 Prescriptive		gy Star rGuide 80	3.1.1.	
2	LOCATION		X Zone 1 Less than  ☐ Zone 2 5000 or	5000 heating degre	•	3.1.1.1.	
3	WINDOWS/SIDELIGH SKYLIGHTS/GLAZIN IN DOORS/SLIDING GLASS DOORS	HTS/ NG S	Gross Wall Area = 166 % Window + 19.3		+Area(s) = <b>32.20</b> r	3.1.1.1.(7	)(8)
4	AREA OF OPENING	SS	I <b>X</b> not more than 17 □ more than 17% bu		2%	3.1.1.1.(7	)(8)
5	OTHER BUILDING	CONDITIONS	☐ ICF Basement ☐ Slab on Ground ☐ ICF Above Grade ☐ Log/Post & Beam ☐ Walkout Basement				.1.2.A.
6	COMPLIANCE PACK	KAGE	Zone 1  X Table 3.1.1.2.A.  Table 3.1.1.2.B.  X Table 3.1.1.2.C.	Zone 2  ☐ Table 3.1.1.3.A. ☐ Table 3.1.1.3.B. ☐ Table 3.1.1.3.C.	Package C1	3.1.1.1(7	)(8)
7	THERMAL INSULAT	TON	■ Blown-in / Spray	Applied Foam Insula	ot'n		
8	COMPLIANCE PA EXCEPTIONS (NONE SELECT		☐ A1 TO AA6  RSI =  Windows & sliding glass Bsmnt therm insulat'n		3.1.1.2.		
			Insulation	1	RSI/R Value	MAX U VALUE	
9	BUILDING SPECIFICATIONS	Ceiling with Exposed Flo Walls Above Basement Below Grade Edge of Bel Heated Slab	Grade 3.34+1.76ci (R19+10ci)			HH) – – 10ci) – R8ci) –	

## Attachment 2 A34-24 2353 Baseline Road Page 4 of 11



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REVISION

2 Apr 9/2024 ISSUED TO OWNER FOR PERMIT SUBMISSION 3 July 24/2024 Revised & Reissued For Permit Submission

ADJACENT STRUCTURES AFFECTED BY THIS WORK

PERMISSION OF 3 SIXTY ARCHITECT INC.

1 | Nov 16/2023 | ISSUED TO OWNER

UPON REQUEST

No. DATE:

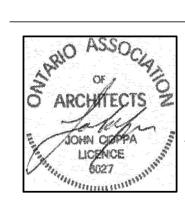
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3 Sixty architect inc. 175 Stave Crescent Richmond Hill, Ontario L4C 0S8 **4**16 • 587 • 1073 647 • 898 • 3447

3sixty@3sixtyarchitect.ca





2353 BASELINE ROAD Proposed ADDITIONAL

Dwelling Unit

Town of Georgina, Ontario

COMM. NO. CALCS/ DETAILS 0289 OBC MATRIX, PARTIAL STE PLAN DRAWING NO. SCALE: AS NOTED DATE: Nov. 2023

28.42 S.F R.O.

LINE OF GRADE

R.O.

LINE OF GRADE

GROSS WALL AREA & OPENINGS

GLAZING IN DOORS 33.05 S.F. R.O.

AREA OF WALL = 410.08 S.F.

AREA OF WINDOWS/GL. IN DOORS = 69.75 sq.ft.

## Fire Blocks REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

CONCEALED SPACES IN INTERIOR WALLS, CEILINGS FLOORS & CRAWL SPACES SHALL BE SEPARATED BY 'FIRE BLOCKS' FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTAIC OR ROOF SPACES

'FIRE BLOCKS' SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE Flame—Spread RATING GREATER THAN 25

FIRE STOPS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE SURFACE Flame—Spread RATING GREATER THAN 25

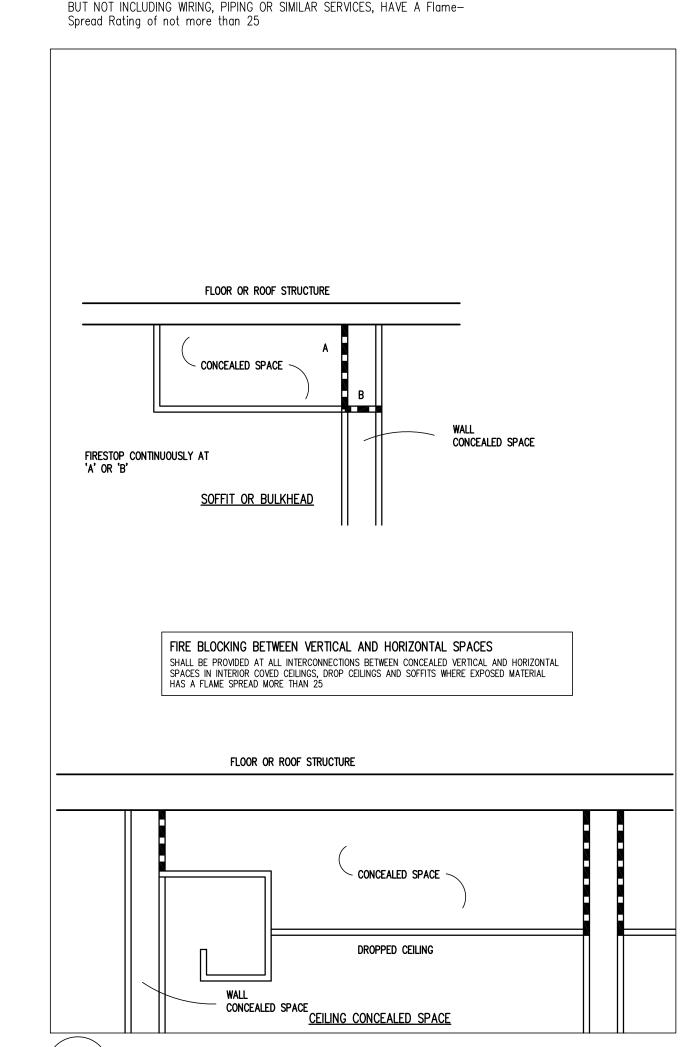
IN UNSPRINKLERED BUILDINGS OF COMB CONST, EVERY CONCEALED SPACE CREATED BY A CEILING, ROOF SPACE OR UNOCCUPIED ATTIC SPACE SHALL BE SEPARATED BY FIRE BLOCKS INTO COMPARTMENTS OF NOT MORE THAN 3230 ft2 (300m2) IN AREA WHERE SUCH SPACE CONTAINS EXPOSED CONSTRUCTION MATERIALS HAVING A SURFACE Flame—Spread RATING GREATER THAN 25

NO DIMENSION OF THE CONCEALED SPACE DESCRIBED ABOVE SHALL EXCEED 20m CONCEALED SPACES IN MANSARD OR GAMBREL STYLE ROOFS. EXTERIOR CORNICES. BALCONIES AND CANOPIES OF COMBUSTIBLE CONSTRUCTION SHALL HAVE VERTICAL FIRE BLOCKS AT INTERVALS OF NOT MORE THAN 20m AND AT POINTS WHERE SUCH CONCEALED SPACES EXTEND ACROSS THE ENDS OF REQ'D VERTICAL FIRE SEPARATIONS

## REQUIRED FIRE BLOCKS IN WALL ASSEMBLIES:

FIRE BLOCKS SHALL BE PROVIDED TO BLOCK OFF CONCEALED SPACES WITHIN WALL ASSEMBLIES, INCLUDING SPACES CREATED BY FURRING; AT EACH FLOOR LEVEL; AT EACH CEILING LEVEL WHERE THE CEILING CONTRIBUTES TO PART OF THE REQUIRED Fire—Resistance Rating, AND AT OTHER LOCATIONS WITHIN THE WALL, SO THAT THE DISTANCE BETWEEN FIRE BLOCKS DOES NOT EXCEED 20m (67 ft 7in) HORIZONTALLY AND 3m (9ft 10in) VERTICALLY FIRE BLOCKS NEED NOT BE PROVIDED IF, THE INSULATED WALL ASSEMBLY CONTAINS NOT MORE THAN ONE CONCEALED AIR SPACE AND THE HORIZONTAL THICKNESS OF THAT AIR SPACE IS NOT MORE THAN 25 mm: THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE ARE NONCOMBUSTIBLE, OR

THE EXP CONST. MATERIALS WITHIN THE SPACE, INCLUDING INSULATION.



FIRE BLOCKING BETWEEN VERTICAL AND HORIZONTAL SPACES

A2

## <u>GENERAL:</u>

- 1. All construction must comply with the 2012 Building Code Compenduim
- Ontario Regulation 332/12 and all amendments Local by—laws in existence at the time of construction and shall be governed by local authorities having jurisdiction. Manufactured items, materials and construction must comply with all the requirements of Canada Mortgage and Housing Corporation (C.M.H.C).
- 2. Unreinforced and nominally reinforced concrete shall be designed and mixed, placed, cured and tested in accord. with requirem'ts for 'R' class conc. stated in Clause 8.13 of CSA A23.1 EXCAVATION:
- 1. Top soil and vegetable matter in all unexcavated areas under buildings shall be removed. Surface drainage shall be directed away from the building (or septic bed)
- Maximum slopes for pedestrian ramps to be 1 in 10 2. All excavations and backfill must comply with 9.12 of OBC 2012 edition and all amendments 3. The bottom of excavations shall be kept from freezing throughout the entire construction period

## FOOTINGS AND FOUNDATION WALLS:

Note: Requirements below are minimum — refer to structural drawings by others for requirements above and beyond those listed below.

- 1. All concrete foundation walls below grade to have bitumenous dampproofing applied to the exterior, and water drainage layer
- All conc. blk fndt'n walls below grade to have 1/2" (min 6mm) cem. parging applied to exterior 3. Parging to form cove at footing and wall intersection.
- 4. A coat of bitumenous dampproofing must be applied to the exterior of the cement
- parging, and provide water drainage layer (Section 9.13 of the O.B.C) 5. Drain tile to be 4" diameter covered with filter fabric. Top and sides of tile to be covered with minimum 6" crushed stone. Tiles to be connected to existing storm system.
- (See Section 9.14 of the O.B.C) 6. Concrete footings are to be of MIN 15 MPa strength at 28 days, resting on natural undisturbed soil & must be min of 4'-0" below finished grade
- 7. Size of strip footings to conform to Section 9.15 of the O.B.C. or as per structural drawings Refer to 'Minimum Footing Sizes' detail for further information
- 8. Undisturbed soil to have an ALLOWABLE BEARING PRESSURE of 75 KPa or greater for buildings of wood frame or masonry construction UNO on structural drawings
- 9. Project conc. footings min. 4" each side of foundation walls & to be 6" deep—refer to detail 10. Footings under 1 storey brick veneer 16-1/2" x 6" Min. OR AS PER FLOOR PLANS
- 11. Footings under 2 storey brick veneer 19" x 6" Min. OR AS PER FLOOR PLANS
- 12. Footings under chimneys and fireplaces to project 4" and to be 6" deep for 1 storey 10" deep for 2 storeys

STEPPED FOOTINGS: 1. The vertical rise between horizontal portions shall not exceed 23 5/8" for firm soils 15 3/4"

for sand or gravel. The horizontal distance between risers shall not be less than 23 5/8" FOUNDATION WALLS: Refer to 'Foundation Wall Thickness' detail OR structural details for further notes

- 1. Poured concrete foundation walls are to be of MIN 15 MPa strength at 28 days 2. For basement windows over 4'-0'' wide reinforce with two 10m reinforcing rods
- extending 12" each side for poured concrete 3. For MAX. height of finished grade above basement slab, refer to 'Foundation Wall Thickness' Provide crack control joints every 49'-3" in foundation walls more than 82' in length
- 4. Foundation walls shall extend min. 6" above fin. grade 5. Ventilate cold cellar if windowless

## FOUNDATION WALL CONSTRUCTION:

Note: Refer to structural drawings by others for reinforcing requirements when height of wall exceeds 9'-10" (3.0 m) in height. Refer to "foundation Wall Thickness' detail for notes

- Exterior drainage layer required when basement insulation extends more than 900m (2'-11") below grade
- Damp proofing required Bituminous or other damproofing material Concrete block or reinforced concrete- refer to 'Foundation Wall Thickness' and and 'Compressive Strength of Concrete Masonry Units' details - No. 15 building paper between foundation wall and insulation when separate interior cladding will contact the interior face of an exterior wall below grade — Batt blanket insulation to maximum 8" above basement slab — refer to Compliance
- Package selected for min insulation R value requirements - 6 mil vapour barrier (Max 150 flame spread rating)

## **SLABS ON GRADE:**

- Concrete slabs on grade shall be min. 3" thick on 4" course clean granular material 2. Where damproofing is not provided, compressive strength of slab on ground shall be not less than 25 Mpa.
- 3. A bond breaking material shall be placed between the slab and footings 4. Exterior conc. slabs on grade, steps and garage slabs shall be min. 4650 Psi (32mpa) at 28 days with 5—8% air entrainment
- 5. Concrete slabs on grade shall be reinforced with 6" x 6" 6/6 welded wire mesh at centre of slab U.N.O.

## TYPICAL FLOOR CONSTRUCTION:

## FLOOR JOISTS:

For uniformly distributed llive load on floors serving residential areas not exceeding 30 psf for Bedrooms and 40 psf for other areas and stairs within dwelling units UNO on Structural Dwgs. - Subfloor to be Min. 5/8" T&G Plywood or OSB, for Max spacing of supports up to 20" O.C. — Floor joists SPF #2 or approved engineered joists — refer to plans for spacing

ENGINEERRED FLOOR JOISTS: Refer to floor layout package for engineered floor systems by others that supercede requirements listed below

-1/2" gypsum board ceiling on ground and second floors

TYPICAL EXTERIOR WALL CONSTRUCTION: BRICK VENEER WALL: Applies to unreinforced masonry and masonry veneer where wall height above foundation wall does not exceed 36'-1"

- 1/2" gypsum board on continuous 6 mil poly Vapour barrier note: where polyethylene is installed to serve as the vapour barrier, it shall conform to CAN/CGSB-51.34-M, "Vapour Barrier, Polyethylene Sheet for Use in Building Construction" Vapour Barriers shall have a permeance not greater than 60 ng/(Pa•s•m2) (0.78 PERM INS.), measured in accordance

  6. Flashing between roof shingles and wall siding. 26 GA. galv. metal 3" up behind with ASTM E96
- 2"x6" wd studs @ 16" O.C. w/double top plate at top, sole plate at bottom & Min insulat'n as per selected Compliance Package — see OBC Matrix on sheet AO
- Sheathing membrane (Air Barrier) on 1/2" ext. grade sheathing. Sheath. memb. shall conform to the performance requirements of CAN/CGSB—51.32—M, "Sheathing,Membrane, Breather Type". Sheet and panel type materials intended to provide the principal resistance to air leakage shall have an air leakage characteristic not greater than 0.02 L/(s m2) (0.004 cfm/ft2) measured at an air pressure differential of 75 Pa (0.011 psi).
- Secondary plane of protection shall consist of a Drainage Plane (Sheathing Membrane) w/ appropriate inner boundary <u>and Flashing</u> to dissipate rainwater to the exterior. Minimum 1" air space
- 0.03 thick x 7/8" wide metal ties 32" 0.C. horiz. 16" 0.C. vert. - Min 3-1/2" face brick w/ 3/8" mortar joints (unraked joints for veneer less than 3-1/2")
- Refer to elevations for window sills, heads and jambs NOTE: Provide weep holes not more than 2'-7" O.C. at base of all masonry veneer. Metal flashing (0.019 aluminum) to be installed beneath weep holes, beneath jointed masonry sills, over heads of window and door openings when vertical distance between top of wind/door and u/s eave

1/4 of horiz eave overhang. Extend metal flashing min. 5-7/8" up behind wall sheathing paper and min 3/16" beyond outer face of building element below flashing. Cavity walls shall be constructed so that mortar droppings are prevented from forming a bridge to allow the passage of rain water accross the cavity — provide optional control device to suit air space 'The Mortar Net' by JV Building Supply

## EGRESS FROM BEDROOMS:

Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that is openable from the inside without the use of tools and provides an individual, unobstructed open portion having a minimum area of 0.35 m2 with no dimension less than 380mm and has a maximum sill height of 1100mm above the floor

## SMOKE ALARMS:

Smoke Alarms shall conform to CAN/ULC-S531

Within Dwelling Units smoke alarms shall be installed on each storey including the basement and on any storey containing a sleeping room, a smoke alarm shall be installed in EACH sleeping room and in a location between sleeping rooms and the remainder of the storey and in a Hallway if the sleeping rooms are served by a hallway

Exterior Insulation Finish System must be installed as a 'Drained' assembly Exterior Insulation Finish System must be applied on approved substrate, and must be installed according to the manufacturers specifications, OBC regimts and have CCMC evaluation report designation with ruling of MMAH and/or decision authorized by BCC.

## TYPICAL APPLICATION:

Finish coat on primer coat on base coat on fiberglass mesh embedded in base coat; 2"\_rigid insulat'n Min. RSI 1.76 (R10) for Heated slab or Slab ≤ 600mm below grade on continuous vertical groove insulation adhesive, on cont secondary moisture barrier ('drainage plane'), on 1/2" approved glass mat coated sheathing

## **ROOF CONSTRUCTION:**

- 1. Access to roof attic and/or crawl space to be min. 1'-7 1/2" x 2'-4" (500mm x 700mm)
- or have an area no less than 0.32 m2 with no dimension less than 545mm 2. Provide eave protection (Type M or S roll roofing or No. 15 asphalt—saturated felt) extending from edge of roof a min of 2'-11" up roof slope to a line not less than
- 11-3/4" inside the inner face of exterior wall over all habitable areas 3. Starter strip 85 lb. Type M mineral—surfaced roll roofing not less than 11-3/4" wide, or roof shingles of same weight and quality as those used as a roof covering and with
- tabs facing up the roof slope 4. 3/8" Plywood or OSB for Max 24" spacing of supports

## WOOD JOISTS AND STUD PARTITIONS

- 1. Floor joists and beams to be No. 2 grade or equal unless noted otherwise
- Sill plates to be anchored at 7'-10" O.C. to find walls w/ bolts min. 4" deep into top of wall 5. Top of masonry chimney to have stone or concrete cap with wash and drip Provide cont 1"x3" wood strapping (when specified), Max 6'-11" O.C. unless ceiling is finished 4. Subfloor to be Min. 5/8" T&G Plywood or OSB, for Max spacing of supports up to 20" O.C.
- Refer to engineered floor layout for subfloor notes when floor joists are engineered 5. Solid bridging required for pier foundations
- 6. Min. 1/4" poplar underlay required under ceramic tile floor finish 7. 12" O.C. under ceramic tile floor finish U.N.O. on engineered floor joist drawings by others
- 8. Triple studs at corners, double at openings 9. Reinforce wall studs to permit future installation of grab bars on walls adjacent to a water

## closets and a shower or bathtub — 9.5.2.3.

## LATERAL SUPPORT: (wall supporting joists)

anchor sill plate with 1/2" dia. by 8" hooked anchor bolts embedded 8" into masonry at 4'-0" O.C. max. or anchor every 4th joist not resting on a plate with 3/16"x1 1/2" steel joist anchors, N.B. not required if foundation wall supports solid masonry

## \_ATERAL SUPPORT: (wall parallel to joists)

Bend 3/16" x 1 1/2" steel strap 3" into masonry and fix to 3 parallel joists or fix to anchored sill plate

All joists to have  $2" \times 2"$  cross bridging min. 7'-0" O.C. Solid bridging over interior bearing walls and beams Min. 2" x 6" sill plate

Header joists at openings to be doubled if over 4'-0" and not over 10'-8"Trimmer joists to be doubled if over 2'-8" and not over 6'-8" Joists and rafters shall have end bearing of min. 1 1/2" Beams shall have end bearing of min. 3 1/2"

## **BUILT UP WOOD BEAMS:**

Where the individual members of a beam are butted together to form a joint, such a ioint shall occur over a support or within 6" of the end guarter points of the clear span of the beam and shall not occur in adjacent members at the same quarter point

- 8. Joists framed into the sides of wood beams shall rest on metal joist hangers
- 9. Double joists under parallel partitions over 6'-0" in length 10. Triple joists under all parallel bearing partitions
- 11. All concealed spaces to be fire stopped between storeys at floors, ceiling,
- roofs, and at stairs
- 12. Top and bottom plates in load bearing partitions and walls shall not be cut, notched drilled or otherwise weakened, to reduce the undamaged width to less than 2" 13. Interior bearing stud partitions in basement to be 2" x 6" @ 16" O.C. (for 2 storeys) on Super 6 vapour barrier on 8" high concrete or concrete block curb on 16"w x 12"dp concrete footings (2 storey bldgs) with double top plate and single

bottom plate anchored to concrete curb with 1/2" dia.-8" long, hooked anchor bolts

- 14. Exterior wood columns anchored to concrete slab or footings with anchor shoe min. 7" above grade and 1" x 4" x 12" wood nailing strip nailed to beam at top
- 15. Provide 45# roll roofing or 2 mil poly damproofing under all non-bearing partitions on basement slab
- 16. Provide lateral support to steel beams 1" x 4" ribbon strips on both sides

## FLASHING:

- 1. Minimum 0.019" prefinished Aluminum
- 2. Intersection of shingle roofs & masonry walls/chimneys shall be protected with flashing 3. Counter flash'g req'd in sentence 1. shall be embedded min 1" in masonry and extend minimum 5-7/8" down the masonry and lap lower flashing min 4"
- 4. Flash over a chimney saddle when width of chimney exceeds 2'-6"
- 6. Flashing between roof shingles and wall siding, 26 GA. galv. metal 3" up behind sheathing and extended 3" horizontally
- 7. All galvenized metal to be pre-painted

## STEEL COLUMNS/BEAMS

- Note: BELOW ARE MINIMUM REQUIREMENTS ONLY
- Refer to FLOOR PLANS and/or structural drawings under separate cover (by others) for requirements that may supercede those listed below MOST RESTRICTIVE REQUIREMENTS APPLY
- 1. Steel pipe column under 1 storey bldg. to be 2 7/8" dia. w/ 3/16" wall thickness on 4"x4"x1/4" steel plate (both ends) on conc. pad footing (SEE PLANS)
- 2. Steel pipe column under 2 storey bldg. to be 3 1/2" dia. x 3/16" on 6" x 6" x 3/8" steel plate (both ends) on conc. pad footing (SEÉ PLANS) 3. Steel column plates to be anchored to footing with min. two 1/2" dia. bolts
- min. 6" into footing 4. Steel column top plates to be connected to beam with min. two 1/2" dia. bolts or weld plates to beam flanges 5. All columns and beams to be shop primed with min. 1 coat rust inhibitive paint
- Steel beams to be laterally supported and be fabricated from Grade 300W steel that conforms to CAN3—G40.21 "Structural Quality Steels"

## SB-12 INSULATION-MIN THERMAL RESISTANCE AND ENERGY EFFICIENCY REQUIREMENTS FOR ZONE-1 BUILDINGS

## (LESS THAN 5000 DEGREE DAYS)

Compliance Package 'C1' for Electric Space Heating and where the ratio of gross area of windows, sidelights, skylights, glazing in doors and sliding glass doors to the gross area of peripheral walls measured from grade to the top of the upper most ceiling is more than 17% and not more than 22%

Note: Refer to OBC Matrix for alternate Compliance Packages and requirements other than those listed below

- Min. RSI 10.56 (R60) for Ceiling with attic space
- Min. RSI 3.52 (R20) at location directly above access hatches and inner surfaces of exterior walls—near eaves to the extent made necessary by roof slope and req'd ventilation clearances
- Min. RSI 5.46 (R31) for Ceiling without attic space
- Min. RSI 5.46 (R31) for Exposed floor Min. RSI 3.87 (R22) for Walls above grade
- Min. RSI 3.52 (R20ci) for Basement walls (from underside of subfloor to not more than 200mm above finished floor)
- Min. RSI 1.76 (R10) for Edge of below grade slab  $\leq$  600mm below grade
- Min. RSI 0.7 for Doors that separate heated from unheated space, where a storm door is not provided
- Min. U-Value of 1.6 for Windows and Sliding glass doors Min. U-Value of 2.8 for Skylights
- Min. AFUE of 96% for Space Heating Equipment

Min. EF of 0.80 for Domestic Hot Water Heater

## CHIMNEYS: MASONRY AND CONCRETE

- 1. Prefabricated flues to be ULC approved, class -A- vents for oil heating class —B— vents for gas heating
- 2. For masonry fireplaces use 5/8" clay flue liner extending to a min. 2" above
- 3. Provide min. 3" masonry around flue liner and no mortar between liner and surrounding masonry 4. The chimney flue shall extend a min. of 3' above roof at point of contact, but
- but min. 2' above highest roof surface within 10" projecting min. 1" from face of masonry
- 6. Min. clearance from combustible materials: 1/2" clearance for chimneys on exterior walls, 2" for interior chimneys
- 7. Provide lateral support max. 8'-6" O.C. vertically
- 8. Provide min. 4" fresh air venting to firebox

## MECHANICAL VENTILATION:

- 1. Every dwelling unit that is supplied with electrical power shall be provided with a mechanical ventilation system to comply with O.B.C. section 9.32.3
- 2. Product of combustion detector shall be installed as shown on drawings and conform to section 9.10.18. of the O.B.C.

Note: Refer to Mechanical Drawings by others for minimum Energy Efficiency requirements for Space Heating Equipment, DHW Heater, HRV efficiency Space Heating Fuel Source

## STAIRS/LANDINGS - GUARDS/LANDINGS:

- Stairs to have a max. rise of 7 7/8", a min. run of 8 1/4" and min tread depth of 9 1/4"
- A min of 1" nosing shall be provided if the run is less than 9.7/8"
- Curved stairs to have a min. run of 5 7/8" and a min average run of 7 7/8" Min. stair width for interior is 2'-10'' (860mm), for exterior is 3'-0''
- Min. headroom over stairs for interior is 6'-5", for exterior is 6'-9" Landings to be min. as wide and long as width of stair
- Height of handrails on stairs & ramps—min. 2'—10" (865mm) max 3'—2" (965mm) above a line drawn through edge of nosings
- 8. All guards within Dwelling Units guards shall be minimum 2'-11" (900mm)
- 9. Exterior guards for less than 5'-11" above ground to be 2'-11" high 10. Exterior guards for more than 5'-11" (1800mm) above ground to be 3'-6" high

11. Balcony gurad max. 4" space between vertical pickets with no horizontal

- members between 4" and 36" above balcony floor Guards required on balcony and porch if over 2'-0'' above fin. grade 13. Stairs and ramps shall be designed to support specified loads of 1.9 KPA (40 psf)
- 14. One handrail required for interior stairs within a dwelling unit (Table 9.8.7.1.)

## **DOORS AND WINDOWS:**

Note: Refer to OBC Matrix for minimum required U-Value for windows, skylights

- and Sliding Glass doors 1. Caulk between window or door frame and exterior masonry or siding
- 2. Door between house and garage shall be exterior type, weatherstripped and tight fitting to provide a barrier against gas and exhaust fumes, and shall be fitted with a self closer
- 3. Doors in dwellings shall be openable from inside without a key 4. Min. one window per bedroom, openable from the inside, shall have an unobstructed
- opening of min. 3.8 sq.ft.(0.35 m2) & shall have no dimension less than 15" (380mm) 5. All windows shall be double glazed or stormed and screened

6. A basement window that incorporates a loadbearing structural frame shall be double

glazed with a low—E coating

## **GASPROOFING OF GARAGES:**

1. See drawings for typical detail

-THESE NOTES ARE MINIMUM REQUIREMENTS ONLY

-SHOULD THERE BE ANY QUESTIONS BETWEEN THESE NOTES AND LOCAL BUILDING CODE OR BYLAWS, THEN LOCAL CODES & BYLAWS WILL APPLY -CONTRACTOR MUST VERIFY ALL DIMENSIONS AND SCOPE OF ALL CONSTRUCTION

BEFORE PROCEEDING WITH WORK, AND MUST REPORT ANY DISCREPENCIES,

CHANGES, AND ERRORS ON DRAWINGS PRIOR AND DURING ALL CONSTRUCTION

Attachment 2 A34-24 2353 Baseline Road Page 5 of 11



(a) 175 Stave Crescent Richmond Hill, Ontario L4C 0S8 **416-587-1073** 647-898-3447





Proposed ADDITIONAL Dwelling Unit

Town of Georgina, Ontario

2353 BASELINE ROAD

GENERAL NOTES COMM. NO. 0289 DETAILS DRAWING NO. SCALE:NTS DRAWN: FM CHECKED: FM

GENERAL NOTES - PART 9 HOUSING

## Page 32 of 59

## DRAWINGS MUST NOT BE SCALED.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISITNG OR

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000	UPON REQUEST						
No.	DATE:	REVISION					
1	Nov 16/2023	ISSUED TO OWNER					
2	Apr 9/2024	ISSUED TO OWNER FOR PERMIT SUBMISSION					

3 July 24/2024 Revised & Reissued For Permit Submission

## FOUNDATION PLAN NOTES:

- 1. FOUND ALL NEW FOOTINGS ON UNDISTURBED NATURAL SOIL CAPABLE OF SAFELY SUSTAINING 2500 PSF.
- 2. PROVIDE 4'-0" MINIMUM FROST PROTECTION TO ALL FOOTINGS
- EXPOSED TO FREEZING. 3. CONFIRM SOIL CAPACITY AS NOTED AND PROVIDE
- 4. CONCRETE SLABS

CONSULTANT SOIL REPORT

- SOG1 4" MIN. 20 MPa SLAB-ON-GRADE REINF. WWM 6X6, -6/6 ON MIN. 4" GRAVEL ON WELL COMPACTED SUBGRADE SAWCUT @15'-0" o.c. MAX.
- S1 EXTERIOR 6" THK SLAB ON GRADE REINF - 10M@16" C/C BEW + DOWELS ALL ARND +10M NOSING BAR AT STAIR (CLASS C-2 CONC.)
- 5. CONCRETE BLOCK WALLS -
- CW1 24" CONCRETE BLOCK WALL (36" TALL X 96" LONG)
- CW2 POURED CONCRETE FOUNDATION

## GROUND FLR FRAMING PLAN NOTES:

- 1. DESIGN LOADING (unfactored)
- LL = 40 PSF DL = 12 PSF (20 PSF IN TILED AREAS)
- 2. WOOD DECK −5/8" T&G PLYWOOD (SPF#2)
- 3. WOOD COLUMNS TO BE 2X4 (SPF NO.2) AND MATCH BEAM PLIES (TYPICAL UNO) ALL COLUMNS TO EXTEND TO TOP OF FOUNDATION WALL OR NEW BEAM.
- 4. WALLS:
- TYPICAL NEW WALL 2X6@16" WOOD STUD WALL (SPF NO.2)
- + 1-2X6 BOTTOM PLATE + 2-2X6 TOP PLATE + 2X6 SOLID BRIDGING AT 4'-0" O.C. (TYP.UNO)
- 5. WOOD JOISTS:
- J1 2-2"X6" SPR. @16"C.C
- J2 11.875" Ni 80 @16"C.C (BY ALPA OR APPROVED EQUAL)
- J3 2"X6" SPR. @16"C.C

## 6. BEAMS:

- BMO1 W16 X 40 STEEL BEAM C/W 2-1/2" DIA. WEDGE ANCHOURS
- 6" EMBEDMENT PER CONCRETE FOUNDATION BLOCK
- BMO2 5.125"X11.875" GLULAM 24F-E BEAM
- BM03 4-1.75"X9-1/2" LVL (2.0E)
- +1/2" THRU.BOLTS @12" STAGGERED
- BM04 3-2X10 (SPF#2)
- BM05 2-2X8 (SPF#2)
- BM06 3X8 (SPF#2) - BM07 - 2-2X10 (SPF#2)

## GENERAL NOTES :

- 1. ALL DESIGN BASED ON THE ONTARIO BUILDING CODE 2012
- 2. MAKE ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
- 3. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- CONCRETE MATERIALS TO CONFORM WITH CSA A23.1 AND A23.3
- REINFORCEMENT REBAR TO BE GRADE 400 MPA AND CONFORM TO G30.12
- 6. ALL CONCRETE ABOVE GRADE TO BE CLASS C-2 UNLESS NOTED OTHERWISE.

## 4'-10 1/2" 3'-11" 3'-11 1/2" 3'-11" 18'-6" 2'X3'X8' LONG SOLID CONCRETE — — BLOCK FOUNDATION (STACKED 2 HIGH) ON SOLID BEARING -TYP. NOTE: ALL COLUMNS TO HAVE (BASEMENT) WEDGE ANCHOURS TO CONC BLOCK CONC. PAVERS ON GRADE ABOVE BSMNT (UNFIN.) WITH 6" MIN EMBEDMENT ON 16" THICK, 3/4" CLEAR GRAVEL W10X30 (FULL SPAN) BSMNT (UNFIN.) SUMP PUMP( 2'X3'X8' LONG SOLID CONCRETE BLOCK FOUNDATION (STACKED 2 HIGH, BELOW (RADE) ON SOLID BEARING. CONC. PAVERS ON GRADE ABOVE ┼ON 16" THICK, 3/4" CLEAR GRAVEL 16'-9" 4'-5 1/2" 7'-11" 9'-2 1/2" 8'-11" 4'-8"

35'-2"

## BASEMENT FLOOR PLAN

## FOUNDATION & GROUND FL. FRAMING PLAN

= 200 (7 7/8")

= 125 (4 7/8")

= 355 (14")

GUARDS (MIN HT) = 900 (2'-11")

MAX HANDRAIL HT WHEN GUARD

REQ'D @ LAND'GS = 1070 (3'-6")

fin ground)

(stairs/landings and when guard is not more than 1800 (5'-11") above

MIN. RUN = 210 (8 1/4")DO NOT REQUIRE A LANDING WHEN THE STAIR DOES NOT MAX. TREAD DEPTH = 355 (14") CONTAIN MORE THAN 3 RISERS MIN. TREAD DEPTH = 235 (9 1/4")CLEAR HEIGHT OVER LANDINGS SHALL BE NOT LESS THAN 1950mm (6'-5") CURVED STAIR MIN. CLEAR HEIGHT OVER STAIRS = 1950 (6'-5")MIN. RUN = 150 (5 7/8")MIN. AVE. RUN = 200 (7 7/8")MEASURED VERTICALLY FROM TOP OF HANDRAIL TO A LINE DRAWN THRU LEAD'G EDGE OF TREADS, HEIGHT OF WINDERS HANDRAILS ON STAIRS SHALL BE NOT LESS THAN 865 (2'-10") AND NOT MORE THAN 965 (3'-2") MAX. ANGLE MAX. TREAD ANGLE 45 HAND RAIL REQUIRED ON AT LEAST ONE SIDE OF STAIRS MIN. TREAD ANGLE 30 HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR AND TERMINATE IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN HANDRAIL NOT REQ'D WHEN INTERIOR STAIRS HAVE NOT ITS RUN PLUS 25mm (1") MORE THAN 2 RISERS & EXT STAIRS HAVE NOT MORE THREE RISERS LEADING EDGE OF TREADS SHALL NOT REDUCE THE TREAD DEPTH BY MORE THAN 15mm AND NOT AT LEAST ONE STAIR BTWN EACH FLOOR LEVEL, EXCEED 25mm HORIZONTALLY SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10" RISERS SHALL BE OF UNIFORM HEIGHT IN ANY REQUIRED WHEN THERE IS A DIFFERENCE IN ONE FLIGHT WITH A MAXIMUM TOLERANCE OF, ELEVATION OF MORE THAN 600mm (1'-11 1/2") 5mm BETWEEN ADJ TREADS OR LANDINGS, AND OR ADJ SURFACE WITHIN 1.2M HAS A SLOPE 10mm BETWEEN THE TALLEST AND SHORTEST OF MORE THAN 1:2

MAX. RISE

MIN. RISE

MAX. RUN

Stairs, Landings, Handrails & Guards

A LANDING SHALL BE PROVIDED AT TOP & BOTT

STAIRS LOCATED AT AN ENTRANCE FROM A GARAGE

OF EACH FLIGHT OF INT & EXT STAIRS

INCLUDING STAIRS IN GARAGES

RISERS IN THE FLIGHT

TREADS IN THE FLIGHT

TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM

5mm BETWEEN ADJ TREADS OR LANDINGS, AND

10mm BETWEEN THE DEEPEST AND SHALLOWEST

TOLERANCE OF, 5mm BETWEEN ADJACENT TREADS, AND

EXCAVATION NOTES: Excavation for the proposed work should not undermine the foundations of adjoining buildings, or cause damage to utilities, roads and sidewalks. O.B.C.s 2.3.1.1.(5) and a. 9.12.1.4.

NOTE: PROVIDE SLEEVES AS REQUIRED FOR WEEPING TILE. RUN ALONG FOUNDATION WALL AND CONNECT TO SUMP AS REQUIRED

Dimensions NOTE: ALL EXTERIOR WALL DIMENSIONS INDICATED ARE TO FACE OF EXTERIOR FINISH FACING

8"X8"X1/2" BASEPLATE WEILDED

TO STEEL BEAM OR 2-1/2" DIA.

## Steel Column/Beam Note

TO SITE VERIFY ALL EXISTING DIMENSIONS

STEEL MANUFACTURER TO VERIFY WITH AUTHORITIES HAVING

## Stud Posts Built into Walls

THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 DIV B THE WIDTH OF THE STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS

Air Barrier System THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT CAULK AT ALL JOINTS, INTERSECTIONS AND

PENETRATIONS

Subfloor Note

## FOOTING NOTE:

CONTRACTOR TO SITE VERIFY EXISTING SOIL BEARING CAPACITY AND REPORT FINDINGS TO THE ENGINEER.

MIN. SOIL BEARING CAPACITY AS PER NOTES

NOTE: ALL EXTERIOR CONCRETE TO BE TYPE C-2 CONC.

## Typical Floor Plan Notes

IT IS THE RESPONSIBLITY OF THE BUILDER TO COORD., CHECK AND VERIFY ALL STRUCTURE (IE. FLOOR JOIST ENGINEERING, ROOF ENGINEERING AND OTHER STRUCTURAL ITEMS INDICATED). ANY REVISIONS TO DRAWINGS SUBMITTED AS PART OF A BUILDING PERMIT APPLICATION AND THAT FORMED THE BASIS FOR THE ISSUANCE OF THE PERMIT MUST BE REPORTED PRIOR TO COMMENCEMENT OF ANY WORK

Attachment 2 A34-24 2353 Baseline Road Page 6 of 11

NOTE: STEEL MANUFACTURER IS RESPONSIBLE BEFORE FABRICATION BEGINS

JURISDICTION IF ENGINEERED SHOP DRAWINGS ARE REQUIRED AND IF SO PROVIDE THEM IN YOUR OVERALL FEE

SUMP PIT COVERS SHALL BE SEALED TO MAINTAIN CONTINUITY OF THE AIR BARRIER SYSTEM

Size and Spacing of Studs REFER TO DETAIL 'SIZE AND SPACING OF STUDS' ON SHEET A10

SUBFLOOR TO BE MIN 3/4" PLYWOOD-TYP GLUED AND NAILED

> = DOUBLE JOIST = TRIPLE JOIST

= SOLID WOOD BEARING — THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A37-DIV B PART 9 SEE STRUCT DWGS FOR PART 4 COMPLIANCE NOTE: THE WIDTH OF STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS = LOAD BEARING

DRAWINGS MUST NOT BE SCALED.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS

MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO

CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND

ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR

CONDITIONS OCCURING DURING CONSTRUCTION. IT SHALL

BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER

TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISITNG OR

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REVISION

2 Apr 9/2024 ISSUED TO OWNER FOR PERMIT SUBMISSION

3 July 24/2024 Revised & Reissued For Permit Submission Lintel Schedule

**L7** 3 1/2"x3 1/2"x1/4" (89x76x6.4) 8'-1" 7'-9"

**L8** 4"x3 1/2"x1/4" (102x89x6.4) 8'-9" 8'-2"

**L12** 6"x3 1/2"x7/16" (152x89x11) 12'-7" 11'-8"

Copied from Table 9.20.5.2.B. Forming part of sentence 9.20.5.2.(3)

(127x89x11)

(152x89x13)

32"x78" -SEE PLANS (INSULATED)

2'-8" X 6'-10" (INSULATED)

2'-8" X 6'-10" (INSULATED)

2'-8" X 6'-10" (INSULATED)

2'-8" X 6'-10" (INSULATED)

2-2'-0"X6'-10" SEE PLANS

(127x89x13) | 11'-9"

(152x102x13) 13'-6"

(178x102x11) 14'-1" 13'-1"

**L9** 5"x3 1/2"x5/16" (127x89x7.9) 10'-10"

DOOR SCHEDULE

(MIN. SIZES U/N OTHERWISE)

PER O.B.C. DIV B PART 9 SECT. 9.6

1'-6" X 6'-10"

2'-6" X 6'-10"

2'-8" X 6'-10"

2'-8" X 6'-10"

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. 9.6.8 AND 9.7.6

ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE

EXCEPT FOR DOORS IN ENCLOSED UNHEATED VESTIBULES AND COLD CELLARS, AND

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL MEET THE REQUIRED OVERALL

NOTE: SIZES ABOVE ARE MIN OBC SIZES WIDTH ONLY - COORDINATE WITH OWNER AND DOOR

MANUF. ACTUAL CUSTOM DOOR, MATERIALS AND COLOURS-HT INDICATED EXCEEDS MIN REQM'TS

A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.07 WHERE A STORM DOOR IS NOT PROVIDED

 $|(3 \ 1/2 \ in)| (4 \ in)$ 

ADJACENT STRUCTURES AFFECTED BY THIS WORK

PERMISSION OF 3 SIXTY ARCHITECT INC.

1 | Nov 16/2023 | ISSUED TO OWNER

NO. DESCRIPTION

**L2** 3 −2" x 8" SPR. **L3** 2 -2" x 10" SPR.

**L5** 2 −2" x 12" SPR.

**L6** 3 −2" x 12" SPR.

L11 5"x3 1/2"x1/2"

**L13** 6"x3 1/2"x1/2"

**L14** 6"x4"x1/2"

L15 8"x4"x7/16"

ENTRY DOORS

EXT. SLAB DR.

COLD STGE DR.

CLOSET DR.

LINEN CLOSET

BATH/POWDER DR.

(RESISTANCE TO FORCED ENTRY)

EXCEPT FOR GLAZED PORTIONS OF DOORS.

COEFFICIENT OF HEAT TRANSFER INDICATED IN O.B.C. MATRIX

= CONVENTIONAL ROOF FRAMING

2"x6" RAFTERS @ 16"O.C 2"x4" COLLAR TIES AT MIDSPANS

BRACED AT 6'-0" VERTICALLY.

CEILING JOISTS TO BE:

2"x4" @ 16"0.C. FOR MAX. 9'-3" SPAN
2"x6" @ 16"0.C. FOR MAX. 14'-7" SPAN

= GIRDER TRUSS-SEE ENGINEERED ROOF TRUSS DWGS

RAFTERS OVER TRUSSES TO BE 2"x4" @ 16"O.C. WITH A 2"x4" CENTRE POST TO THE TRUSS BELOW, LATERALLY

LAUNDRY RM. DR.

BEDROOM DRS.

LEGEND:

EXT. SLIDING DR.

GARAGE SLAB DR.

|Exterior Loose Steel

NO. | Vert x Horiz x Thick mm

UPON REQUEST

No. DATE:

Wood

= WALL ABOVE



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## 2353 BASELINE ROAD

Proposed ADDITIONAL Dwelling Unit

Town of Georgina, Ontario

PROPOSED	BASEMENT PLAN	сомм. No. 0289
SCALE: 3/16"=1'-0"	DATE: Nov. 2023	DRAWING NO.
DRAWN: FM	CHECKED: FM	A3

Page 33 of 59

## ROOF FRAMING PLAN NOTES:

- 1. DESIGN LOADING (unfactored) ROOF (NORTH YORK) : SNOW=23PSF, DEAD=12PSF
- 2. WOOD DECK -5/8" T&G PLYWOOD (SPF#2-EXTERIOR GRADE)
- 3. WOOD COLUMNS TO BE 2X4 (SPF NO.2) AND MATCH BEAM PLIES (TYPICAL UNO) ALL COLUMNS TO EXTEND TO TOP OF FOUNDATION WALL OR NEW BEAM.
- 4. WALLS:
- TYPICAL NEW WALL 2X6@16" WOOD STUD WALL (SPF NO.2) + 1-2X6 BOTTOM PLATE + 2-2X6 TOP PLATE + 2X6 SOLID BRIDGING AT 4'-0" O.C. (TYP.UNO)
- 5. WOOD JOISTS:
- J1 2"X10" SPR. @16"C.C - J2 - 11.875" Ni 80 @16"C.C (BY ALPA OR APPROVED EQUAL)
- 6. BEAMS:
- BMO1 W16 X 40 STEEL BEAM
- BM02 5.125"X11.875" GLULAM 24F-E BEAM
- BM03 4-1.75"X9-1/2" LVL (2.0E) +1/2" THRU.BOLTS @12" STAGGERED
- BM04 3-2X10 (SPF#2)
- BM05 2-2X8 (SPF#2)
- BM06 2-2X10 (SPF#2)

## GENERAL NOTES:

- 1. ALL DESIGN BASED ON THE ONTARIO BUILDING CODE 2012
- 2. MAKE ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
- 3. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- 4. CONCRETE MATERIALS TO CONFORM WITH CSA A23.1 AND A23.3
- 5. REINFORCEMENT REBAR TO BE GRADE 400 MPA AND CONFORM TO G30.12
- 6. ALL CONCRETE ABOVE GRADE TO BE CLASS C-2 UNLESS NOTED OTHERWISE.

STRUCTURAL INTEGRITY: All members shall be so framed, fastened, tied, braced and anchored to provide the necessary strength, rigidity and stability. O.B.C. 9.23.2.1.

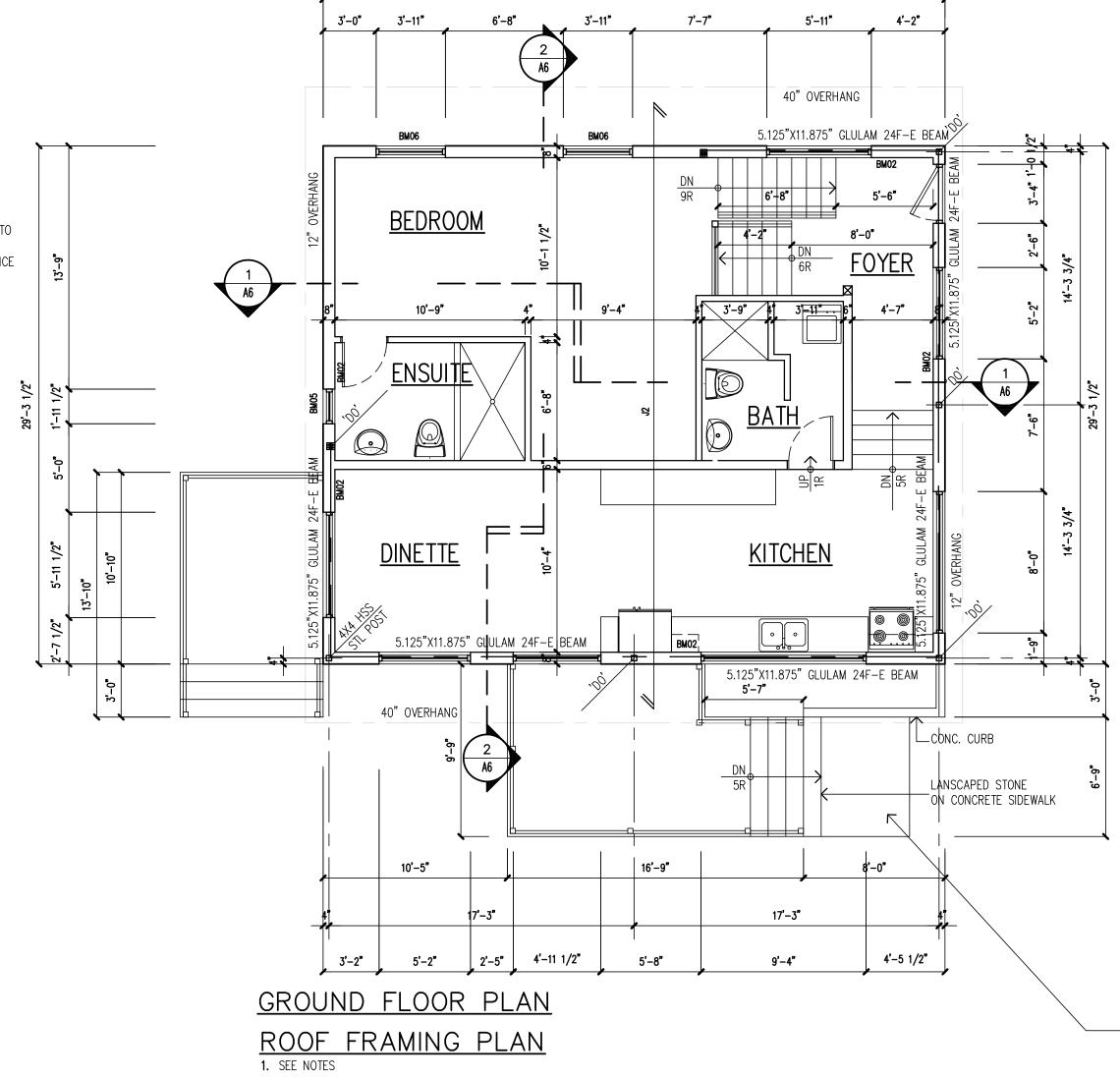
Provide posts under all beams/girder, trusses, etc. Posts are to run continuous to the foundation or equivalent support. O.B.C. 9.20.8.3., 9.23.8.1., and 9.23.10.7. (TYP.)

## SUPPORT - LOADS

All loads must be supported and transferred to foundation or adequate support. O.B.C. 9.23.4.2., 9.17.9.15.,9.20.8.3., 9.23.8.1., 9.23.10.7. and

## Typical Floor Plan Notes

NOTE: IT IS THE RESPONSIBLITY OF THE BUILDER TO COORD., CHECK AND VERIFY ALL STRUCTURE (IE. FLOOR JOIST ENGINEERING, ROOF ENGINEERING AND OTHER STRUCTURAL ITEMS INDICATED). ANY REVISIONS TO DRAWINGS SUBMITTED AS PART OF A BUILDING PERMIT APPLICATION AND THAT FORMED THE BASIS FOR THE ISSUANCE OF THE PERMIT MUST BE REPORTED PRIOR TO COMMENCEMENT OF ANY WORK



35'-2"

## 40" OVERHANG — LINE OF WALL BELOW NOTE: CONTRACTOR TO ENSURE POSITIVE ROOF DRAINAGE TO SOUTH SIDE LOCATION. FINAL DOWNSPOUT LOCATION TO BE APPROVED BY OWNER FLAT ROOF TYPICAL NOTES: 2-PLY MODIFIED BITUMEN ROOF SYSTEM FULLY ADHERED TO PLYWOOD SHEATHING 'SOPRABASE-XT' BY SOPREMA SOPRABASE FR 180 BASE SHEET SOPRALENE Flam 250 GR SLOPED FIBREBOARD ON ROOF SHEATHING CARRY SYSTEM UP AND OVER PARAPET C/W PREFIN METAL CAP FLASHING SLOPE TO SCUPPER Roof Venting Notes:: THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/150 THE INSULATED CEILING AREA VENTS TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% OF REQ'D OPENINGS LOCATED AT TOP OF THE SPACE & NOT LESS THAN 25% LOCATED AT BOTTOM OF THE SPACE 40" OVERHANG

## NOTE: ALL EXTERIOR WALL DIMENSIONS INDICATED ARE TO FACE OF EXTERIOR FINISH FACING

Dimensions

## Steel Column/Beam Note NOTE: STEEL MANUFACTURER IS RESPONSIBLE

TO SITE VERIFY ALL EXISTING DIMENSIONS BEFORE FABRICATION BEGINS

AND IF SO PROVIDE THEM IN YOUR OVERALL FEE

STEEL MANUFACTURER TO VERIFY WITH AUTHORITIES HAVING

JURISDICTION IF ENGINEERED SHOP DRAWINGS ARE REQUIRED

## Stud Posts Built into Walls

THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 OF OBC PART 9 DIV B THE WIDTH OF THE STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS

## Air Barrier System

GLUED AND NAILED

THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT CAULK AT ALL JOINTS, INTERSECTIONS AND PENETRATIONS

SUMP PIT COVERS SHALL BE SEALED TO MAINTAIN CONTINUITY OF THE AIR BARRIER SYSTEM

#### Size and Spacing of Studs REFER TO DETAIL 'SIZE AND SPACING OF STUDS' ON SHEET A10

Subfloor Note SUBFLOOR TO BE MIN 3/4" PLYWOOD-TYP

## Stud Wall Reinforcement REFER TO DETAIL ON SHEET A1 FOR STUD WALL REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION

NOTE: ALL EXTERIOR CONCRETE

TO BE TYPE C-2 CONC.

P. CONC. SIDEWALK SLAB (PROVIDE MIN. 5" SLAB ON 12" THICK CLEAR GRANULAR GRAVEL)

|Bottom Wall Plates (as per 9.23.11.2.) (1) A bottom wall plate shall be provided in all cases.(2) The bottom plate in exterior walls shall not project more than one—third the plate width over the support.

## Stairs, Landings, Handrails & Guards

A LANDING SHALL BE PROVIDED AT TOP & BOTT OF EACH FLIGHT OF INT & EXT STAIRS INCLUDING STAIRS IN GARAGES

STAIRS LOCATED AT AN ENTRANCE FROM A GARAGE DO NOT REQUIRE A LANDING WHEN THE STAIR DOES NOT CONTAIN MORE THAN 3 RISERS

CLEAR HEIGHT OVER LANDINGS SHALL BE NOT LESS THAN

1950mm (6'-5") MIN. CLEAR HEIGHT OVER STAIRS = 1950 (6'-5")MEASURED VERTICALLY FROM TOP OF HANDRAIL TO A LINE DRAWN THRU LEAD'G EDGE OF TREADS, HEIGHT OF HANDRAILS ON STAIRS SHALL BE NOT LESS THAN

865 (2'-10") AND NOT MORE THAN 965 (3'-2") HAND RAIL REQUIRED ON AT LEAST ONE SIDE OF STAIRS HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR AND TERMINATE IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL

HANDRAIL NOT REQ'D WHEN INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS & EXT STAIRS HAVE NOT MORE THREE RISERS

AT LEAST ONE STAIR BTWN EACH FLOOR LEVEL, SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10" RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJ TREADS OR LANDINGS, AND

10mm BETWEEN THE TALLEST AND SHORTEST

RISERS IN THE FLIGHT

TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM TOLERANCE OF, 5mm BETWEEN ADJACENT TREADS, AND 5mm BETWEEN ADJ TREADS OR LANDINGS, AND 10mm BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN THE FLIGHT

= 200 (7 7/8") MAX. RISE = 125 (4 7/8")MIN. RISE MAX. RUN = 355 (14") MIN. RUN = 210 (8 1/4")MAX. TREAD DEPTH= 355 (14") MIN. TREAD DEPTH = 235 (9 1/4")

CURVED STAIR MIN. RUN = 150 (5 7/8")MIN. AVE. RUN = 200 (7 7/8")WINDERS

MAX. ANGLE MAX. TREAD ANGLE 45 MIN. TREAD ANGLE 30

OF MORE THAN 1:2

DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN ITS RUN PLUS 25mm (1")

LEADING EDGE OF TREADS SHALL NOT REDUCE THE TREAD DEPTH BY MORE THAN 15mm AND NOT EXCEED 25mm HORIZONTALLY

REQUIRED WHEN THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 600mm (1'-11 1/2") OR ADJ SURFACE WITHIN 1.2M HAS A SLOPE

GUARDS (MIN HT) = 900 (2'-11")(stairs/landings and when guard is not more than 1800 (5'-11") above fin ground)

MAX HANDRAIL HT WHEN GUARD REQ'D @ LAND'GS = 1070 (3'-6")

Attachment 2 A34-24 2353 Baseline Road Page 7 of 11

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## Lintel Schedule

3 July 24/2024 Revised & Reissued For Permit Submission

	Wood		
	NO.	DESCRIPTION	
	L1	2 -2" x 8" SPR.	
	L2	3 −2" x 8" SPR.	
-	L3	2 −2" x 10" SPR.	
	L4	3 −2" x 10" SPR.	
	L5	2 −2" x 12" SPR.	
	L6	3 −2" x 12" SPR.	

## Fyterior Longe Steel

Exterior Loose Steel					
NO.	Vert x Horiz x Thick	mm	BRICK (3 1/2 in)	Stone (4 in)	
L7	3 1/2"x3 1/2"x1/4"	(89x76x6.4)	8'-1"	7'-9"	
L8	4"x3 1/2"x1/4"	(102x89x6.4)	8'-9"	8'-2"	
L9	5"x3 1/2"x5/16"	(127x89x7.9)	10'-10"	10'-1"	
L10	5"x3 1/2"x7/16"	(127x89x11)	11'-5"	10'-8"	
L11	5"x3 1/2"x1/2"	(127x89x13)	11'-9"	10'-11"	
L12	6"x3 1/2"x7/16"	(152x89x11)	12'-7"	11'-8"	
L13	6"x3 1/2"x1/2"	(152x89x13)	13'-5"	12'-5"	
L14	6"x4"x1/2"	(152x102x13)	13'-6"	12'-7"	
L15	8"x4"x7/16"	(178x102x11)	14'-1"	13'-1"	
Conied from Table 9.20.5.2.B. Forming part of sentence 9.20.5.2.(3)					

Copied from Table 9.20.5.2.B. Forming part of sentence 9.20.5.2.(3)

#### DOOR SCHEDULE (MIN. SIZES U/N OTHERWISE) PER O.B.C. DIV B PART 9 SECT. 9.6

ENTRY DOORS 32"x78" -SEE PLANS (INSULATED) EXT. SLAB DR. 2'-8" X 6'-10" (INSULATED) 2'-8" X 6'-10" (INSULATED) GARAGE SLAB DR COLD STGE DR. 2'-8" X 6'-10" (INSULATED) 2'-8" X 6'-10" (INSULATED) EXT. SLIDING DR. 2-2'-0"X6'-10" SEE PLANS CLOSET DR. LINEN CLOSET 1'-6" X 6'-10" 2'-6" X 6'-10" BATH/POWDER DR. 2'-8" X 6'-10" LAUNDRY RM. DR. BEDROOM DRS. 2'-8" X 6'-10"

NOTE: SIZES ABOVE ARE MIN OBC SIZES WIDTH ONLY - COORDINATE WITH OWNER AND DOOR MANUF. ACTUAL CUSTOM DOOR, MATERIALS AND COLOURS-HT INDICATED EXCEEDS MIN REQM'TS ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. 9.6.8 AND 9.7.6 (RESISTANCE TO FORCED ENTRY)

ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.07 WHERE A STORM DOOR IS NOT PROVIDED EXCEPT FOR DOORS IN ENCLOSED UNHEATED VESTIBULES AND COLD CELLARS, AND EXCEPT FOR GLAZED PORTIONS OF DOORS.

## WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL MEET THE REQUIRED OVERALL COEFFICIENT OF HEAT TRANSFER INDICATED IN O.B.C. MATRIX

## **C.F.** = CONVENTIONAL ROOF FRAMING 2"x6" RAFTERS @ 16"O.C 2"x4" COLLAR TIES AT MIDSPANS RAFTERS OVER TRUSSES TO BE 2"x4" @ 16"O.C. WITH A 2"x4" CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED AT 6'-0" VERTICALLY.

= GIRDER TRUSS-SEE ENGINEERED ROOF TRUSS DWGS = DOUBLE JOIST = TRIPLE JOIST

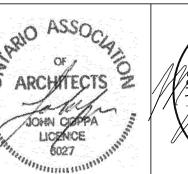
= SOLID WOOD BEARING — THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A37-DIV B PART 9 SEE STRUCT DWGS FOR PART 4 COMPLIANCE NOTE: THE WIDTH OF STUD POST SHALL BE NOT LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT IT SUPPORTS

= LOAD BEARING = WALL ABOVE



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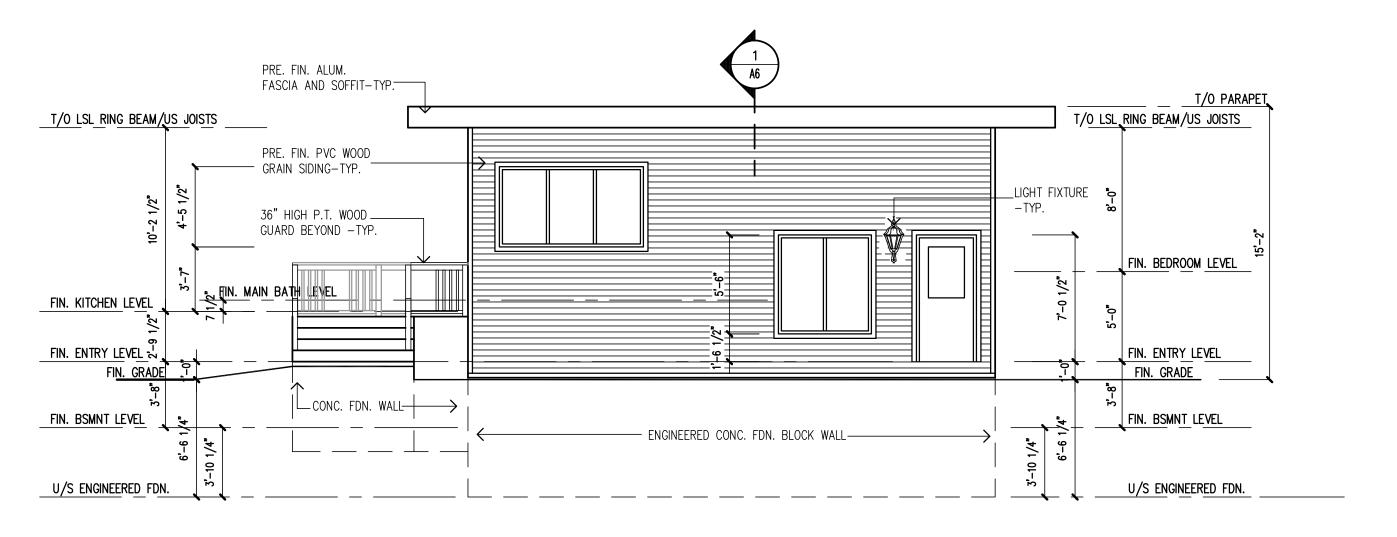
## 2353 BASELINE ROAD Proposed ADDITIONAL

Dwelling Unit

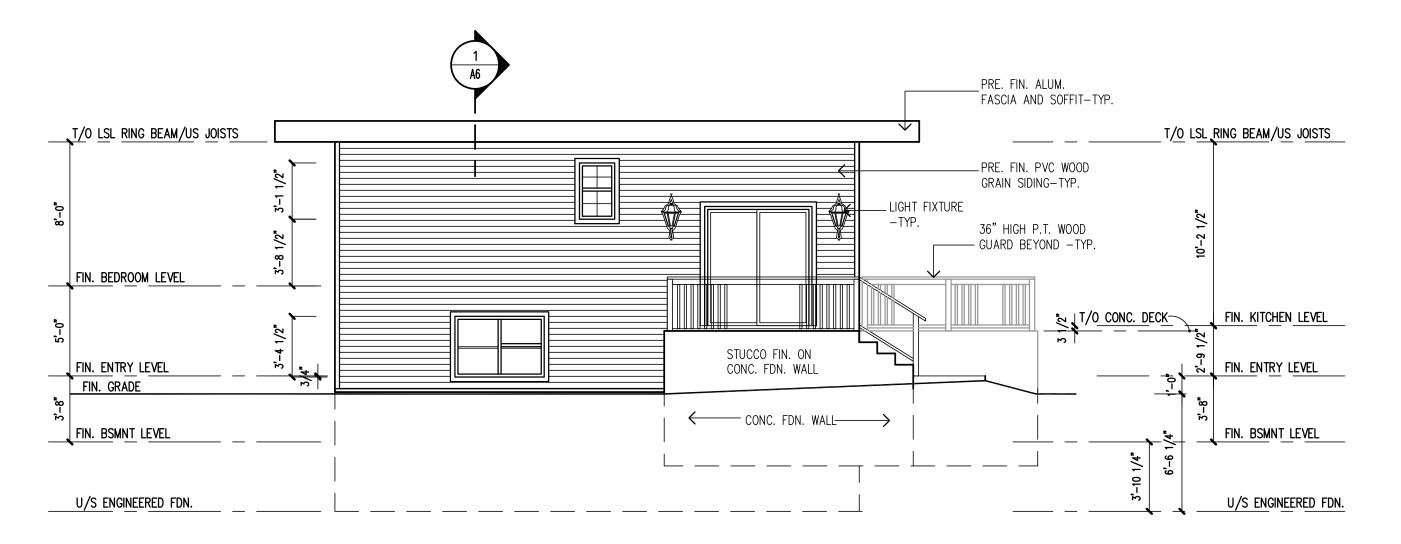
Town of Georgina, Ontario

PROPOSED GROUND FL PLAN COMM. NO. 0289 DRAWING NO. SCALE: 3/16"=1'-0" DATE: Nov. 2023 DRAWN: FM CHECKED:

ROOF PLAN



# EAST (FRONT) ELEVATION



# WEST (REAR) ELEVATION

## TYPICAL ELEVATION NOTES:

ALL GUTTERS, RAINWATER LEADERS SOFFITS AND FASCIAS TO BE PRE-FINISHED ALUM. AS SELECTED BY OWNER -U.N.O.

SHINGLES TO BE MIN. 210# ASHPHALT STYLE BY OWNER

ALL WINDOW/DOOR SILLS, HEADS, JAMBS KEYSTONES TO BE <u>PRECAST CONC</u> WHEN IN MASONRY/STONE FIELD

ALL WINDOW/DOOR SILLS, HEADS, JAMBS

KEYSTONES, WHEN IN SIDING FIELD TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL WINDOW/DOOR SILLS, HEADS, JAMBS

KEYSTONES, WHEN IN STUCCO FIELD TO BE EIFS (STUCCO)

ALL MOULDINGS, TRIMS AND PRECAST

CONC PROFILES AS PER OWNER SELECTION

EXTERIOR SOFFIT MOULDING TO BE COMPOSITE

ALL COUNTERFLASHING TO BE PREFIN

PREFIN. MATERIAL (AZEK)

METAL-COLOUR BY OWNER

HORIZONTAL BAND AT WINDOW SILL HEIGHT TO BE PRECAST CONC. —PROFILE BY OWNER

ALL EXTERIOR AND INTERIOR CORNERS TO RECEIVE PREFIN. TRIM MATERIAL (AZEK)

NEW PREFIN. SIDING FINISH

NOTE: LOCATION OF THROUGH WALL FLASHING TO CONFORM TO O.B.C. SECTION 9.20.13.3

EXTERIOR GUARD NOTES

GUARDS SHALL BE DESIGN TO RESIST MINIMUM

SPECIFIED LOADS PRESCRIBED IN TABLE 9.8.8.2.

OF THE O.B.C.

OPENINGS THROUGH GUARD SHALL NOT EXCEED 100mm

NO MEMBER, ATTACHMENT OR OPENING TO BE LOCATED BETWEEN 140mm AND 900mm ABOVE THE FLOOR OR WALKING SURFACE THAT WOULD FACILITATE CLIMBING

COORDINATE ON SITE WITH OWNERS/SURVEYORS
TO ESTABLISH ACTUAL NUMBER OF STEPS
AND FINISHED FLOOR ELEVATIONS —REPORT
DISCREPENCIES TO 3 SIXTY ARCHITECT INC. PRIOR TO



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ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING

NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR

ADJACENT STRUCTURES AFFECTED BY THIS WORK

PERMISSION OF 3 SIXTY ARCHITECT INC.

1 | Nov 16/2023 | ISSUED TO OWNER

UPON REQUEST

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WHOLE OR IN PART IS FORBIDDEN WITHOUT WRITTEN

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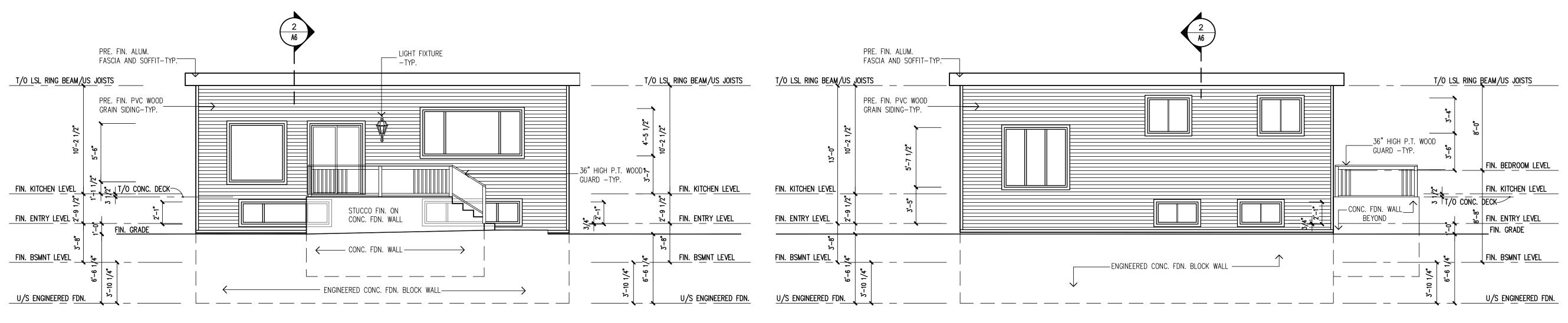


2353 BASELINE ROAD
Proposed ADDITIONAL

Dwelling Unit

Town of Georgina, Ontario

PROPOSED	0289	
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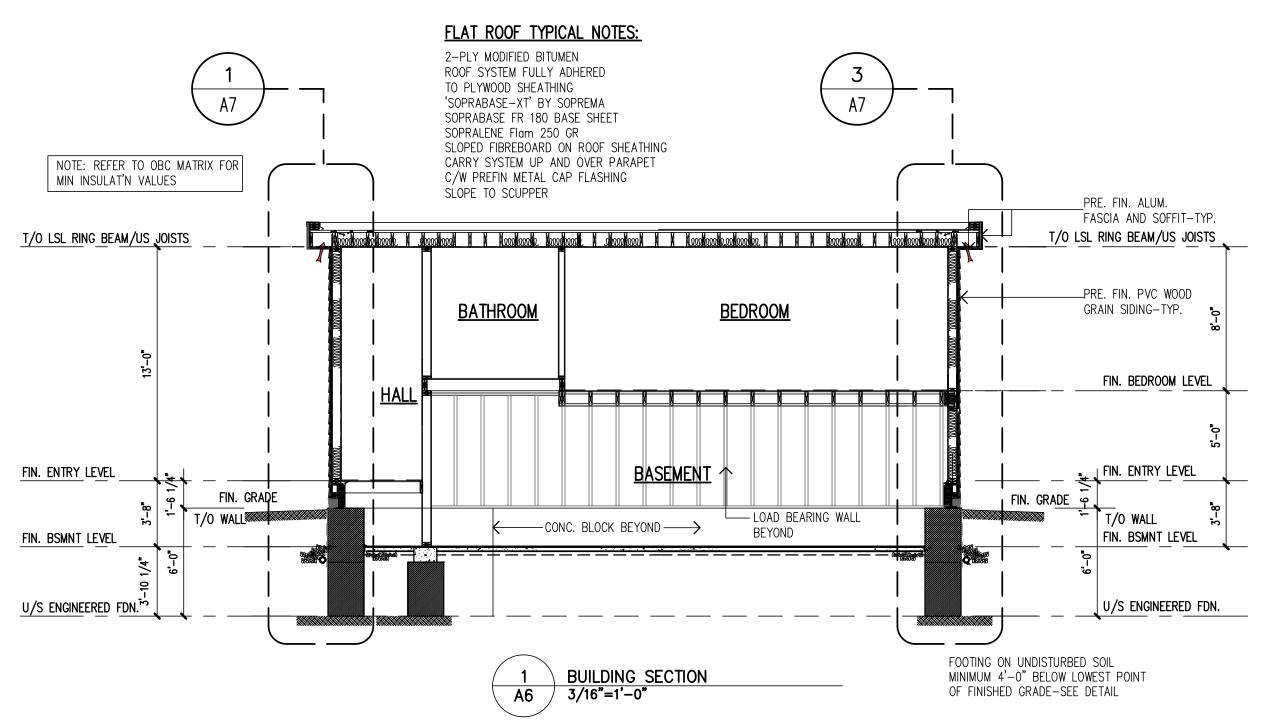


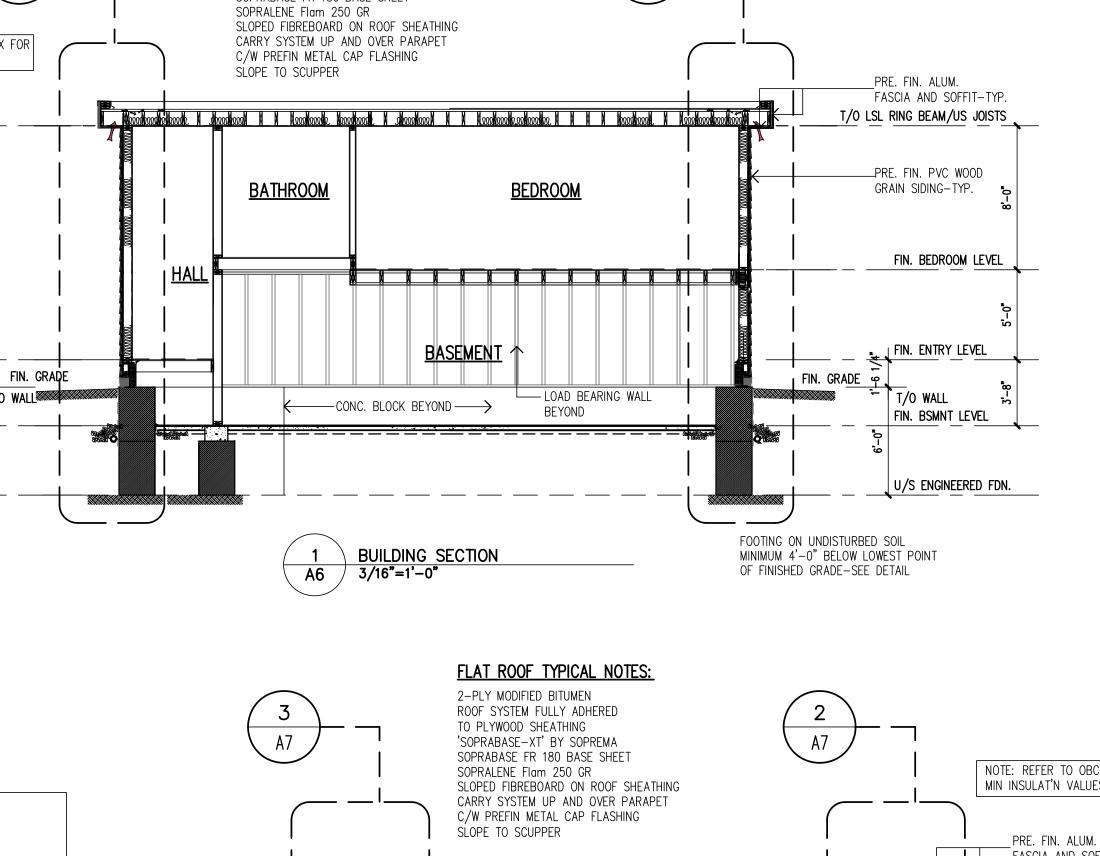
SOUTH (SIDE) ELEVATION

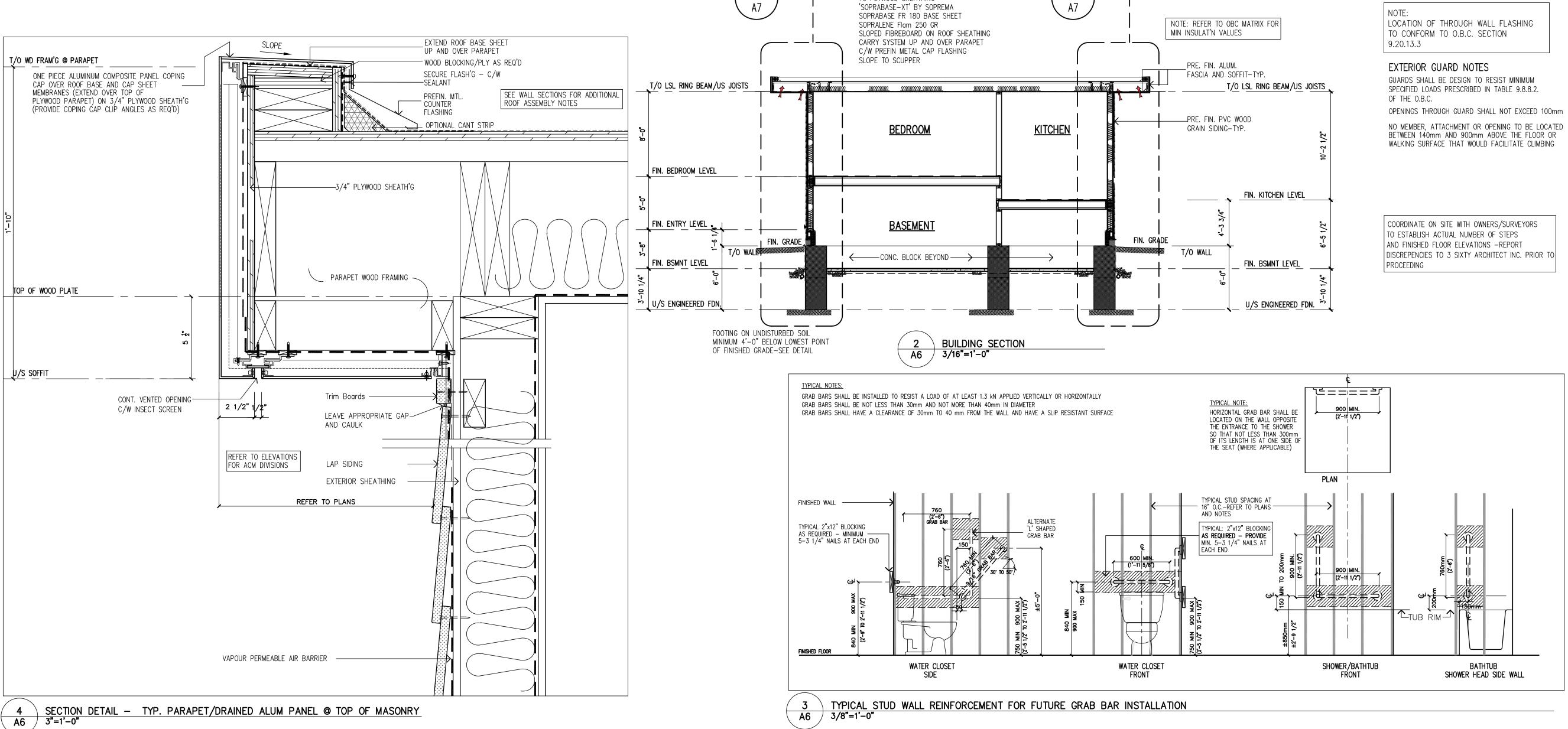
NORTH (SIDE) ELEVATION

Attachment 2 A34-24 2353 Baseline Road Page 8 of 11

TYPE OF WALL	SUPPORTED LOADS INCL DEAD LOADS	MIN. STUD SIZE, mm	MAX. STUD SPACING, mm	MAX. UNSUPPORTED HEIGHT, m
	NO LOAD	38x89 (2"x4")	406 (16")	3.6 (11'-10")
		38x89 (2"x4")	610 (24")	3.6 (11'-10")
	ATTIC NOT ACCESSIBLE BY STAIRWAY	38x89 (2"x4") FLAT	406 (16")	2.4 (7'-10")
INTERIOR	ATTIC ACCESSIBLE BY STAIRWAY + ONE FLR ROOF LOAD PLUS ONE FLOOR ATTIC NOT ACCESSIBLE BY STAIRWAY + 2 FLRS	38x89 (2"x4")	406 (16")	3.6 (11'–10")
	ROOF LOAD, ATTIC ACCESSIBLE BY STAIRWAY ATTIC NOT ACCESSIBLE BY STAIRWAY + 1 FLR	38x89 (2"x4")	610 (24")	3.6 (11'–10")
ATTIC ACCESSIBLE BY STAIRWAY + 2 FLRS		38x89 (2"x4")	305 (12")	3.6 (11'-10")
	ROOF LOAD PLUS TWO FLOORS	38x140 (2"x6")	406 (16")	4.2 (13'-9")
	ATTIC ACCESSIBLE BY STAIRWAY + 3 FLRS ROOF LOAD PLUS THREE FLOORS	38x140 (2"x6")	305 (12")	4.2 (13'-9")
	ROOF WITH OR WITHOUT ATTIC STORAGE:	38x89 (2"x4")	610 (24")	3.0 (9'-10")
EXTERIOR	ROOF WITH OR WITHOUT ATTIC	38x89 (2"x4")	406 (16")	3.0 (9'-10")
	STORAGE PLUS ONE FLOOR:	38x140 (2"x6")	610 (24")	3.0 (9'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS TWO FLOORS:	38x89 (2"x4")	305 (12")	3.0 (9'-10")
		38x140 (2"x6")	406 (16")	3.6 (11'-10")
	ROOF WITH OR WITHOUT ATTIC STORAGE PLUS THREE FLOORS:	38x140 (2"x6")	305 (12")	1.8 (5'-11")







DRAWINGS MUST NOT BE SCALED.

TYPICAL ELEVATION NOTES:

ALL GUTTERS, RAINWATER LEADERS

SOFFITS AND FASCIAS TO BE PRE-

FINISHED ALUM. AS SELECTED BY

SHINGLES TO BE MIN. 210# ASHPHALT

ALL WINDOW/DOOR SILLS, HEADS, JAMBS

ALL WINDOW/DOOR SILLS, HEADS, JAMBS

KEYSTONES, WHEN IN SIDING FIELD TO BE COMPOSITE PREFIN. MATERIAL (AZEK)

ALL WINDOW/DOOR SILLS, HEADS, JAMBS

ALL MOULDINGS, TRIMS AND PRECAST CONC PROFILES AS PER OWNER SELECTION

ALL COUNTERFLASHING TO BE PREFIN

HORIZONTAL BAND AT WINDOW SILL HEIGHT

TO BE PRECAST CONC. -PROFILE BY OWNER

ALL EXTERIOR AND INTERIOR CORNERS TO RECEIVE PREFIN. TRIM MATERIAL (AZEK)

NEW PREFIN. SIDING FINISH

PREFIN. MATERIAL (AZEK)

METAL-COLOUR BY OWNER

KEYSTONES, WHEN IN STUCCO FIELD TO BE

EXTERIOR SOFFIT MOULDING TO BE COMPOSITE

KEYSTONES TO BE PRECAST CONC WHEN IN

OWNER -U.N.O.

STYLE BY OWNER

EIFS (STUCCO)

MASONRY/STONE FIELD

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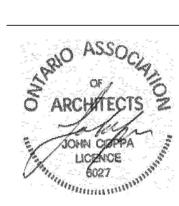
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Attachment 2 A34-24 2353 Baseline Road Page 9 of 11



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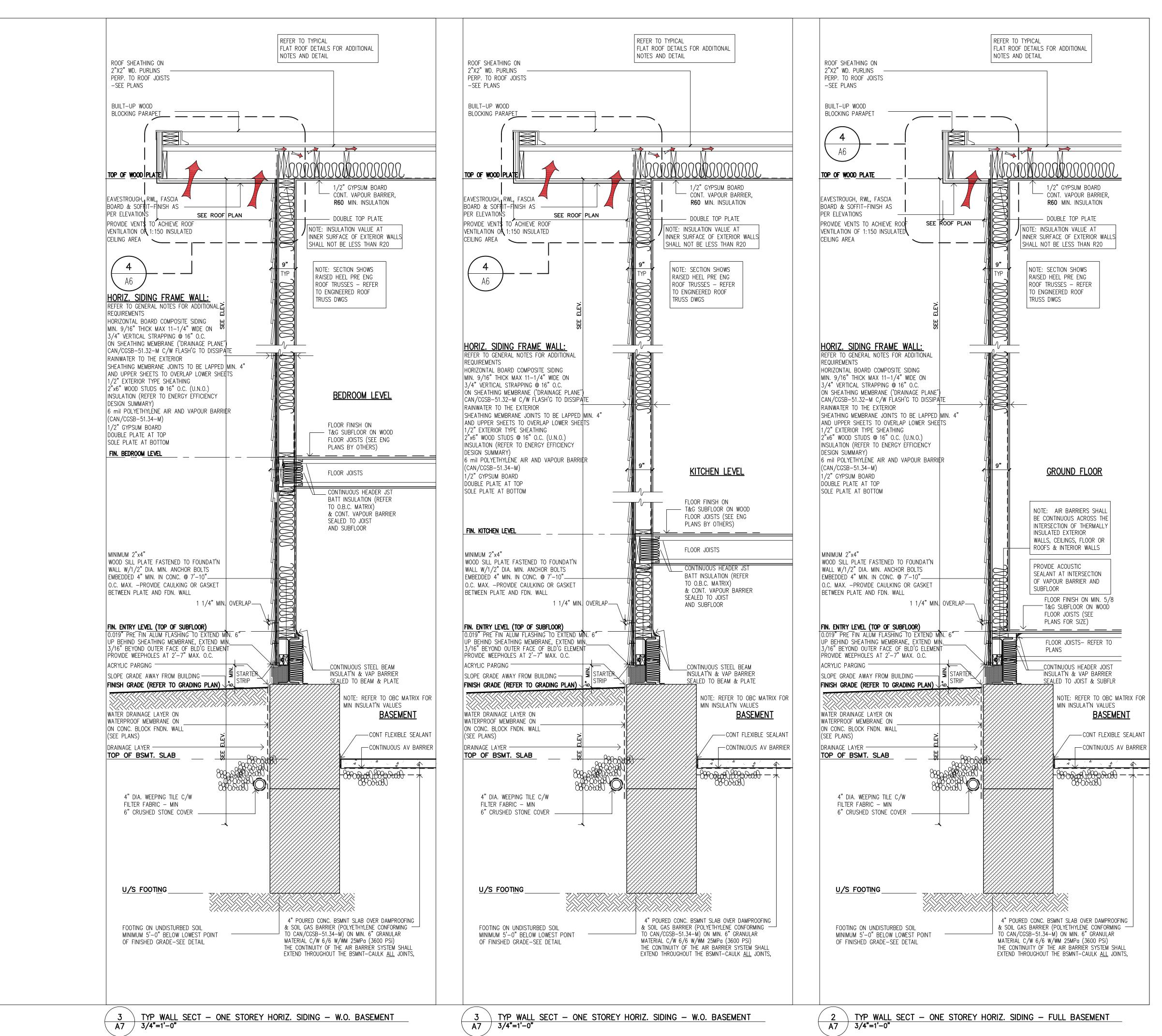


2353 BASELINE ROAD Proposed ADDITIONAL

Town of Georgina, Ontario

Dwelling Unit

	CROSS SECTION SECTIONS & D	сомм. No. 0289	
-	SCALE:AS NOTED	DATE: Nov. 2023	DRAWING NO.
	DRAWN: FM	CHECKED: FM	A6



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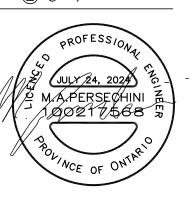
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A34-24 2353 Baseline Road
Page 10 of 11



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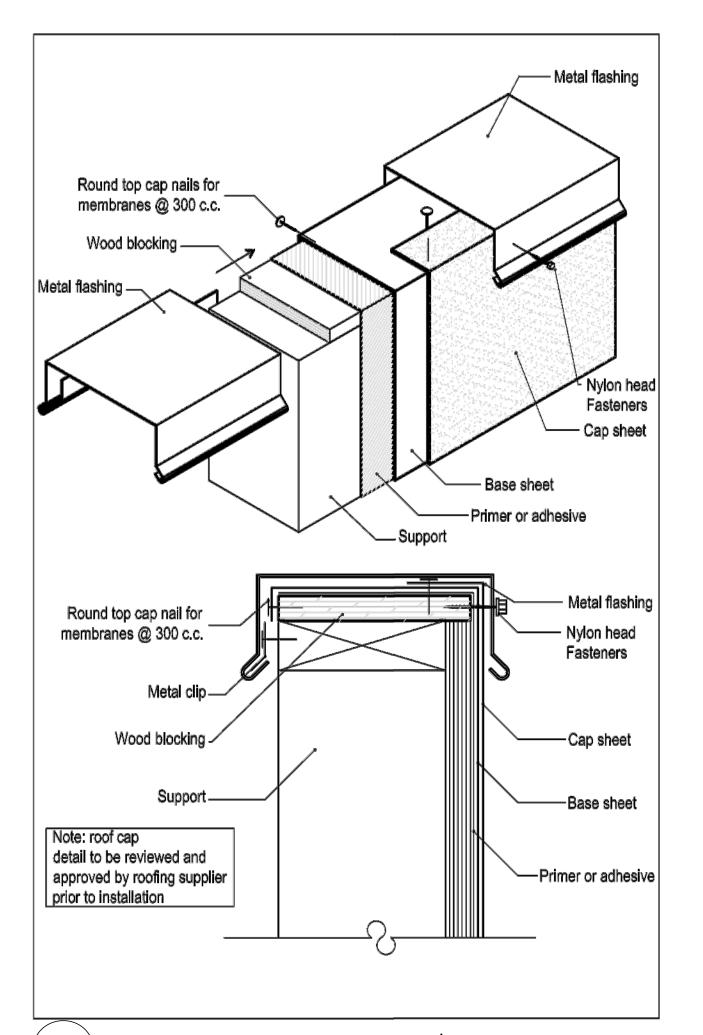


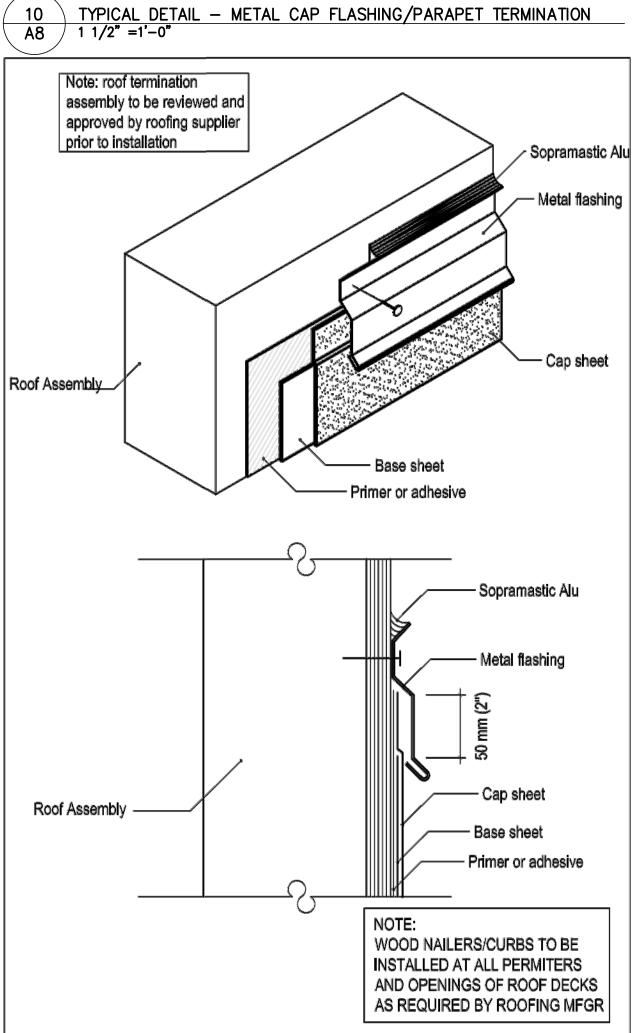
2353 BASELINE ROAD
Proposed ADDITIONAL

Dwelling Unit

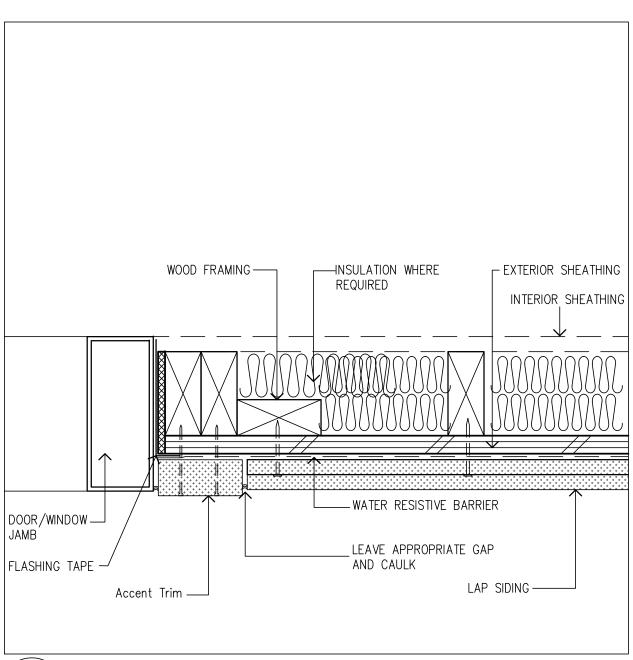
Town of Georgina, Ontario

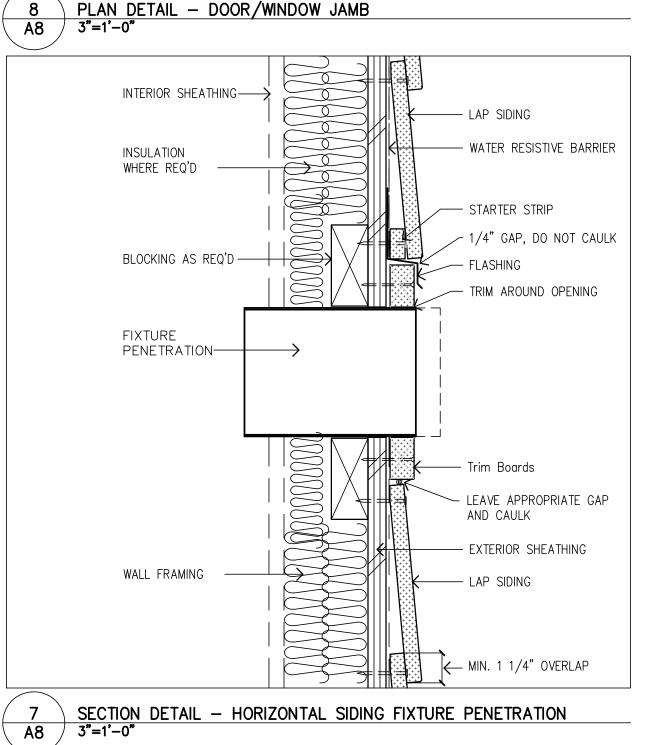
SECTIONS SECTION DETA	AILS	0289
scale:AS NOTED	DATE: Nov. 2023	DRAWING NO.
DRAWN: FM	CHECKED: FM	Δ7

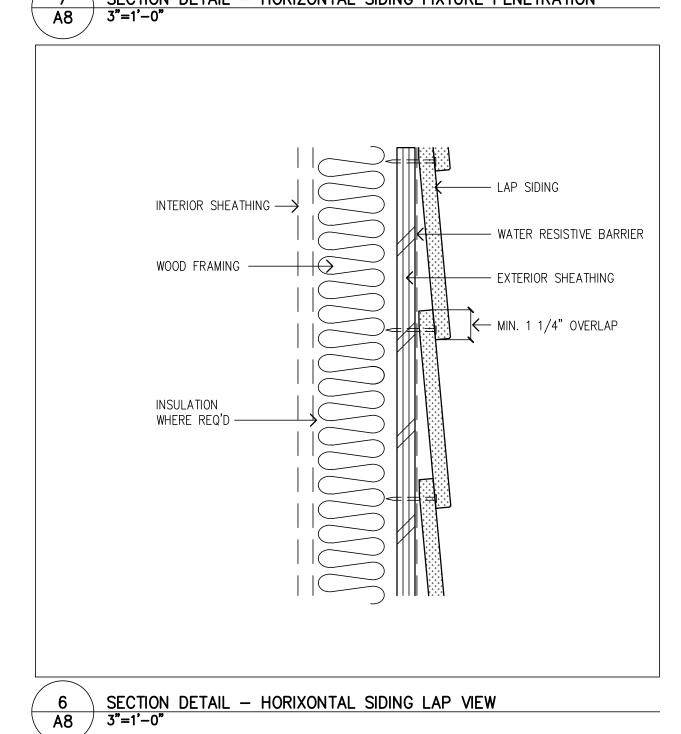


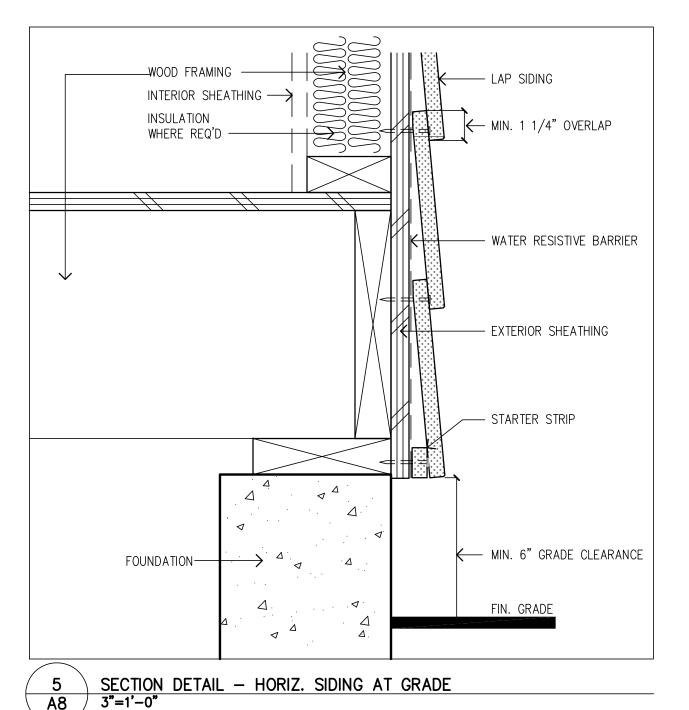


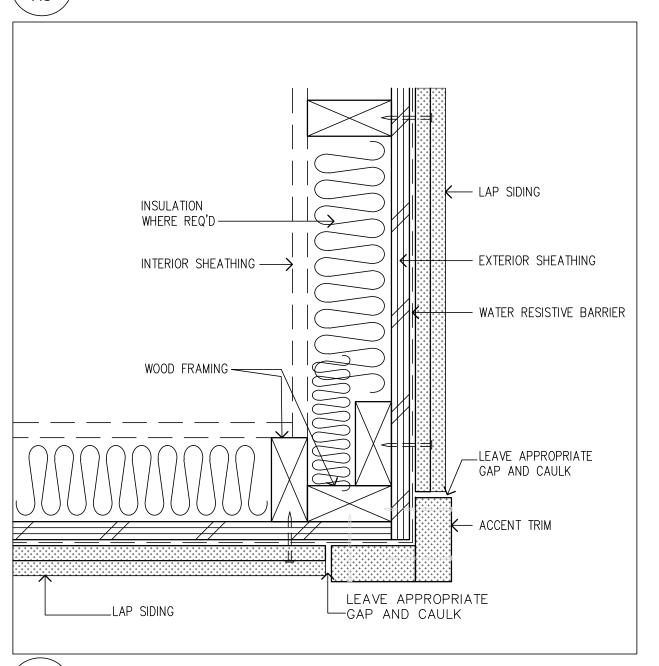
9 TYPICAL DETAIL - METAL COUNTERFLASHING TERMINATION
1 1/2" =1'-0"

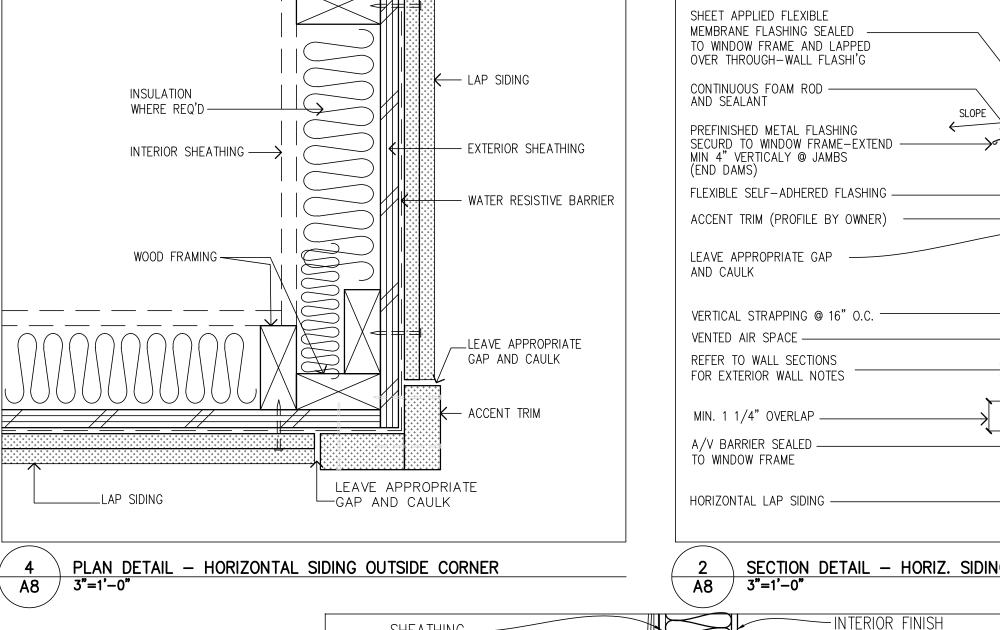


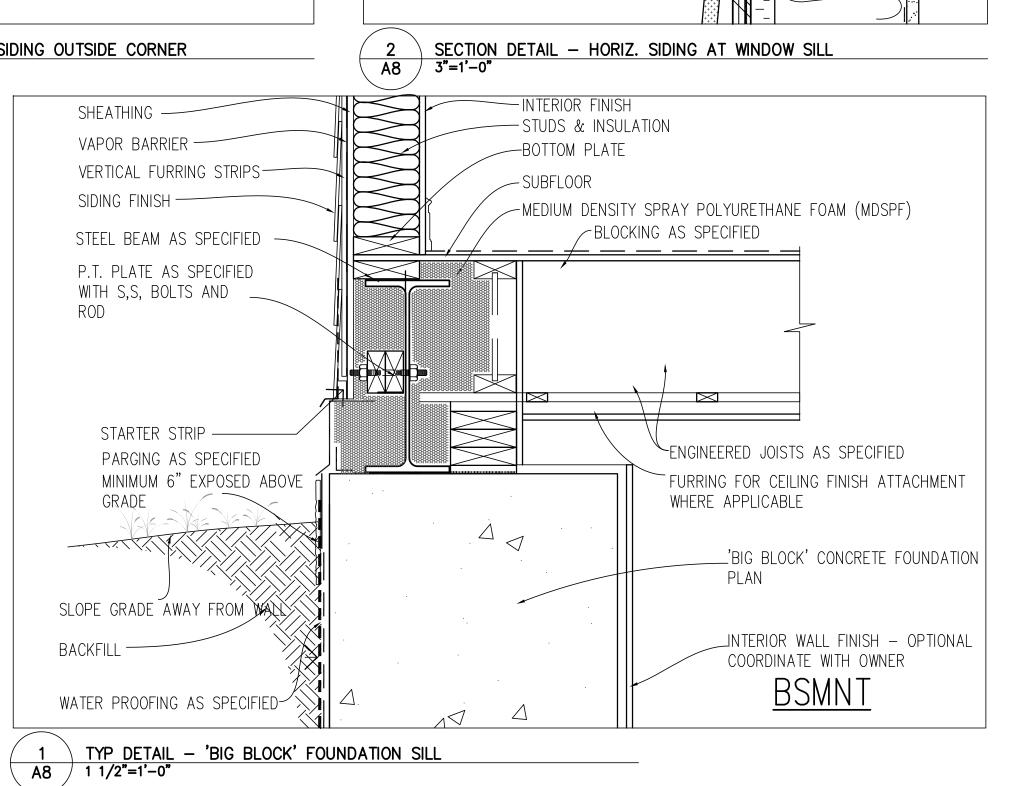












REFER TO WALL SECTIONS FOR

TYP EXTERIOR WALL NOTES

VENTED AIR SPACE —

MIN. 1 1/4" OVERLAP—

SHEATHING MEMBRANE

MTL FLASHING

STARTER STRIP -

(DRAINAGE PLANE) OVER

1/4" GAP, DO NOT CAULK—

FLEXIBLE MEMBRANE WALL FLASHING

ACCENT TRIM (PROFILE BY OWNER)

CONTINUOUS FOAM ROD & SEALANT

DRAINAGE PLANE - PREFIN MTL FLASHING C/W DRIP EDGE EXTEND MIN 1-1/2" PAST WINDOW JAMBS

FLEXIBLE SELF-ADHERED FLASHING

SEAL VAP BARRIER TO WIND FRAME-

SECTION DETAIL - MASONRY WINDOW HEAD

AND PROVIDE END DAMS

HORIZ. SIDING BEYOND

WNDOW FRAME BEYOND —

WNDOW FRAME BEYOND -

HORIZ. SIDING BEYOND

SEE ELEVATIONS

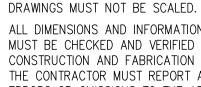
SEE ELEVATIONS

1/4" GAP, DO NOT CAULK

PREFIN MTL FLASHING ——

VERTICAL STRAPPING @ 16" O.C. —

WOOD LINTEL - SEE PLANS-



ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES AND ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISITNG OR ADJACENT STRUCTURES AFFECTED BY THIS WORK

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۱o.	DATE:	REVISION
1	Nov 16/2023	ISSUED TO OWNER
2	Apr 9/2024	ISSUED TO OWNER FOR PERMIT SUBMISSION

Attachment 2 A34-24 2353 Baseline Road Page 11 of 11



2353 BASELINE ROAD Proposed ADDITIONAL Dwelling Unit

Town of Georgina, Ontario

ROOF DETAILS HORIZ. LAP SII	DING DETAILS	сомм. No. 0289
SCALE:AS NOTED	DATE: Nov. 2023	DRAWING NO.
DRAWN: FM	CHECKED: FM	A8

# Site Photos





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# Consolidated Comments for A34-24 - 2353 Baseline Road

Department/Agency	Date Received	r A34-24 - 2353 Baseline Road  Response:
Building Division	Date Received	Response.
Building Division		
Building/Plumbing Inspector	January 27, 2025	Property is on septic.
		Septic needs to be assessed by an engineer since it has not been
		in use since around 2018 or before, prior to any building permits
		can be issued.
Clerks Division		
Community Services		
Development Engineering	January 28, 2025	See Attached
Economic Development	January 22, 2025	No Objections/Concerns
Georgina Fire Department	January 28, 2025	No Objections
Municipal Law		
Operations & Infrastructure		
operations a minustracture		
Tay <sup>0</sup> Dayanya	January 17, 2025	No Tay concerns
Tax & Revenue	January 17, 2025	INO TAX CONCERNS
Bell Canada		
Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina	1	
CN Durings Development () Deal Estate		
C.N. Business Development & Real Estate		
Enbridge Gas		
Hydro One		
Lake Simcoe Region Conservation Authority	January 28, 2025	See Attached
(LSRCA)		
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
		Located outside MTO permit control, Mto has no further
		comments
Monavenir Catholic School Board	<del> </del>	
MPAC	†	Attachment 4
WII AC	<u> </u>	A34-24 2353 Baseline Road

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Page 1 of 6

# Consolidated Comments for A34-24 - 2353 Baseline Road

Ontario Power Generation		
Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board		
York Region - Community Planning & Development Services	January 24, 2025	No comment
York Region District School Board York Regional Police		

Attachment 4 A34-24 2353 Baseline Road Page 2 of 6





Sent via e-mail: <a href="mailto:braines@georgina.ca">braines@georgina.ca</a>

January 28, 2025

Municipal File No.: A34-34 LSRCA File No.: VA-168769-012025

Brianna Raines
Secretary-Treasurer to the Committee of Adjustment
Planning Division, Development Services Department
26557 Civic Centre Rd
Keswick, ON L4P 3G1

Dear Ms. Raines,

Re: Application for Minor Variance

2353 Baseline Road Town of Georgina

Owner: Antonio & Rosetta Comegna Applicant: 3 Sixty Architect Inc.

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to demolish and rebuild the existing second dwelling. The Applicant/Owner is seeking relief from the Town of Georgina Zoning By-law 500, as amended to permit the replacement Legal Non-Conforming second/additional dwelling to expand past the extent of the previous second/additional dwelling.

#### **Documents Received and Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- Agency Circulation (dated January 17, 2025)
- Architectural Drawings prepared by 3 Sixty Architect Inc.

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation Authorities Act.* LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

#### Recommendation

Based on our review of the submitted information in support of the application, the proposal is consistent and in conformity with the natural hazard policies of the applicable plans. On this basis, we have no objection to the approval of this application for Minor Variance. It is recommended that any approval of this application be subject to the following conditions:

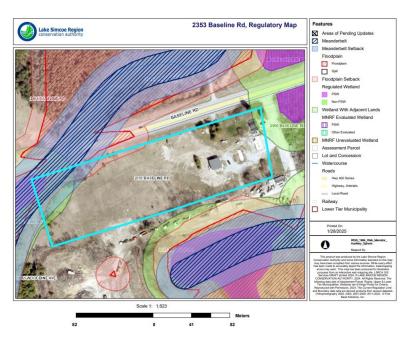
• That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

#### **Site Characteristics**

The subject land is approximately 1.83 hectares (4.52 acres) in area and is located south of Baseline Road within the Town of Georgina. The subject land is currently zoned 'Rural (RU)' per the Town of Georgina Zoning By-law 500, as amended.

Existing environmental mapping indicates the following:

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24. Please see a detailed regulatory map below. This is representative of:
  - The presence of a watercourse (Crescent Creek)
  - Flooding and erosion (meanderbelt) hazards associated with the watercourse
  - o Provincially Significant Wetland (PSW) and the associated 30 metre adjacent lands
- The subject property contains identified woodland areas.
- The subject property is within a Significant Groundwater Recharge Area (SGRA).
- The subject property is within the Greenbelt Natural Heritage System and Protected Countryside designations per the Greenbelt Plan.



# **Delegated Responsibility and Statutory Comments**

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 5.2 of the Provincial

Planning Statement (PPS). There are identified natural hazards on the subject lands (floodplain, erosion hazard area). The proposal is located outside of the hazardous lands and therefore is consistent with 5.2 of the PPS.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the Conservation Authorities Act, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. The proposal is located outside of the regulated area therefore a permit from the LSRCA is not required at this time.

#### **Advisory Comments**

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

# **Summary**

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Minor Variance.

Given the above comments, it is the opinion of the LSRCA that:

- 1. Consistency with Section 5.2 of the PPS has been demonstrated;
- 2. Ontario Regulation 41/24 applies to a portion of the subject site. In future, a permit from the LSRCA will be required for any development or site alteration within the regulated portion;
- That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,

Jessica Lim Planner I

Lake Simcoe Region Conservation Authority (LSRCA)

**To:** Brianna Raines, Secretary Treasurer - Committee of Adjustments

**From:** Michelle Gunn, Development Engineering Clerk

cc: Mike lampietro, Manager, Development Engineering

Cory Repath, Sr. Development Inspector

Vikum Wegiriya, Jr. Development Technologist Matthew DeLuca, Jr. Development Inspector Laura Taylor, Operations Administrative Assistant

Date: January 28<sup>th</sup>, 2025

**Re:** MINOR VARIANCE A34-24

2353 Baseline Road

**CONCESSION 4, PART OF LOT 23** 

ROLL NO.: 109-810

The Development Engineering Division has no objection to Minor Variance Application No. A34-24, subject to the following condition(s) being fulfilled to the Engineering Development Division's satisfaction:

- The applicant/owner shall provide a detailed lot grading and drainage plan including existing and proposed entrance prepared by a Professional Engineer or Ontario Land Surveyor skilled and competent in such works and all in accordance with the requirements of Part 4 of By-law 2022-0038 (REG-1), as amended. The plan shall show existing conditions including grade elevations of the entire lot, to the satisfaction of the Town's Development Engineering Division.
  - A Professional Engineer is required to prepare drainage plans that contain any LID's (soakaway pit, infiltration gallery, French drain, etc.). Please contact the Development Engineering Division for any questions or concerns.



# THE CORPORATION OF THE TOWN OF GEORGINA

# **Committee of Adjustment Minutes**

Date: Monday, January 20, 2025

Time: 7:30 PM

Members of

Committee Present:

John Rogers, Chair

Karen Whitney Chris Burns Lynda Rogers Joseph Bonello

Staff Present: Brianna Raines, Secretary Treasurer of the Committee of

Adjustment

Jeff Healey, Supervisor of Development Planning

Monika Sadler, Planner I

# 1. ROLL CALL

"The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of the Mayor and Council and Committee, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities."

As noted above

# 2. INTRODUCTION OF ADDENDUM ITEM(S)

1. A33-24 - 87 Sibbald Crescent - Letter of Support

# 3. DECLARATION OF PECUNIARY INTEREST

Committee Member, Chris Burns declared a pecuniary interest for applications A20-24 and A33-24.

Committee Chair, John Rogers declared a pecuniary interest for application A29-24. Committee Member Karen Whitney was appointed Acting Chair for this application.

Moved By Joseph Bonello Seconded By Lynda Rogers

# **Carried Unanimously**

# 4. EXPLANATION OF HEARING PROCEDURE

Secretary-Treasurer for the Committee of Adjustment Brianna Raines read the explanation of hearing procedure.

# 5. REQUESTS FOR DEFERRAL OR WITHDRAWAL

There are none.

A motion was made to move A33-24 into second position under Agenda item 7.

Moved By Karen Whitney Seconded By Lynda Rogers

# **Carried Unanimously**

# 6. APPLICATIONS FOR CONSENT

1. CONSENT APPLICATION B18-24 5 AND 5A EVELYN AVENUE

The Agent, Alicia Monteith from Corbett Land Strategies did a presentation on the application.

There were no public speakers or public comments on the application.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Joseph Bonello Seconded By Chris Burns

1. That the Committee of Adjustment receive Report No. DS-2025-0005 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Consent Application B18-24, submitted by the owners for the property municipally addressed as 5 and 5A Evelyn Avenue; and,

# 2. Staff recommend the following:

- a. That the Committee of Adjustment approve Consent Application B18-24 as it pertains to the property known as 5 and 5A Evelyn Avenue, to sever and convey Severed Lands from Retained Lands and convey same to Benefitting Lands, as shown in Attachment 3 to Report No. DS-2025-0005; and,
- b. That the approval of Consent Applications B18-24 be subject to the following condition(s):
  - Submission to the Secretary-Treasurer of two (2) white prints of a deposited reference plan of survey to conform substantially with the applications, as submitted;
  - Submission to the Secretary-Treasurer of draft transfer documents, in duplicate, conveying Severed Lands to Benefitting Lands as indicated on Attachment 3 to Report No. DS-2025-0005;
  - iii. Submission to the Secretary-Treasurer of written confirmation from the Town of Georgina Development Planning Division that the Owner / Applicant submit and obtain approval for a Cancellation of Consent (B19- 24) related to previous Consent Application B10-17 from 2017;
  - iv. Submission to the Secretary-Treasurer of written confirmation from The Town of Georgina Development Planning Division that the shed located on Retained Lands has been removed; and,
  - v. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

**Carried Unanimously** 

# 7. APPLICATIONS FOR MINOR VARIANCE

Committee Member Chris Burns left the meeting, as a pecuniary interest was declared.

MINOR VARIANCE APPLICATION A20-24
 32 SNOOKS ROAD
 PLAN 69, PART OF BLOCK 4, PART OF LOT 5, PLAN 65R-1648, PART 3
 The owner, Lois Andrews, did a brief presentation on the application.

There were no public speakers or public comments on the application.

Committee Member Lynda Rogers wanted confirmation that the issue of the ramp was to be discussed as well. Committee Chair John Rogers confirmed that it was a condition of the Minor Variance. Mrs. Andrews confirmed that she was aware that an encroachment agreement would be required once the minor variance was approved.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Karen Whitney Seconded By Joseph Bonello

- 1. That the Committee of Adjustment receive Report No. DS-2025-0002 prepared by the Development Planning Division, Development Services Department, dated January 20, 2024, respecting Minor Variance Application A20-24, for the property municipally addressed as 32 Snooks Road; and,
- 2. Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A20-24 to permit relief from the following:
    - Section 6.1(c): To permit an addition to the single detached dwelling with a front yard setback of 0.8 metres, whereas a front yard setback of 6 metres is required;
    - ii. <u>Section 5.45 (h):</u> To permit a handicap ramp to encroach nil metres into the front yard setback, whereas an encroachment of 2 metres into the required front yard is permitted;
  - b. That the approval of Minor Variance Application A20-24 be subject to the following condition(s):
    - Submission to the Secretary-Treasurer that the recirculation fee has been paid to the satisfaction of the Development Planning Division;
    - ii. Submission to the Secretary-Treasurer of written confirmation from the Operations and Infrastructure Division that all matters identified in Attachment 4 to Report No. DS-2025-0002 have been addressed to the Division's satisfaction; and
    - iii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision

- c. That the approval of Minor Variance Application A20-24 be subject to the following term(s):
  - That the proposed addition be constructed in general conformity with Attachment 2 to Report DS-2025-0002, in accordance with the relief recommended to be approved in Recommendation 2a);

2. MINOR VARIANCE APPLICATION A33-24 87 SIBBALD CRESCENT PLAN 204 LOT 56

The owner, Melissa Pestill, did a brief presentation on the application.

Committee Chair John Rogers wanted some clarification on whether the existing house was being replaced or being modified. Mrs. Pestill advised that it is being cleaned up. Committee Chair John Rogers, then advised that in Monika's report there was discussion of the height of the building, the main building is shorter than the garage will be. Committee Chair John Rogers mentioned that he did see that there is an elevation difference. Mrs. Pestill advised that the garage will just be slightly taller than the house thus making it more visually appealing as the house is sitting up at a higher elevation.

There were no public speakers. Committee did receive a public comment that was mentioned in the addendum items, being a letter of support for the application.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions

Moved By Karen Whitney Seconded By Lynda Rogers

- 1. That the Committee of Adjustment receive Report No. prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A33-24, for the property municipally addressed as 87 Sibbald Crescent; and,
- 2. Staff recommend the following:

- a. That the Committee of Adjustment approve Minor Variance Application A33-24 to permit relief from the following:
  - Section 5.1(f): To permit a detached accessory building with a height to the roof peak of 6.95 metres, whereas detached accessory buildings may have a maximum height to the roof peak of 6 metres;
  - ii. <u>Section 5.1(f)</u>: To permit a detached accessory building with a height to the eaves of 5.49 metres, whereas detached accessory buildings may have a maximum height to the eaves of 4.5 metres;
- b. That the approval of Minor Variance Application A33-24 be subject to the following term(s):
  - That the proposed accessory structure be constructed in general conformity with Attachment 2 to Report DS-2025-0006, in accordance with the relief recommended to be approved in Recommendation 2a);
  - ii. That the detached garage shall not have any interior water fixtures and/or washroom facilities (i.e. sink, toilet, shower or bathtub); and,
  - iii. That the detached garage shall not be utilized for sleeping accommodation/living quarters at any time.
- c. That the approval of Minor Variance Application A33-24 be subject to the following condition(s):
  - Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0006 have been addressed to the satisfaction of the Conservation Authority; and
  - ii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

Committee Member Chris Burns returned to the meeting.

3. MINOR VARIANCE APPLICATION A28-24 837 TRIVETTS LANE PLAN 65M-4740, LOT 13 The agents, Ashley and Antonio Ingoglia, did a brief explanation on the application.

Monika Sadler, Planner I provided a presentation on the application.

There were no public speakers or comments.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns Seconded By Joseph Bonello

- 1. That the Committee of Adjustment receive Report No. DS-2025-0001 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A28-24, for the property municipally addressed as 837 Trivetts Lane; and,
- 2. Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A28-24 to permit relief from the following:
    - Section 10.5.68: To permit a minimum rear yard setback of 5 metres, whereas a minimum rear yard setback of 8 metres is required;
    - ii. Section 6.1 (i): To permit a maximum lot coverage of 38.5%; whereas a maximum lot coverage of 35% is required;
    - iii. <u>Section 6.1(j):</u> To permit a maximum building height of 11.5 metres, whereas a maximum building height of 11 metres is required;
    - iv. Section 5.28(i): To permit a maximum driveway width of 9.45 metres, whereas a maximum driveway width of 9 metres is required;
  - b. That the approval of Minor Variance Application A28-24 be subject to the following term(s):
    - That the proposed single detached dwelling be constructed in general conformity with Attachment 3 to Report DS-2025-0001, in accordance with the relief recommended to be approved in Recommendation 2a);
  - c. That the approval of Minor Variance Application A28-24 be subject to the following condition(s):

- Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0001 have been addressed to the satisfaction of the Conservation Authority; and
- ii. That the above-noted conditions be fulfilled within two (2) years of the date of the Notice of Decision.

Committee Chair John Rogers left the meeting, as a potential pecuniary interest was declared. and Karen Whitney took the Chair as Acting Chair.

4. MINOR VARIANCE APPLICATION A29-24 43 THE QUEENSWAY NORTH CON 3 PT LOT 14 RS65R13228; PART 1

The agent, Lisa Rapoport, did a brief presentation on the application.

There were no public speakers or public comments.

Committee Member Chris Burns asked the agent how they will maintain the accessibility of the exit path while still securing it for residents. Ms. Rapoport advised that they use a Mag Lock.

Following the vote, Acting Committee Chair Karen Whitney advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns Seconded By Joseph Bonello

- 1. That the Committee of Adjustment receive Report No. DS-2025-0003 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A29-24, for the property municipally addressed as 43 The Queensway North; and,
- 2. Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A29-24 to permit relief from the following:
    - i. <u>Section 5.1 (b):</u> To permit the construction of an accessory building (pergola) in a front yard, whereas an

- accessory building or structure shall not be erected in any yard other than an interior side yard or rear yard;
- ii. <u>Section 5.1(b):</u> To permit the construction of an accessory building (shed) in a front yard; whereas an accessory building or structure shall not be erected in any yard other than an interior side yard or rear yard;
- iii. Section 5.12: To permit a 2.4-metre high fence with nil front yard setbacks, whereas adherence to the minimum yard requirements is required for a fence with a maximum height exceeding 2 metres;
- b. That the approval of Minor Variance Application A29-24 be subject to the following term(s):
  - That the proposed accessory structures be constructed in general conformity with Attachment 2 to Report DS-2025-0003, in accordance with the relief recommended to be approved in Recommendation 2a);
- c. That the approval of Minor Variance Application A29-24 be subject to the following condition(s):
  - Submission to the Secretary-Treasurer of written confirmation from the Lake Simcoe Region Conservation Authority that all matters identified in Attachment 4 to Report No. DS-2025-0003 have been addressed to the satisfaction of the Conservation Authority; and
  - ii. That the above-noted conditions be fulfilled within two(2) years of the date of the Notice of Decision.

Committee Chair John Rogers returned to the meeting.

MINOR VARIANCE APPLICATION A25-24
 24996 WOODBINE AVENUE
 CONCESSION 3, PART LOTS 14 AND 15 (NG), 65R-38842, PART OF PART 1

The agent, Michael Smith, did a brief presentation on the application.

There were no public speakers or public comments.

Committee Member Chris Burns asked for clarification as to how Mr. Smith's presentation showed seven (7) variances, the map in the agenda shows six (6) variances. Mr. Smith advised that when the staff report was completed one of the variances was divided into two parts, being lots with frontage 15 metre and 18 metre corner lots. Committee Member Chris Burns then asked if the lots are currently sold. Matthew Creador, representative for Treasure Hill, advised that the lots have not been sold yet as they are gearing up for the springtime sales launch. Committee Member Chris Burns then pointed out that Lot 43 does not front on a street. Mr. Smith confirmed that they won't be able to pull a permit on that lot until the second phase.

Committee Chair John Rogers asked if Danny Wheeler Boulevard was to be extended to Woodbine during this phase of the subdivisions. Mr. Smith confirmed that is correct.

Following the vote, Committee Chair John Rogers advised that the application is approved subject to a 20-day appeal period and two years to meet all conditions.

Moved By Chris Burns Seconded By Karen Whitney

- 1. That the Committee of Adjustment receive Report No. DS-2025-0004 prepared by the Development Planning Division, Development Services Department, dated January 20, 2025, respecting Minor Variance Application A25-24, for the property municipally addressed as 24996 Woodbine Avenue; and,
- 2. Staff recommend the following:
  - a. That the Committee of Adjustment approve Minor Variance Application A25-24 to permit relief from the following:
    - i. <u>Section 7.5.113 (b) (ii):</u> To permit a maximum interior garage width of 8.9 metres, whereas the maximum interior garage width of 6 metres is permitted;
    - ii. <u>Section 5.28(i)</u>: To permit a maximum driveway or parking area width of 60% of the lot frontage for the 15-metre (minimum) interior lots, whereas a maximum of 55% is permitted;
    - iii. Section 7.5113 (b) (v): To permit a maximum driveway or parking area width of 9.9 metres for the 18-metre corner lots, whereas a maximum driveway width is the width of the interior garage, plus 0.5 metres is permitted;
    - iv. <u>Section 7.5.113 (a):</u> To permit an interior side yard setback of 0.6 metres on one side, whereas an interior

- side yard setback on both sides of 1.2 metres is required;
- v. <u>Section 5.28(i)</u>: To permit a minimum distance between the driveway and the intersection of street lines of 6 metres, whereas a minimum distance of 9 metres is permitted;
- vi. Section 5.35 (a): To permit a minimum size of a sight triangle of 5 metres at the intersection of local streets in a Residential Zone, whereas a minimum size of sight triangle at the intersection of local streets in a Residential Zone of 6 metres is permitted;
- vii. Section 7.5.113 (a): To permit a rear yard setback of 6 metres, whereas a rear yard setback of 7 metres is required.
- b. That the approval of Minor Variance Application A25-24 be subject to the following term(s):
  - That the proposed subdivision be constructed in general conformity with Attachment 3 to Report DS-2025-0004, in accordance with the relief recommended to be approved in Recommendation 2a);

# 8. POWER OF SALE/FORECLOSURE/VALIDATION OF TITLE APPLICATIONS

There are none.

# 9. MINUTES OF PREVIOUS MEETING

1. December 2, 2024 Meeting Minutes

The minutes from December 2, 2024 meeting were adopted by the Committee.

Moved By Joseph Bonello Seconded By Lynda Rogers

**Carried Unanimously** 

# 10. COMMUNICATIONS

There are none.

# 11. OTHER BUSINESS

A timeline of January 31, 2025 was given for Committee Members to provide a photo to receive a photo card from the Town of Georgina.

A reminder was given to renew the OACA membership, either by renewing themselves or renewing by sending login information to the Secretary Treasurer of the Committee of Adjustment.

# 12. NEXT MEETING

The February 3, 2025 meeting is cancelled. The next meeting will be Wednesday, February 19, 2025.

# 13. ADJOURNMENT

Meeting was adjourned.

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	John Rogers, Chair
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Briann	a Raines, Secretary-Treasurer