



GEORGINA

**THE CORPORATION OF THE
TOWN OF GEORGINA
Council Agenda**

Wednesday, October 23, 2024
7:00 PM

Pages

1. CALL TO ORDER- MOMENT OF MEDITATION

“The Town of Georgina recognizes and acknowledges that we are on lands originally used and occupied by the First Peoples of the Williams Treaties First Nations and other Indigenous Peoples, and on behalf of Mayor and Council, we would like to thank them for sharing this land. We would also like to acknowledge the Chippewas of Georgina Island First Nation as our close neighbour and friend, one with which we strive to build a cooperative and respectful relationship.

We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

2. ROLL CALL

3. COMMUNITY ANNOUNCEMENTS

4. INTRODUCTION OF ADDENDUM ITEM(S)

5. APPROVAL OF AGENDA

6. DECLARATION OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF

7. ADOPTION OF MINUTES

1. Council Minutes of September 18, 2024

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8. SPEAKERS AND DELEGATIONS

9. PETITIONS

10. PUBLIC MEETINGS

1. Statutory Meeting(s) Under The Planning Act Or Meetings Pertaining To The Continuation Of Planning Matters

- a. Application to Amend Zoning Bylaw No. 500 (7:00pm)

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13693449 Canada Inc and 20962 Dalton Road Limited Partnership

Part of Lot 11, Block 60, Plan 69, 20962 Dalton Road, Sutton,
File #03.1181

Report No. DS-2024-0056

Recommendation(s):

1. That Council receive Report DS-2024-0056 prepared by the Development Planning Division, Development Services Department dated October 23, 2024 respecting an application to amend Zoning By-law No. 500 submitted by Shenshu Zhang on behalf of 20962 Dalton Road Limited Partnership and 13693449 Canada Inc. for lands municipally addressed as 20962 Dalton Road;
2. That Staff report further to Council following the assessment of all Town Department and external agency comments presented in Report No. DS-2024-0056, as well as any comments raised by the public and Council at the Public Meeting; and,
3. That Staff provide written notice of the next Council meeting, a minimum of two weeks in advance of the date of said meeting, to the following:
 - a. Any person or public body that has requested to be notified of any future Council meeting(s); and,
 - b. Any person or public body that has requested to be notified of Council's decision regarding the approval or refusal of the subject application.

2. Statutory Meeting(s) Under Other Legislation

3. Other Public Meetings

11. REPORTS

1. Adoption Of Reports Not Requiring Separate Discussion

a. Application to Remove a Holding (H) Provision

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Ballymore Development (Keswick) Corporation

Blocks 100 and 101, Registered Plan 65M-4700, s/s Dovedale Drive, n/s Dorothy Caine Crescent

Report No. DS-2024-0062

Recommendation(s):

1. That Council receive Report No. DS-2024-0062 prepared by the Development Planning Division, Development Services Department dated October 23, 2024 respecting an application to amend Zoning Bylaw

No. 500 for the removal of a Holding (H) provision, submitted by Melinda Bessey on behalf of Ballymore Development (Keswick) Corporation for lands on the south side of Dovedale Drive and the north side of Dorothy Caine Crescent in Keswick;

2. That Council approve the request to remove the 'Holding – (H)' Provision and the "H" symbol from the zoning maps for the subject properties as outlined in Report DS-2024-0062; and,
3. That Council pass a bylaw to remove the Holding (H) provision from Zoning Bylaw No. 500, as amended by Bylaw 500-2020-0003 (PL-5).

2. Reports Requiring Separate Discussion

12. DISPOSITIONS, PROCLAMATIONS, AND GENERAL INFORMATION ITEMS

1. Dispositions/Proclamations None
2. General Information Items
 - a. Information Items
 - b. Briefing Notes None

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13. MOTIONS/ NOTICES OF MOTION

1. Notice of Motion by Councillor Dale;

WHEREAS the Town of Georgina recognizes that the economic climate and housing supply demand further inventory of accessory units and affordable housing;

AND WHEREAS the Town of Georgina currently allows 3 units as of right on properties in municipally serviced areas free of Official Plan Amendments and Zoning Bylaw Amendments but does not allow the same for non-municipally serviced lots;

AND WHEREAS this has put an undue financial burden on property owners who live on well and septic properties in all 5 wards of Georgina;

AND WHEREAS the Town of Georgina recognizes that residents within rural unserviced areas and non-serviced residential areas face a financial barrier and costing burden that can preclude them from adding an accessory unit by way of current applications fees not applied to serviced lots;

NOW THEREFORE BE IT RESOLVED that the Town of Georgina waives the application fees currently applied to unserviced lots within the Pefferlaw Secondary Plan until such time as any update to the zoning bylaw to rectify this disparity.

14.	REGIONAL BUSINESS	
15.	OTHER BUSINESS	
16.	BYLAWS	
1.	Bylaw Number 2024-0068 (PL-1) to deem certain registered Plans of Subdivision or parts thereof not to be registered Plans of Subdivision for the purposes of Section 50(3) of the Planning Act, R.S.O. 1990, c.P.13, as amended, Lots 32 and 33, Registered Plan 180, 281 Hillcrest Road, File #06.267	60
2.	Bylaw Number 500-2024-0009 (PL-5) to Amend Zoning Bylaw No. 500, Ballymore Development (Keswick) Corporation, Blocks 100 and 101, Plan 65M-4700, s/s Dovedale Drive, n/s Dorothy Caine Crescent, File #03.1188	61
17.	CLOSED SESSION None	
1.	Motion to move into Closed Session of Council	
2.	Motion to reconvene into Open Session of Council and report on matters discussed in Closed Session	
18.	CONFIRMING BYLAW	
1.	Bylaw Number 2024-0069 (COU-2) confirming the proceedings of Council on October 23, 2024	64
19.	MOTION TO ADJOURN	



**THE CORPORATION OF THE
TOWN OF GEORGINA
Council Minutes**

Date: Wednesday, September 18, 2024
Time: 7:00 PM

Members of Council

Present: Mayor Margaret Quirk
Regional Councillor Davison
Councillor Biggerstaff
Councillor Fellini
Councillor Neeson
Councillor Genge
Councillor Dale

Staff Present:

Ryan Cronsberry, CAO
Denis Beaulieu, Director of Development Services
Rob Wheeler, Deputy CAO/Treasurer
Shawn Nastke, Director, Strategic Initiatives
Mamata Baykar, Deputy Clerk
Carolyn Lance, Council Services Coordinator
Alan Drozd, Manager of Planning Policy
Janet Porter, Manager of Development Planning
Karyn Stone, Manager, Economic Development & Tourism
Neil Macdonald, Manager, Capital Projects

Others Present:

Alex Demoe, EA to Mayor and Council
Sean Lapenna, Senior Development Planner

1. CALL TO ORDER- MOMENT OF MEDITATION

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We also recognize the unique relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands and we join them in these responsibilities.”

2. ROLL CALL

As noted above

- Condolences extended to those impacted by the incident that occurred this morning in Bayview Park in Keswick during which two individuals were shot and killed

3. COMMUNITY ANNOUNCEMENTS

- Monday, September 30, Truth and Reconciliation Day, flag-raising event, 3:30pm, Civic Centre
- Saturday, September 21, Harvest Festival at Pioneer Village, 10am-4pm
- Saturday, September 21 and Sunday, September 22, LEAF (Local Enhancement and Appreciation of Forests) Willow Wharf tree planting event planting native trees and shrubs, 1pm-3pm
- Georgina Splash Pads remain open due to the warm weather
- Friday, September 20, Pefferlaw resident competing for WBA International Middleweight title, 7pm

4. INTRODUCTION OF ADDENDUM ITEM(S)

- Item 11.1.c, Report DS-2024-0041 entitled 'Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update - Keswick Water Resource Recovery Facility'
- Closed Session Item 17.1.a requested to be withdrawn from the agenda

5. APPROVAL OF AGENDA**RESOLUTION NO. C-2024-0292**

Moved By Councillor Fellini

Seconded By Councillor Dale

That the September 18, 2024 Council agenda, with the following addendum items, be adopted;

- Item 11.1.c, Report DS-2024-0041 entitled 'Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update - Keswick Water Resource Recovery Facility'
- Closed Session Item 17.1.a requested to be withdrawn from the agenda

Carried

6. DECLARATION OF PECUNIARY INTEREST AND GENERAL NATURE THEREOF None**7. ADOPTION OF MINUTES** None**8. SPEAKERS AND DELEGATIONS****9. PETITIONS** None

10. PUBLIC MEETINGS**1. Statutory Meeting(s) Under The Planning Act Or Meetings Pertaining To The Continuation Of Planning Matters**

Mayor Quirk explained the procedure for a public meeting.

a. Applications for Draft Plan of Subdivision and Zoning Bylaw Amendment (7:10pm)

Orchidtrail Building (BT) Corp. (Orchidtrail Phase 2)

Part of Lots 14 and 15, Concession 3 (NG), 24996 Woodbine Avenue, Keswick

AGENT: Michael Smith Planning Consultants

Report No. DS-2024-0052

Michael Smith, Agent;

- brief overview of the proposed zoning bylaw; 125 single detached dwelling lots, 114 street townhouses on 17 blocks
- holding zone required to restrict development until servicing allocation assigned
- compound zoning proposed for proposed fire hall site

Mark Stone, Planning Consultant;

- compound zone to permit future institutional and/or residential uses on the fire hall block
- density range of 25 to 40 units per net residential hectare
- Issues requiring consideration include conformity with and timing for approval of the applications relative to future approval of adopted/appealed Keswick Secondary Plan, resolution of all technical and design comments, suitability of proposed zoning provisions including compound zoning and holding provisions in relation to servicing allocation assignment

Considerations include;

- lack of parking
- ensure no negative effect to trees on neighbouring properties
- archeological assessment
- roughed in rental accessory apartments under discussion
- reform street naming working group

RESOLUTION NO. C-2024-0293

Moved By Councillor Neeson

Seconded By Councillor Dale

1. That Council receive Report No. DS-2024-0052 prepared by the Development Planning Division, Development Services Department dated September 18, 2024 respecting applications for Draft Plan of Subdivision - Orchidtrail Phase 2 (File 01.160, 19T-22G02) and Zoning By-law Amendment (File 03.1169) submitted by Michael Smith Planning Consultants; Development Coordinators Ltd. on behalf of the owner Orchidtrail Building (BT) Corp. for the property municipally addressed as 24996 Woodbine Avenue, Keswick, and legally described as Part of Lots 14 and 15, Concession 3 (NG);
2. That Staff report further to Council following the assessment of all Town Department and external agency comments presented in Report No. DS-2024-0052, as well as any comments raised by the public and Council at the Public Meeting; and,
3. That Staff provide written notice of the next Council meeting, a minimum of two weeks in advance of the date of said meeting, to the following:
 - a) Any person or public body that has requested to be notified of any future Council meeting(s); and
 - b) Any person or public body that has requested to be notified of Council's decision regarding the approval or refusal of the subject applications.

Carried**11. REPORTS****2. Reports Requiring Separate Discussion**

- a. Applications for Draft Plan of Subdivision and Zoning Bylaw Amendment

Canadian Life Science and Technology Park

Part of Lots 3 and 4, Concession 4 (NG), 23349 Woodbine Avenue,
Keswick

AGENT: Murray Evans of Evans Planning Inc.

Report No. DS-2024-0045

Stefan Balakji and **Murray Evans** provided a brief overview of the application.

- minor amendments to draft plan, 21-block industrial employment plan of subdivision, Keswick Business Park south of Glenwoods Avenue
- collector roads aligned to access the MURC
- Official Plan Amendment adopted for Business Park area to allow interim development on private services; once force main in operation, full municipal servicing to take place

Denis Beaulieu; multiple meetings and discussions held with the Region to emphasize importance of the Business Park and bringing force main online as quickly as feasible to proceed on full municipal services and not on interim private services, working toward program to bring system online in Q4 of 2026.

Mayor Quirk left the Chair and Regional Councillor Davison assumed the Chair at this time.

RESOLUTION NO. C-2024-0294

Moved By Mayor Quirk

Seconded By Councillor Biggerstaff

1. That Council receive Report No. DS-2024-0045, prepared by the Development Planning Division, Development Services Department dated September 18, 2024, respecting revised applications for Draft Plan of Subdivision (File 01.162) and Zoning Bylaw Amendment (File 03.1174) submitted by Evans Planning Inc. (c/o Murray Evans) on behalf of the Owner, Canadian Life Science and Technology Park Inc., for the property municipally addressed as 23349 Woodbine Avenue and legally described as Part of Lots 3 and 4, Concession 4 (NG);
2. That Council approve the revised applications for Draft Plan of Subdivision and Zoning Bylaw Amendment as described in Report No. DS-2024-0045;
3. That a consolidated set of Conditions of Draft Plan of Subdivision Approval be finalized and a Notice of Decision be issued upon the receipt of all outstanding conditions of approval from internal departments and external agencies;
4. That Council acknowledges there have been revisions to the proposed Zoning Bylaw since the April 19, 2023 public meeting and that in accordance with Section 34(17) of the *Planning Act* has determined these revisions to be minor and not requiring an additional public meeting;

5. That Council assign 259 persons equivalent of servicing allocation from the capacity reserved for the Keswick Business Park lands south of Glenwoods Avenue to facilitate a first phase subdivision registration with up to 7 hectares of employment/industrial development on the subject lands; and,
6. That the proposed Zoning Bylaw be approved and enacted by Council at the September 18, 2024 Council Meeting.

Carried Unanimously

Mayor Quirk resumed the Chair at this time.

Moved By Councillor Fellini

Seconded By Councillor Biggerstaff

That the Council meeting recess at 8:20pm

Carried

The Council Meeting reconvened at 8:32pm

- b. Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update - Keswick Water Resource Recovery Facility

Report No. DS-2024-0041

(Advisement: Report circulated via Addendum, see Item No. 11.1.c for discussion and motion)

- c. Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update - Keswick Water Resources Recovery Facility

Report No. DS-2024-0041

Janet Porter provided a brief overview of the Allocation Assignment Program and Capacity Update report.

RESOLUTION NO. C-2024-0295

Moved By Councillor Neeson

Seconded By Regional Councillor Davison

1. That Council receive Report No. DS-2024-0041 prepared by the Development Planning Division, Development Services Department, dated September 18, 2024 respecting the Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update for the area served by the Keswick Water Resource Recovery Facility;

2. That staff complete its review of the Sanitary Sewer and Water Servicing Allocation Assignment Program and Capacity Update and report back to Council by the end of Q4 2024 with recommendations on potential interim adjustments to the program, redistributing servicing allocation amongst categories, and/or rescinding servicing allocation from projects that have not advanced to construction in order to release and potentially reassign servicing allocation to other projects that are aligned with the Town's key priorities;
3. That notice of the future Council meeting be provided in advance to any parties who have formally requested same; and,
4. That the Town Clerk forward a copy of Report No. DS-2024-0041 and Council's Resolution thereon to the Georgina Developers Association and all landowners/applicants identified in Attachment 7.

Carried Unanimously

12. DISPOSITIONS, PROCLAMATIONS, AND GENERAL INFORMATION ITEMS

1. Dispositions/Proclamations None
2. General Information Items
 - a. Information Items None
 - b. Briefing Notes
 - a. Polybutylene Water Service Line Replacement - Road Closure

RESOLUTION NO. C-2024-0296

Moved By Regional Councillor Davison
Seconded By Councillor Fellini

That Council receive the staff briefing note outlining the upcoming polybutylene water service line replacement construction project on Bayview Avenue, Royal Road, Elmhurst Lane and Loves Road starting the end of September 2024 and expected to be complete in December, 2024.

Carried

13. **MOTIONS/ NOTICES OF MOTION None**
14. **REGIONAL BUSINESS None**
15. **OTHER BUSINESS None**

16. BYLAWS

Moved By Councillor Dale
Seconded By Councillor Biggerstaff

That the following bylaws be adopted;

1. Bylaw Number 2024-0064 (COU-1) appointing Wendy Busby to Georgina Accessibility Advisory Committee for remainder of 2022-2026 Term of Office
2. Bylaw 500-2024-0008 (PL-5) to regulate the use of lands and the character and use of buildings and structures within the Town of Georgina, Part of Lots 3&4, Conc. 4(NG), Business Park, Calderaro

Carried

17. CLOSED SESSION None

Item 17.1.a was withdrawn from the agenda at this time due to virtual attendance by two members of Council

18. CONFIRMING BYLAW

Moved By Councillor Fellini
Seconded By Councillor Dale

That the following bylaw be adopted;

1. Bylaw Number 2024-0065 (COU-2) confirming proceedings of Council on September 18, 2024

Carried

19. MOTION TO ADJOURN

Moved By Councillor Genge
Seconded By Councillor Neeson

That the meeting adjourn at 9:25pm

Carried

Margaret Quirk, Mayor

Rachel Dillabough, Town Clerk

THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2024-0056

**FOR THE CONSIDERATION OF
COUNCIL**

October 23, 2024

**SUBJECT: APPLICATION TO AMEND ZONING BY-LAW NO. 500
13693449 CANADA INC. AND 20962 DALTON ROAD LIMITED
PARTNERSHIP
PART OF LOT 11, BLOCK 60, PLAN 69**

1. RECOMMENDATIONS:

- 1. That Council receive Report DS-2024-0056 prepared by the Development Planning Division, Development Services Department dated October 23, 2024 respecting an application to amend Zoning By-law No. 500 submitted by Shenshu Zhang on behalf of 20962 Dalton Road Limited Partnership and 13693449 Canada Inc. for lands municipally addressed as 20962 Dalton Road;**
- 2. That Staff report further to Council following the assessment of all Town Department and external agency comments presented in Report No. DS-2024-0056, as well as any comments raised by the public and Council at the Public Meeting; and,**
- 3. That Staff provide written notice of the next Council meeting, a minimum of two weeks in advance of the date of said meeting, to the following:**
 - a) Any person or public body that has requested to be notified of any future Council meeting(s); and,**
 - b) Any person or public body that has requested to be notified of Council's decision regarding the approval or refusal of the subject application.**

2. PURPOSE:

The purpose of this report is to provide Staff's preliminary analysis and outline comments received respecting an application for Zoning By-law Amendment (ZBA) submitted by Shenshu Zhang on behalf of 20962 Dalton Road Limited Partnership and 13693449 Canada Inc. to facilitate a proposed addition to an existing commercial building.

3. BACKGROUND:

3.1 SUBJECT PROPERTY AND SURROUNDING LAND USES

The subject property is located on the west side of Dalton Road, north of Black River Road in Sutton. The property currently contains commercial uses.

North: Woodland and Wetland

South: Commercial uses

East: Commercial uses, Motel and Medium Density Residential Rental uses

West: Woodland and Wetland

Refer to *Table 1* below for a summary of property information.

Table 1 – Summary of Property Information		
General Property Information		
Municipal Address	20962 Dalton Road	
Legal Description	Part of Lot 11, Block 60, Plan 69, Part 2, Plan 65R-2291	
Roll Number	197000008091300	
Lot Frontage	60.35 Metres (51.59 Metres after proposed consent)	
Lot Area	5,518.39 Square Metres (2,761.76 Square Metres after proposed consent)	
Zoning	General Commercial (C1)	
Sutton/Jackson’s Point Secondary Plan Designation	Dalton Road South Corridor and Environmental Protection Area (To the rear)	
York Region Official Plan	Community Area	
Related Applications	None	
Land Use and Environmental Considerations		
Existing Structures	Commercial Building	
Proposed Structures	Second Storey Addition to existing Commercial Building	
Key Natural Heritage Features	Woodland (Rear of property)	
Natural Hazards	None	
Regulatory Status		
Heritage Status	Neither listed nor designated	
LSRCA	Yes	
MTO	No	
Servicing		
	Existing	Proposed
Water	Municipal	Municipal
Sanitary	Municipal	Municipal
Access	Dalton Road	Dalton Road

Refer to Attachments 1 and 4 for the location map and site photos of the subject property respectively.

3.2 PROPOSAL

The application proposes to facilitate the construction of a second storey addition to the existing commercial building on the property. A Zoning By-law Amendment (ZBA) application has been submitted to permit the proposed development. While the property is currently zoned General Commercial (C1) and the applicant is proposing to continue the same usage on the property, the development proposal is deficient in several zoning matters, including the minimum amount of parking, the minimum number of loading spaces, the minimum drive aisle width and the minimum interior side yard.

Future Draft Plan of Condominium, Site Plan and Consent applications associated with the proposal are also proposed but have not been submitted to date. Future development is also proposed to occur on the lot to be severed at the rear.

3.3 SUBMISSION MATERIALS

Refer to Attachment 3 for a summary of all submission documents. Submitted documents are available from the Development Planning Division or via the below link:

[Submission Documents](#)

4. **PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:**

4.1 PUBLIC CONSULTATION

An initial submission was provided on November 10, 2023. Due to substantial differences with the initial pre-consultation application, the Zoning By-law Amendment application was deemed incomplete on December 7, 2023 and was circulated for updated pre-consultation comments instead. A resubmission was provided on May 27, 2024. All outstanding pre-consultation requirements were received by the Town on August 20, 2024. The application was deemed complete via letter on August 26, 2024.

A Notice of Complete Application and Public Meeting was mailed to all assessed property owners within 120 metres of the subject property on September 25, 2024. For additional notification, the notice was also posted to the Town website on September 25, 2024.

As per the *Planning Act*, one (1) public notice sign was posted on the property on September 26, 2024.

At the time of writing this report, no comments from members of the public have been received.

4.2 EXTERNAL AGENCY AND TOWN DEPARTMENT COMMENTS

Town department and agency comments received are available in Attachment 6 and are summarized below.

Development Engineering Division

The Development Engineering Division has provided comments requesting that the applicant either remove the future development area from the drawings or add the proposed grading and servicing details of this area to the drawings. They also advise that the applicant will need to have water and sanitary modeling completed by GEI.

Planning Policy Division

The Planning Policy Division has provided comments related to the submitted Urban Design Brief, including the design of the building and rooftop materials. The Division has no concerns regarding the provided Tree Inventory and Landscape Plan.

Georgina Fire Department

The Fire Department has provided detailed design comments related to the load-bearing capacity of fire routes and have requested that all construction be in conformance with the Ontario Building Code.

Lake Simcoe Region Conservation Authority (LSRCA)

The LSRCA has no concerns related to the proposal and has noted that a permit or written clearance from the LSRCA will be required. Comments relating to paying the LSRCA application fees associated with a Minor Zoning By-law Amendment were provided. Staff note that this fee has since been paid.

York Region

York Region has indicated no objections to the proposal and has provided comments related to servicing and right-of-ways. The Region has also requested further information to support the proposed full move access onto Dalton Road, including potential conflicts with the entrances for neighbouring properties.

The below departments / agencies have no comment:

- Enbridge Gas Distribution
- Tax and Revenue Division
- York Catholic District School Board

- Hydro One

5. **ANALYSIS:**

The following is an overview of the proposed Zoning By-Law Amendment against applicable Provincial, Regional and Town planning documents.

5.1 **PROVINCIAL POLICY FRAMEWORK**

Pursuant to Section 3(5) of the *Planning Act*, a decision of the Council of a municipality, in respect of the exercise of any authority that affects a planning matter, shall be consistent with the Provincial Policy Statement and shall conform with, or not conflict with, the Provincial Plans that are in effect.

5.1.1 **The Provincial Policy Statement, 2020 and 2024 (PPS)**

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development, and plays a key role in setting the policy foundation for regulating development and the use of land in Ontario. Staff note the 2024 Provincial Planning Statement (PPS 2024) will come into force on October 20, 2024. As such, this report will discuss conformity with both the 2024 and 2020 Provincial Policy Statements.

The subject property is considered Settlement Area in both the 2020 and 2024 PPS. Both policy documents define Settlement Areas as urban areas and rural settlement areas, including cities, towns, villages and hamlets, within municipalities that are built-up areas where development is concentrated. Settlement Areas have a mix of land uses and are the focus of growth and development. As per the 2020 PPS, appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety. The 2024 PPS has a similar policy, which states that Planning authorities shall support the general intensification and redevelopment to support the achievement of complete communities.

Both the 2020 and 2024 PPS do not permit development and site alteration on lands adjacent to natural heritage features identified in policies 2.1.4, 2.1.5 and 2.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological function. Consequently, as noted in Section 5.3, should the applicant wish to proceed with the submission of a Consent application and/or development in the rear portion of the property, an Environmental Impact Statement (EIS) will be required.

Staff have reviewed the application against the PPS and are satisfied the current proposal is consistent with the PPS 2020 and PPS 2024.

5.1.2 The Growth Plan for the Greater Golden Horseshoe, 2020 (Growth Plan)

The Growth Plan for the Greater Golden Horseshoe (Growth Plan) is a document that informs decision-making regarding growth management in the Greater Golden Horseshoe until the year 2051. Staff note that the Growth Plan will be repealed on October 20, 2024 in favour of the new PPS. However, as the plan is in force and effect at the time of writing this report, a review has been included below.

The Growth Plan identifies the subject property to be within a built-up area of a settlement area. Similar to the PPS, the Growth Plan directs growth and development to settlement areas and in particular to the built-up areas. The policies of the Growth Plan strive to achieve complete communities, which among others, encourage intensification generally throughout the delineated built-up area.

Staff are of the opinion that the application conforms with the Growth Plan.

5.1.3 The Greenbelt Plan, 2017 (GBP)

The Greenbelt Plan (GBP) identifies where urbanization should not occur in order to provide permanent protection to the agricultural land base and the ecological features and functions occurring on the landscape.

The subject property is located in Sutton, which is designated Towns / Villages on Schedule 1 of the GBP. Pursuant to Section 3.4.3, Towns / Villages are subject to the policies of the Growth Plan and continue to be governed by official plans. The designation is not subject to the policies of the GBP, save and except for the policies of Sections 3.1.5 (Agri-food Network), 3.2.3 (Water Resource System Policies), 3.2.6 (External Connections), 3.3 (Parkland, Open Space and Trails) and 3.4.2 (General Settlement Area Policies), which do not affect the subject proposal.

As such, Staff are of the opinion that the application conforms with the GBP.

5.1.4 The Lake Simcoe Protection Plan, 2009 (LSPP)

The Lake Simcoe Protection Plan (LSPP) seeks to protect, improve and restore the elements that contribute to the ecological health of the Lake Simcoe Watershed, including water quality, hydrology, key natural heritage features and their functions, and key hydrologic features and their functions.

The subject property is partially regulated under Ontario Regulation 41/24. A permit or written clearance from the LSRCA will be required to facilitate the development proposal.

The LSRCA has reviewed the proposal and have no concerns. Staff note that matters relating to water balance and phosphorus loading will be addressed at the Site Plan approval stage.

Staff are of the opinion that the application conforms with the LSPP.

5.2 York Region Official Plan, 2022 (YROP)

The subject property is designated Urban Area on Map 1, and Community Area on Map 1A of the York Region Official Plan (YROP). Section 4.1 of YROP states that the Urban Area is the primary location for growth and development. Section 4.2.1 further states that community areas are where the majority of residents, personal services, retail, arts, culture, recreational facilities and human services needs, will be located.

York Region has reviewed the application and has no objections, subject to addressing comments provided with respect to servicing, road widening and transportation requirements.

Staff are of the opinion that the application conforms with the policies of the YROP as implemented by the Town.

5.3 Sutton/Jackson's Point Secondary Plan, 2013 (SJPSP)

The 2013 Sutton/Jackson's Point Secondary Plan (SJPSP) provides specific land use and development direction for the Sutton/Jackson's Point Settlement Area. The purpose of the Secondary Plan is to manage growth and development, ensuring a high quality of life for present and future residents.

Permitted Commercial Development

The subject property is designated primarily Dalton Road South Corridor on Schedule B - Land Use Plan to the Sutton/Jackson's Point Secondary Plan. A small portion of the western section of the site is designated as Environmental Protection Area on Schedule B.

Pursuant to Section 13.2.6.5 ii), business and professional offices, restaurants, and retail and service commercial uses are permitted in the Dalton Road South Corridor designation.

Environmental Features

Staff note that a small portion of the rear of the property is designated Environmental Protection Area, and there is a woodland and a provincially significant wetland to the west and north of the site. As the current proposal is a second storey addition to an existing commercial building, and the majority of the site is already disturbed/paved, no impact on the natural heritage features is anticipated and an Environmental Impact Statement was not required to facilitate the proposed addition.

Staff note that the applicant has shown a 'future development' area on the Site Plan, at the rear of the property adjacent to the Environmental Protection Area designation

and existing natural heritage features. Should the applicant wish to proceed with the submission of a Consent application and/or development in the rear portion of the property, an Environmental Impact Statement (EIS) will be required to ensure conformity with the Town's environmental policies.

Sanitary Sewer and Water Servicing Allocation

The proposal consists of 6 commercial condominium units. Servicing allocation assignment is not required for commercial uses.

Urban Design Guidelines

In support of the subject application, the applicant has submitted an Urban / Architectural Design Report prepared by TAES Architects Inc., November 2023. Staff have reviewed the provided Urban / Architectural Design Report and have no concerns. Additional information has been requested regarding the proposed 'cool roof' and rooftop mechanical equipment.

Future Consent Application

The proposed amending Zoning By-law and Site Plan both contemplate a future severance and development at the rear of the property, which results in the need for several of the requested site specific zoning exceptions such as reduced parking and side yard setback requirements. The submitted Planning Justification Report notes that the severed lot will be utilized for future residential development. Staff are concerned that the proposed severance is premature given the absence of a formal development proposal on the balance of the property. In this regard, the applicant has not demonstrated that residential development is feasible or appropriate at the rear of a commercial building and on a parcel without any street presence, nor that the adjacent natural heritage features can adequately be protected. Furthermore, a severance will require access easements between the two properties and separate servicing connections to the sanitary sewer and watermain within Dalton Road. Consequently, further review regarding the feasibility of the proposed consent is required.

Functional Servicing and Stormwater Management Report

In support of the application, a Functional Servicing and Stormwater Management Report was submitted by WPE Engineering Ltd, dated August 2023 and revised March 2024. This report is still being reviewed by Town Staff.

Sanitary Sewer and Water Servicing

Municipal sanitary sewer and water services are physically installed on Dalton Road, and the site is already connected to these services.

Stormwater Management

Control of both stormwater quantity and quality is required for the proposed development. The report anticipates that on-site treatment of storm water is to be achieved via rainfall runoff being discharged to the surface through roof leaders and captured by the proposed catch basins within the driveway and conveyed to the proposed underground storm chambers located on site. The applicant is proposing to utilize an offline Jellyfish Filter device to provide water quality treatment. The unit has been sized to treat the impervious areas based on a minimum 80% TSS (Total Suspended Solids) removal. Town Staff are still in the process of reviewing this document and confirming if it adheres to the Town's requirements and the Lake Simcoe Protection Plan.

5.4 Zoning By-law No. 500

The subject property is currently zoned General Commercial (C1) on Map 6 of Schedule 'A' of Zoning By-law No. 500.

Proposed Draft Amending By-law (Attachment 5)

The applicants are proposing to rezone the property to site-specific General Commercial (C1-XX) zone, which is intended to legalize the parking and loading space deficiencies increased by the proposed second storey addition to the existing building, as well as the reduced interior side yard setback that will be created as a result of the future consent. Staff note 70 parking spaces are required, and 33 are proposed. The number of loading spaces required is also requested to be reduced, from 2 spaces to 1. A reduction in the driveway width from 7 to 6 metres is also requested.

Section 5.28 (b) – Parking

Section 5.28 of Zoning By-law 500, as amended, requires that adequate parking is provided for all development, and Section 5.28 e) further clarifies that when an addition to an existing use is proposed, any previously existing parking deficiency must be made up prior to the construction of the addition.

The proposed development includes a total of 33 parking spaces. As per Section 5.28 b), for multi-unit commercial buildings, a total of 5.5 parking spaces per 95 square metres of non-residential floor area is required. As the proposal will have of a total floor area of 1,207.75 square metres, 70 parking spaces will be required.

Staff note that currently the building has 30 parking spaces whereas 41 are required. The applicant is proposing to sever the rear portion of the site for future development, and consequently does not want to use this space for parking. In addition, the road widening to be taken by York Region will remove several of the currently existing parking spaces.

Staff are of the opinion that the proposed parking relief requires further review. Development Engineering staff are currently reviewing the submitted Parking Study to determine whether the requested reduction is suitable and appropriate.

By-law 2018-0054 – Accessible Parking

One (1) accessible parking space is required by By-law 2018-0054. Two (2) spaces are proposed.

Section 5.28 (i) Private Roads – Vehicle Manoeuvring

An access driveway requires a minimum width of 6 metres, which is the width proposed. A minimum width of 7 metres is required for aisles in a parking area with two-way traffic with 90-degree parking spaces in order to allow for effective car manoeuvring. A 6-metre aisle in the parking area at the front of the site is currently proposed. Relief will be required to permit the requested aisle width. No measurement was given for the aisle at the rear portion of the site. Town Staff will follow up with the applicant to confirm this width. Staff note this minimum aisle width relief was not requested in the initial application.

Section 5.25 Loading Space Requirements

Two loading spaces are required for the proposal. Currently, 1 loading space is proposed. Staff note that currently there are no loading spaces located on the site.

Reduced Interior Side Yard

As a result of the proposed consent to sever the rear and northerly portion of the site, the existing building will have a reduced interior side yard setback of 1.04 metres, whereas 1.5 metres is required. Town Staff have not yet received a Consent application. As such, Council may wish to defer the passing of the by-law until the applicant has moved further along the Consent application process.

6. RELATIONSHIP TO STRATEGIC PLAN:

This report addresses the following Town of Georgina corporate strategic goal: Ensuring Balanced Growth.

7. FINANCIAL AND BUDGETARY IMPACT:

There are no financial concerns or budgetary impacts on the Town as a result of this application. The owners/applicants will be required to apply for and obtain all necessary approvals associated with building permits, site alteration permits and entrance permits, and to pay the applicable associated costs for same, including the payment of development charges and park levy.

8. ISSUES REQUIRING CONSIDERATION AND RESOLUTION:

The following matters must be resolved:

- Review of the submitted Engineering Studies by Town Staff
- Additional details respecting the feasibility of residential development in the context of the proposed future Consent application
- Determination whether a full move entrance is supportable for the site
- Determination whether an Environmental Impact Statement is required
- Public, Council and Agency comments

9. CONCLUSION:

Subject to satisfactorily addressing the comments raised in this Report, Staff are of the opinion that the proposed ZBA application is generally consistent with the planning policy framework of the SJPSP.

Given Staff and Public comments, Staff are of the opinion it is appropriate that Council receive the report, and that the application return to Council once the issues requiring consideration have been resolved.

Prepared By: Brittany Dobrindt
Planner II

Reviewed By: Janet Porter, MCIP, RPP
Manager of Development Planning

Recommended By: Denis Beaulieu, MCIP, RPP
Director of Development Services

Approved By: Ryan Cronsberry
Chief Administrative Officer

Attachments:

- Attachment 1 – Location Map*
- Attachment 2 – Conceptual Site Plan and Elevations*
- Attachment 3 – Summary of Submission Documents*
- Attachment 4 – Site Photographs*
- Attachment 5 – Draft Amending Zoning By-law*
- Attachment 6 – Consolidated Comments*



Subject Property





Dalton Road

Wood River Bend

**20962
Dalton Road**

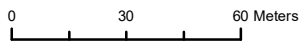
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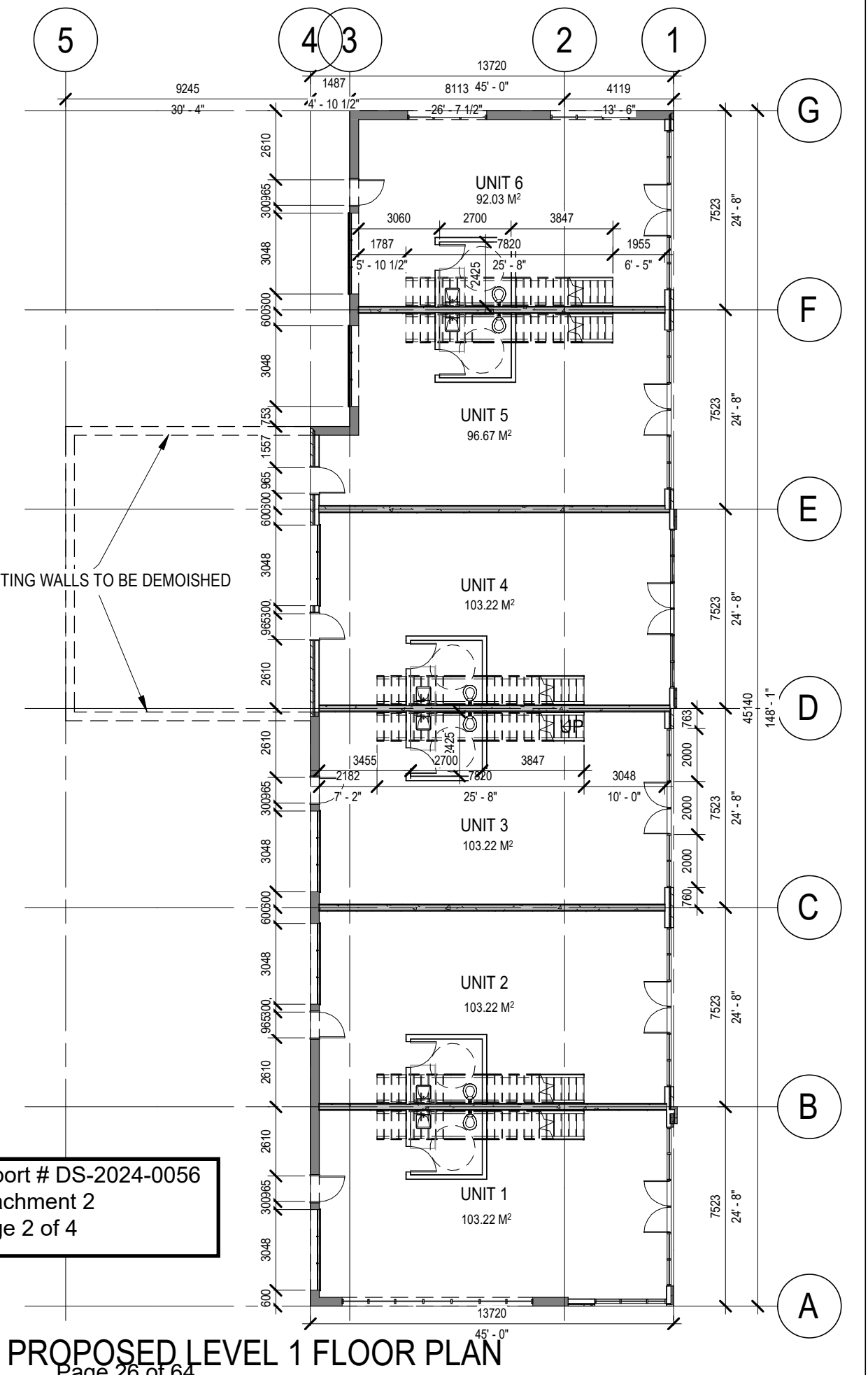
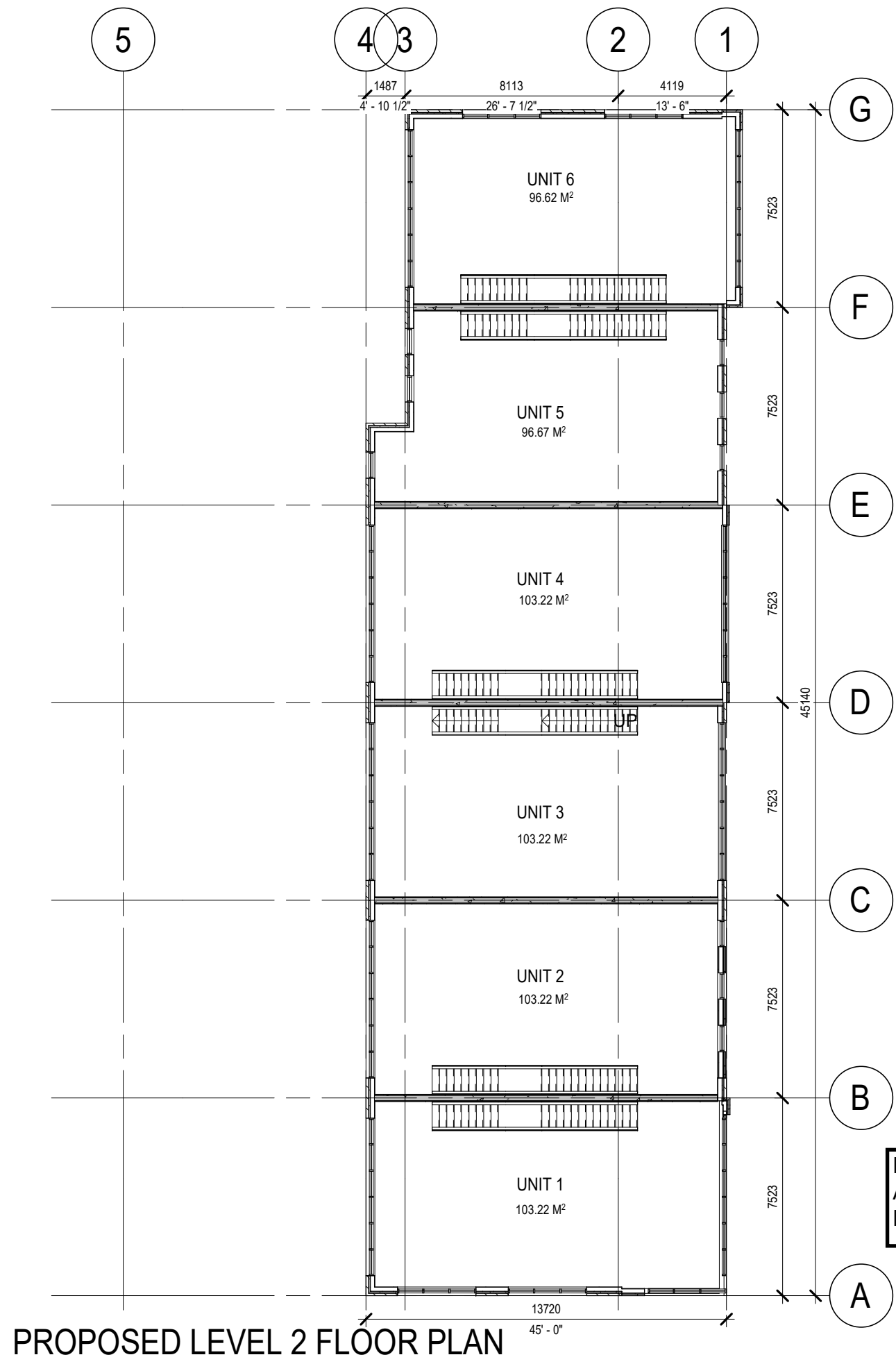
-  Subject Property
-  Parcel Fabric



Town of Georgia
ITS- GIS Services
Created: June, 27, 2024

Report # DS-2024-0056
Attachment 1
Page 1 of 1



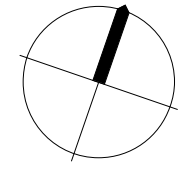


Report # DS-2024-0056
Attachment 2
Page 2 of 4

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CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

No.	Issued	Date	By
1	Pre-consultation meeting	2022.10.13	SW
3	For ZBA and SPA Submission #1	2023.10.23	SW



TAES Architects Inc.
98 SCRASDALE ROAD,
TORONTO, ON
M3B 2R7
T: 416 800 3284
F: 416 800 3485

20962 Dalton Road,
Georgina
Commercial Building

Project Number T2022047

Drawn Scale 1 : 200

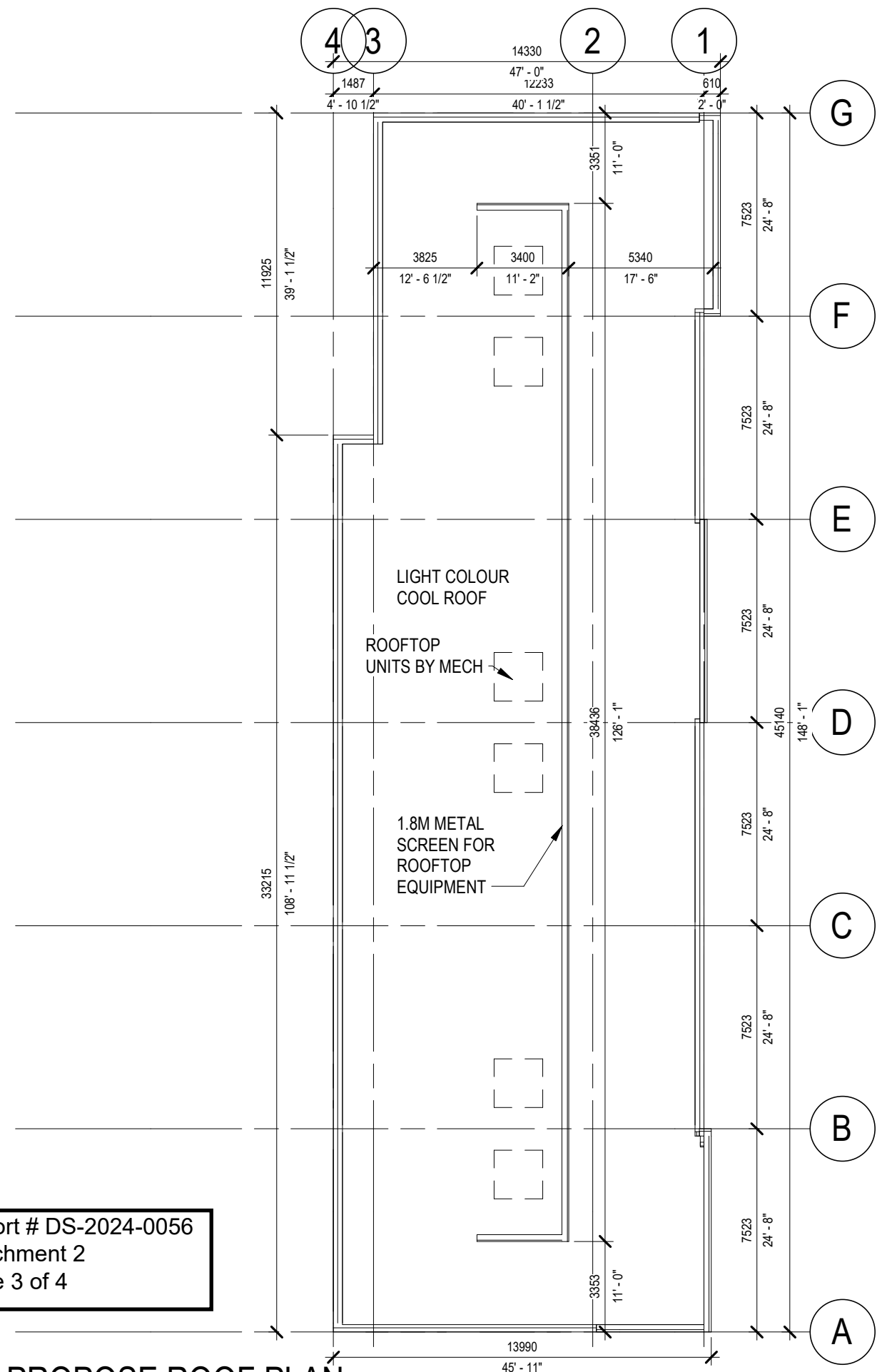
Checked 10/30/2023
10:12:31 AM

Ground & Second
Floor Plan

Drawing No. A101

PROPOSED LEVEL 2 FLOOR PLAN

PROPOSED LEVEL 1 FLOOR PLAN



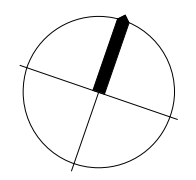
Report # DS-2024-0056
 Attachment 2
 Page 3 of 4

PROPOSE ROOF PLAN
 Page 27 of 64

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 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

No.	Issued	Date	By
3	For ZBA and SPA Submission #1	2023.10.23	SW



TAES Architects Inc.
 98 SCRASDALE ROAD,
 TORONTO, ON
 M3B 2R7
 T: 416 800 3284
 F: 416 800 3485

**20962 Dalton Road,
 Georgina**
 Commercial Building

Project Number T2022047

Drawn Scale 1 : 200

Checked 10/30/2023
 10:12:33 AM

Roof Plan

Drawing No. **A102**

SUMMARY OF SUBMISSION DOCUMENTS

- Cover Letter
- Amending Zoning By-law and Schedule
- Site Plan
- Civil Engineering Details
- Electrical Details
- Lighting Plan
- Phase One ESA
- Erosion and Sediment Control Plan
- Functional Servicing and Stormwater Management Report
- Grading Plan
- Landscaping Plan
- Noise Study
- Planning Justification Report
- Pre-Consultation Checklist
- Servicing Plan
- Site Plan, including Floor Plans and Building Elevations
- Survey (Topographic and Legal)
- Traffic Impact Study Phase One
- Traffic Impact Study Phase Two
- Traffic Impact Study with Parking Analysis
- Tree Inventory and Protection Plan
- Urban Design Brief

Report # DS-2024-0056
Attachment 3
Page 1 of 1

Site Photos

20962 Dalton Road
Facing West



20962 Dalton Road
Facing North



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Attachment 4
Page 1 of 2

20962 Dalton Road
Facing South



20962 Dalton Road
Facing East



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Attachment 4
Page 2 of 2

**THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK**

BY-LAW NUMBER 500-202#-#### (PL-5)

**BEING A BYLAW TO AMEND BY-LAW NUMBER 500, BEING A
BY-LAW TO REGULATE RESTRICTING ERECTING, LOCATING OR
USING OF BUILDINGS, LOADING OR PARKING FACILITIES WITHIN
THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the Planning Act, R.S.O., 1990, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That MAP N0. 6 of Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'C1' to 'C1-##' on the lands described as Block 60, Part of Lot 11, Part 2 Plan 65R - 2291, shown in heavy outline and designated 'C1-##' in "Parcel 'A' on Schedule "A" attached hereto and forming part of this by-law;
2. That Section 14.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500, as amended, is hereby amended by the adding after Section 14.5.##, the following:

"14.5.## BLOCK 60, PART OF LOT 11, PART 2 PLAN 65R - 2291 **'C1-##'**
(Map 6)

- a) Notwithstanding Section 14.4 f), **INTERIOR SIDE YARD (MINIMUM)**, a minimum interior side yard of 1.0 metres shall be required from the portion of the northern lot line boarding Parcel 'A'.
- b) Required Minimum Loading Space 1 Space
- c) Required Minimum Parking Spaces 33 Spaces

Report # DS-2024-0056 Attachment 5 Page 1 of 3
--

READ AND ENACTED this ##th day of XXXXXXXX, 202#

Margaret Quirk (Mayor)

Mamata Baykar, Deputy Clerk

Report # DS-2024-0056 Attachment 5 Page 2 of 3
--

Schedule 'A' to By-law No. 202#-####

This Map Forms Part of the By-Law

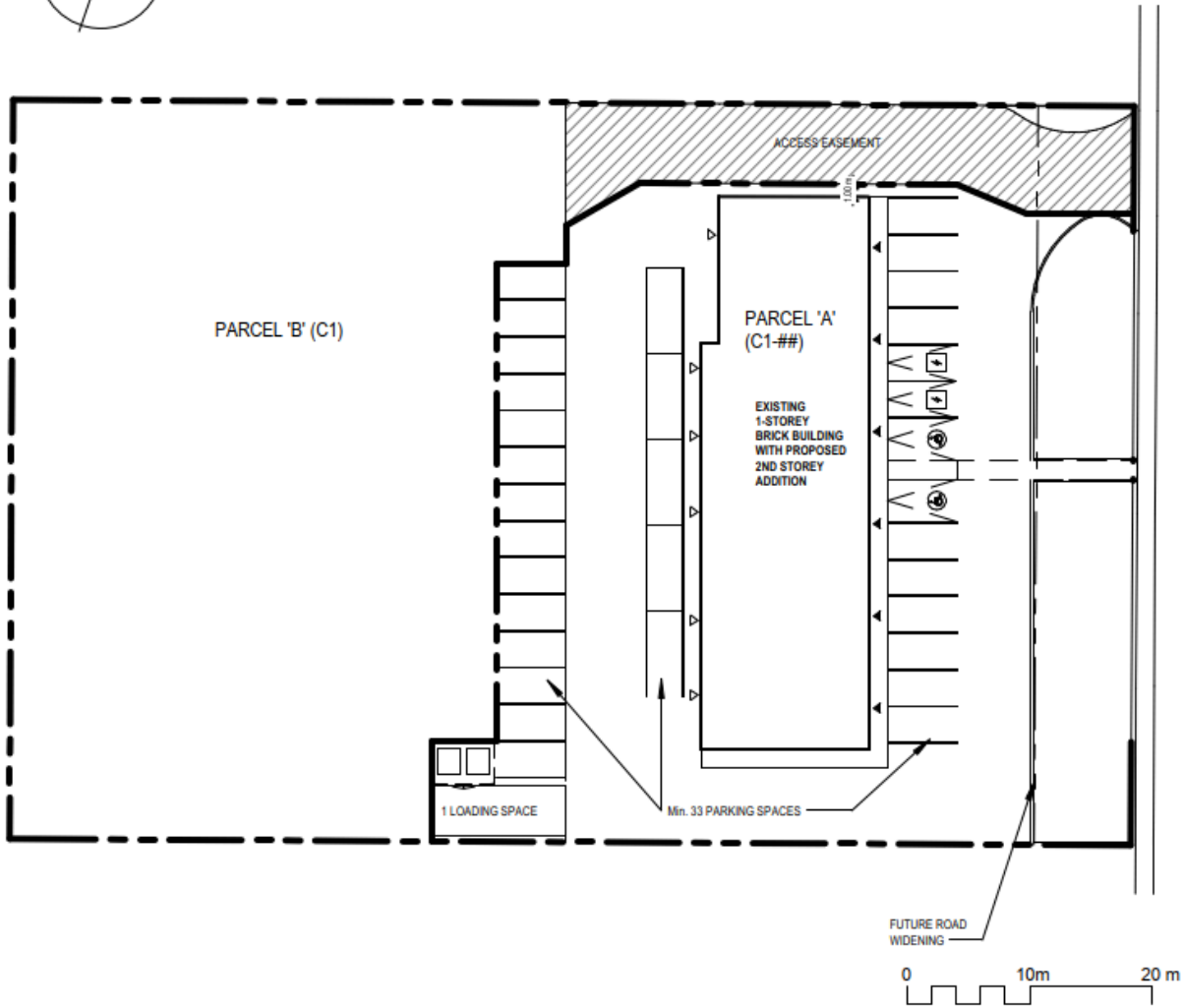
Schedule 'A'

TO BYLAW NO. 202#-##

This is Schedule 'A' to Bylaw No. 202#-##
passed by Council of the Town of Georgina
on the _____ day of _____ 202#

Speaker

Town Clerk



Report # DS-2024-0056
Attachment 5
Page 3 of 3

Department/Agency	Date Received	Response
Building Division		
Building/Plumbing Inspector		
Clerks Division		
Community Services		
Development Engineering	September 13, 2024	The future development area will need to be removed from the drawing or the grading and servicing must be shown on the drawings. The applicant is to be advised they need to have water and sanitary modeling completed by GEI.
Economic Development		
Georgina Fire Department	July 31, 2024	<p>The Georgina Fire Department has no objections to the proposal and provides the following comments:</p> <ol style="list-style-type: none"> All new construction shall be in conformance with the Ontario Building Code. Fire access routes shall be designed in conformance with the OBC and constructed to support the largest responding apparatus to the property during an emergency. <p>Georgina Fire Largest Apparatus – PL147 Length 13.77m Width 3.2m Height 3.6m Weight 100,000lbs Wheel base 6.45m</p>
Municipal Law		
Operations & Infrastructure		
Policy Planning	July 23, 2024	<p>Tree Inventory: No comments as they are retaining all trees in the inventory table</p> <p>Landscape Plan and Cost Estimate: No comments as they are using diverse planting and cost estimate seems accurate and true to the proposed works.</p> <p>Urban Design Brief: In the design brief the 2nd story is meant to be condominiums with retail opportunities on the ground floor comprising of materials that are balances to the existing character of the community that are durable and sustainable. When looking at the elevation in reference to the design brief the buildings are very industrial/commercial and urban looking and lack the balance to the surrounding context of the community. They are represented in a grey/black stock standard elevation and do not accurately depict materials described within the Urban Design Brief. Can we please have proposed colour, texture and materiality palette included, what makes this uniquely Georgina? There is also reference made to a cool roof in order to reduce urban heat island effect, when looking at the Roof Plan there is label stating 'light coloured roof cool roof'. What does this mean? What is the materiality of the roof? How does it cool the area? Can we please have more details in this regard? There is also reference to rooftop equipment and metal screening, what roof top equipment? Town of Georgina is part of the BEE City Program it would be great to see a low impact green roof option with wildflower mix.</p>
Tax & Revenue	July 9, 2024	There are no tax concerns with this property.
Bell Canada		

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 Attachment 6
 Page 1 of 8

Consolidated Comments for 03.1181 - 20962 Dalton Road - 2nd Submission

Bell Canada		
Canada Post Corporation (CPC)		
Chippewas of Georgina		
C.N. Business Development & Real Estate		
Enbridge Gas	July 11, 2024	Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.
Hydro One	August 7, 2024	No comments at this time.
Lake Simcoe Region Conservation Authority (LSRCA)	July 29, 2024	See attached
Ministry of the Environment		
Ministry of Health and Long-term Care		
Ministry of Municipal Affairs & Housing		
Ministry of Transportation		
Monavenir Catholic School Board		
MPAC		
Ontario Power Generation		
Rogers		
Southlake Regional Health Centre		
York Catholic Separate District School Board	July 18, 2024	No comments or objections.
York Region - Community Planning & Development Services	August 1, 2024	See attached
York Region District School Board		
York Regional Police		

Report # DS-2024-0056
Attachment 6
Page 2 of 8



Sent via e-mail: bdobrindt@georgina.ca

July 29, 2024

Municipal File No.: 03.1181
LSRCA File No.: ZO-305520-071024

Brittany Dobrindt
Planner I
Development Services Department
26557 Civic Centre Road
Keswick, ON L4P 3G1

Dear Ms. Dobrindt,

Re: Application for Zoning By-law Amendment
20962 Dalton Road
Town of Georgina
Owner: 20962 Dalton Road Limited Partnership
Applicant: TAES Architects Inc. (c/o Shenshu Zhang)

Thank you for circulating the above-captioned application to the Lake Simcoe Region Conservation Authority (LSRCA) for review and comment. It is our understanding that the Applicant/Owner is proposing to demolish the western section of the existing building and construct a second-storey addition to create six two-storey retail/office units. Each unit will have a front and rear entrance on the ground floor and an interior staircase to the second floor. The purpose and effect of this application for Zoning By-law Amendment is to reduce the amount of parking spaces and loading spaces required and reduce the minimum interior side yard setback.

Documents Received and Reviewed by Staff

Staff have received and reviewed the following documents submitted with this application:

- Cover Letter prepared by TAES Architects Inc. (dated May 27, 2024)
- Lot Survey prepared by Mandarin Surveyors Limited (dated August 18, 2023)
- Site Grading Plan prepared by WPE Engineering Ltd. (dated March 27, 2024)
- Floor Plan and Elevation Drawings prepared by TAES Architects Inc. (dated April 25, 2024)
- Planning Justification Report prepared by Urban Congruence Ltd. (dated April 24, 2024)
- Draft Zoning By-law Amendment

Staff have reviewed this application as per our delegated responsibility from the Province of Ontario to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 41/24 of the *Conservation*

Authorities Act. LSRCA has also provided comments as per our Memorandum of Understanding (MOU) with the Town of Georgina. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies. Finally, LSRCA has provided advisory comments related to policy applicability and to assist with implementation of the South Georgian Bay Lake Simcoe Source Protection Plan under the *Clean Water Act*.

Recommendation

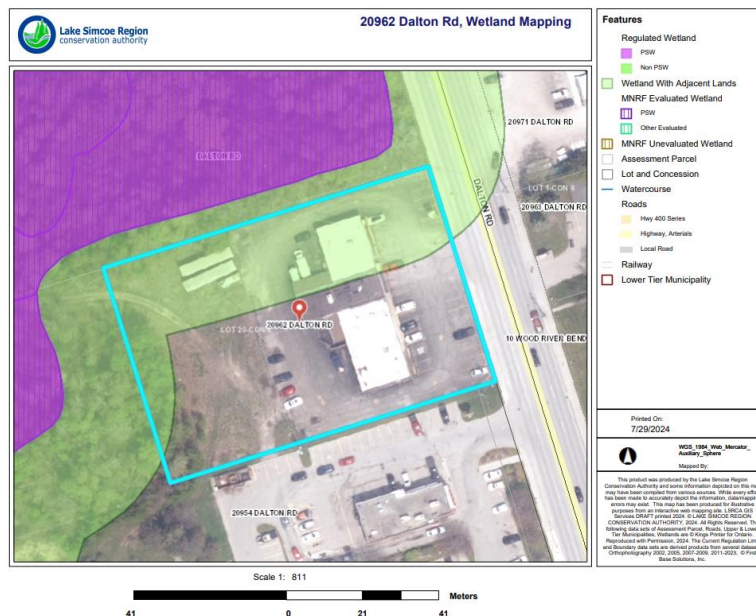
Based on our review of the submitted information in support of the application, we have no objection to the approval of this application for Zoning By-law Amendment.

Site Characteristics

The subject land is approximately 0.55 hectares (1.37 acres) in area and is located west of Dalton Road within the Town of Georgina. The Town of Georgina Official Plan identifies the subject property as being within the Sutton/Jackson’s Point Secondary Plan. The subject land is within the ‘Dalton Road South Corridor’ designation per the Sutton/Jackson’s Point Secondary Plan and is currently zoned ‘General Commercial (C1)’ per the Town of Georgina Zoning By-law #500, as amended.

Existing environmental mapping indicates the following:

- The subject property is partially regulated by the LSRCA under Ontario Regulation 41/24 for being within 30 metres of a Provincially Significant Wetland (PSW). Please see a detailed regulatory map below.
- The subject property is within an Ecologically Significant Groundwater Recharge Area (ESGRA).
- The subject property is within the Protected Countryside designation per the Greenbelt Plan.



Delegated Responsibility and Statutory Comments

1. LSRCA has reviewed the application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy

Statement (PPS). Based on the information submitted as part of this application, the proposal is generally consistent with 3.1 of the PPS.

2. LSRCA has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 41/24. This regulation, made under Section 28 of the *Conservation Authorities Act*, enables conservation authorities to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Development taking place on these lands may require permission from the conservation authority to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. LSRCA also regulates the alteration to or interference in any way with a watercourse or wetland.

Ontario Regulation 41/24 applies to a portion of the subject property. Please contact LSRCA Regulations staff to determine if a permit from the LSRCA will be required.

Advisory Comments

1. LSRCA has reviewed the application through our responsibilities as a service provider to the Town of Georgina in that we provide through a MOU as well as through our role as a public body, pursuant to the *Planning Act*.

Summary

Based on our review of the submitted information in support of this application, we have no objection to the approval of this application for Zoning By-law Amendment.

Given the above comments, it is the opinion of the LSRCA that:

1. Consistency with Section 3.1 of the PPS has been demonstrated;
2. Ontario Regulation 41/24 applies to a portion of the subject site. A permit or written clearance from the LSRCA will be required;
3. **The Applicant/Owner has not paid the LSRCA application fees associated with a Minor Zoning By-law Amendment (planning review only) in accordance with the approved Fees Policy under the *Conservation Authorities Act*. Staff note that the amount is \$2,195.00.**

Please inform this office of any decision made by the municipality with regard to this application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, please contact the undersigned (j.lim@lsrca.on.ca).

Sincerely,



Jessica Lim
Planner I
Lake Simcoe Region Conservation Authority (LSRCA)

Report # DS-2024-0056
Attachment 6
Page 5 of 8

From: [Ahmed, Maryam](#)
To: [Brittany Dobrindt](#)
Subject: York Region Comments - ZBA.24.G.0067 (03.1181) - 20962 Dalton Road
Date: August 1, 2024 3:52:08 PM
Attachments: [image001.png](#)
[image002.jpg](#)
[image003.png](#)

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Hi Brittany,

York Region has reviewed the above noted Zoning By-law Amendment (ZBA) to amend Zoning By-law 500 revision 2019, to renovate the existing single-storey commercial building into a two-storey retail office building, for a retail office and future commercial development. We have no objections to the ZBA application subject to the following comments:

Servicing Comments:

- Water and Wastewater Servicing:
 - The FSSR indicates that water and wastewater servicing to the proposed development will be provided through connections to the existing 250 mm sanitary sewer and 300 mm watermain located on Dalton Road. The existing site service connections are a 125mm sanitary service connection and 150mm water service connection.
- Proximity to Regional Infrastructure:
 - The FSSR indicates a new 200 mm PVC storm service connection will be installed to discharge storm flow into the existing Regional 750 mm storm sewer on Dalton Rd.
 - This service connection will need to cross the Regional 400 mm Watermain. Integrity of the aforementioned Regional infrastructure shall be protected and maintained at all times during construction and grading of the proposed development.
 - The Owner is required to submit to the Region the detailed engineering drawings showing plan and profile views of the proposed storm relative to the Region's watermain during the detailed design stage. A minimum vertical clearance of one meter of the Region's watermain relative to the proposed storm, shall be maintained. Daylighting the Region's watermain will be required at the proposed crossing. The Region's construction staff must be present on site during the work.
 - The Region's construction inspection staff (ENVassetapprovals@york.ca) shall be notified and invited, two weeks in advance of a pre-construction meeting for works to be carried out in close proximity of Region's infrastructure. The Region reserves the right to inspect the site during the works. The Owner is further advised that York Region requires two (2) weeks advanced notice prior to the

commencement of works related to the crossing of Regional infrastructure. Please note that if notice is not provided on both requests above, Corporate Services Inspection Fees - Item 32 under Schedule "A" to By-law No. 2020-04, may be applied.

- Prior to final approval, the Owner shall provide an electronic set of final engineering drawings showing the watermains, sanitary and storm sewers for the proposed development to Community Planning and Development Services and Infrastructure Asset Management for record.
- Through review of later submissions with more detailed construction information, IAM will provide further comments and or conditions, as necessary.
- Hydrant Test:
 - A hydrant test was completed on June 6, 2023 by Madonna Engineering Inc, and the results indicate that there is sufficient pressure and flows (including fire flows) to service the development.
 - The FSSR Indicates a private hydrant and new 200mm PVC is to be installed and connect to the existing 300mm PVC watermain on Dalton Rd.
 - It is IAM's understanding that prior to final approval of the development, the FSSR shall be updated with further information demonstrating the adequacy of the existing water system to support the development, including fire flows.
- Should any changes occur to the proposed servicing strategy, a copy of the updated FSSR shall be forwarded to the Region for review and record.

Development Engineering Comments:

- Development Engineering has no objections to the proposed Zoning Bylaw Amendment Application to the existing commercial building into a two-storey retail office and Commercial building. However, the Owner shall address the following requirements through the subsequent applications in future:
- As per OP 2022, York Region is protecting 36.0 metres right-of-way for this section of Dalton Road. All property lines shall be referenced from a minimum point of 18.0 metres from the centerline of construction on Dalton Road, and any lands required for additional turn lanes at the intersections, therefore applicant has to convey lands due to the setbacks from the centreline of construction of Hwy 27 to York Region free of cost and encumbrances
- In addition, the Owner has to convey 10x10 metres daylighting areas at the northwest and south west corners from the widened limits of the property line along Dalton Road and the entrance.
- The Detailed technical comments and conditions will be provided in the future site plan stage.

Transportation Planning Comments:

- Transportation Planning has reviewed the Zoning Bylaw Amendment application along the supporting Transportation Impact Study (Paradigm, dated March 2024). Transportation Planning has no objections to the proposed Zoning Bylaw Amendment related to land use, subject to the following comments being addressed prior to approval of the ZBA. Detailed

technical comments and conditions will be provided in the future development application stages for the development proposal, as appropriate.

- The applicant shall provide a Response matrix with future submissions, which includes a brief response explanation along with identifying where in the report/figure/drawings each comment provided below is addressed.
 - The applicant shall provide an addendum with further assessment to support the proposed full-moves access. If support is not practicable, then the transportation study shall revise the access to right-in/right-out operations.
 - Provide details of the left-turn warrant analysis, including the methodology and any referenced graph used; And update the justification as needed. It appears that the warrant (graph) used may have been incorrectly based on two lane highways, which is inconsistent with the existing lane cross-section for Dalton Road. As such, the percentage of left turning traffic being less than 5% of the approaching traffic might not be appropriate justification for use of considering a left turn warrant.
 - Provide a review of the access/intersection spacing and operations with the motel/lodge access on the east side of Dalton Rd. Review the potential for conflicts or adjacent access blocking due to southbound left turn queues at the motel AND northbound left turn queues at the proposed development, including possible impacts on either development.
 - Provide details and figures, which may include photos, for the sightline analysis. This should include methodology and analysis parameters used that shall demonstrate proper sightlines with the trees/foilage north of the site, at a minimum.
 - Confirm any potential impacts between the proposed site access and the Tim Horton's driveway to the south. The Study cites the spacing between accesses as 70.0 metres apart, which appears to be notably larger than what is shown on the proposed site plan drawing. It should be noted that spacing between accesses/intersections should be measured from the end to start of the curb returns, as per the Region's Access Guidelines.

Thank you,

Maryam Ahmed, B.U.R.PL. | Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
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THE CORPORATION OF THE TOWN OF GEORGINA

REPORT NO. DS-2024-0062

**FOR THE CONSIDERATION OF
COUNCIL**

October 23, 2024

**SUBJECT: APPLICATION TO REMOVE A HOLDING (H) PROVISION
BALLYMORE DEVELOPMENT (KESWICK) CORPORATION
BLOCKS 100 AND 101, REGISTERED PLAN 65M-4700
S/S DOVEDALE DRIVE, N/S DOROTHY CAINE CRESCENT**

1. RECOMMENDATIONS:

- 1. That Council receive Report No. DS-2024-0062 prepared by the Development Planning Division, Development Services Department dated October 23, 2024 respecting an application to amend Zoning By-law No. 500 for the removal of a Holding (H) provision, submitted by Melinda Bessey on behalf of Ballymore Development (Keswick) Corporation for lands on the south side of Dovedale Drive and the north side of Dorothy Caine Crescent in Keswick;**
- 2. That Council approve the request to remove the ‘Holding – (H)’ Provision and the “H” symbol from the zoning maps for the subject properties as outlined in Report DS-2024-0062; and,**
- 3. That Council pass a by-law to remove the Holding (H) provision from Zoning By-law No. 500, as amended by By-law 500-2020-0003 (PL-5).**

2. PURPOSE:

The purpose of this report is to obtain Council’s approval to remove a Holding (H) symbol from the zoning that was affixed to two future development blocks located on the south side of Dovedale Drive and on the north side of Dorothy Caine Crescent as part of the enactment of amending By-law 500-2020-0003 (PL-5) on February 26, 2020 (refer to Attachment 3).

A Holding (H) symbol was imposed on the above noted blocks to restrict development until such time as confirmation is received from the Lake Simcoe Region Conservation Authority (LSRCA) that either the heronry adjacent to the site is no longer active, or that it has been demonstrated that development within this zone will not harm any remaining habitat area. Confirmation has now been received from the LSRCA that development within this zone will not harm any remaining habitat area. The removal of the Holding (H) symbol will facilitate the development of 14 additional single detached dwellings within the development currently under construction.

3. BACKGROUND/ANALYSIS:

OWNER/APPLICANT: Ballymore Development (Keswick) Corporation

AGENT: Melinda Bessey

PROPERTY: (refer to Attachments 1 and 2)
s/s Dovedale Drive, n/s Dorothy Caine Crescent
Blocks 100 and 101, Registered Plan 65M-4700

ROLL NUMBERS: 143-46704 and 143-46703

FILE NUMBER: 03.1188

On February 26, 2020, Council enacted By-law 2020-0003 (PL-5) which zoned the subject properties as Low Density Urban Residential (R1-160)(H) as shown on Attachment 3. The Holding (H) provision was applied to the subject properties pending satisfaction of the following condition(s):

- (i) Written confirmation from the Lake Simcoe Region Conservation Authority that the heronry is no longer active or that it has been demonstrated that development within this zone will not harm any remaining habitat area. This will require a post-construction monitoring program for two breeding seasons.

Staff have now received written confirmation from the LSRCA that they have no objection to removal of the Holding (H) symbol since two breeding seasons of post-construction monitoring have been completed and the heronry continues to grow and expand closer to the development (refer to Attachment 4).

Based on the above, Staff is satisfied that the purpose and intent of the conditions for the removal of the Holding (H) provision have now been satisfactorily addressed.

4. PUBLIC CONSULTATION AND NOTICE REQUIREMENTS:

Pursuant to Section 36 of the *Planning Act*, R.S.O. 1990, a formal public meeting is not required; however, notice of Council's intention to remove the Holding (H) provision and pass the amending by-law must be given to all interested parties and by posting a notice on the website of the municipality. The Notice of Intention was posted on the Town's website on October 4, 2024. Notice was provided to all interested parties on October 3, 2024.

As of the writing of this report, no public submissions have been received.

5. FINANCIAL AND BUDGETARY IMPACT:

There are no financial concerns or budgetary impacts on the Town as a result of this application. The owners/applicants will be required to apply for and obtain all necessary approvals associated with building permits, site alteration permits and entrance permits, and to pay the applicable associated costs, such as development charges.

6. CONCLUSION:

Staff are of the opinion that the condition imposed for the removal of the Holding (H) provision has been satisfied and it is recommended that Council approve the removal of the “H” symbol from the zoning map and pass the associated bylaw as it pertains to the subject properties.

APPROVALS

Prepared By: Brittany Dobrindt
Planner II

Reviewed By: Janet Porter, MCIP, RPP
Manager of Development Planning

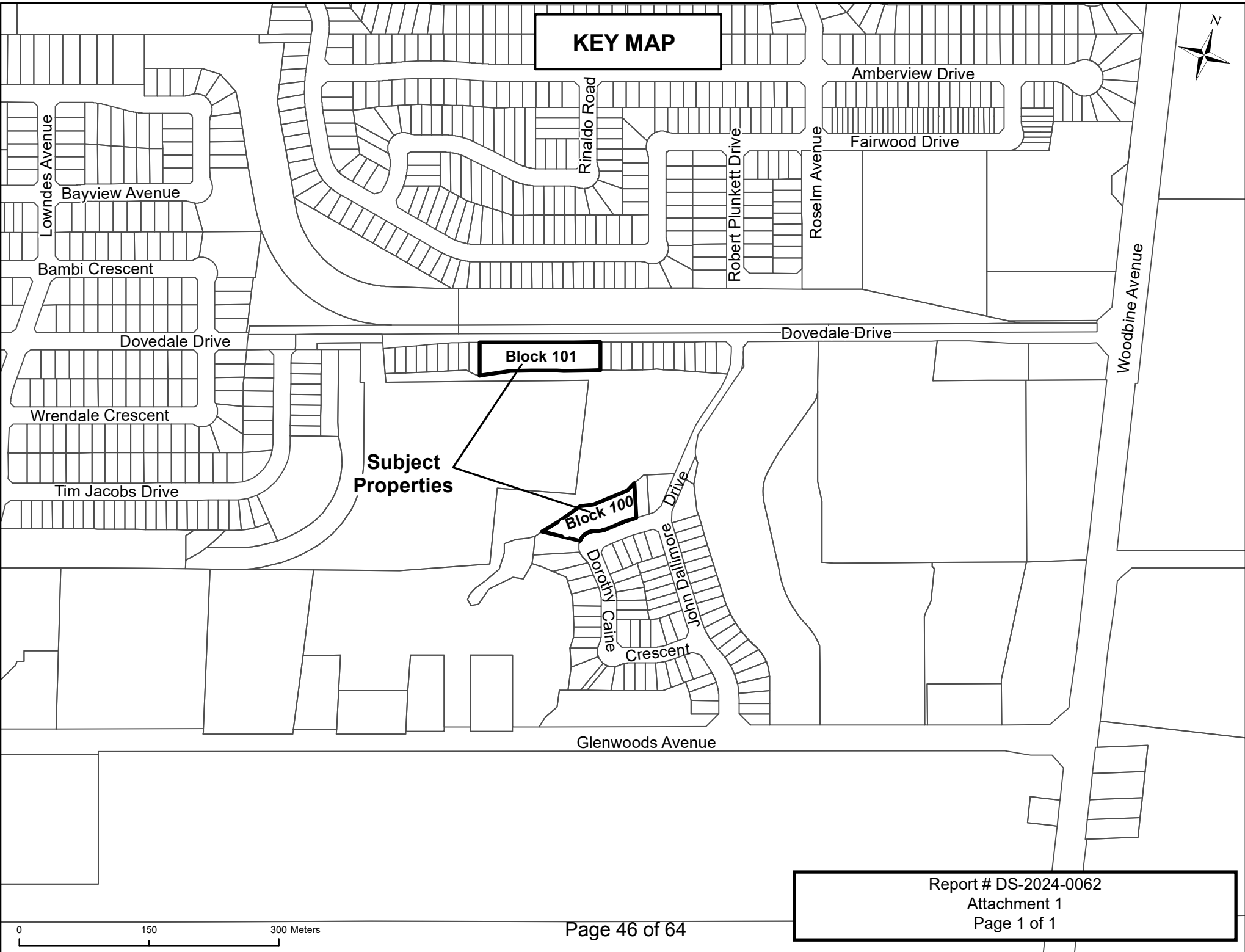
Recommended By: Denis Beaulieu, MCIP, RPP
Director of Development Services

Approved By: Ryan Cronsberry
Chief Administrative Officer

Attachments:

Attachment 1 – Key Map
Attachment 2 – Plan 65M-4700
Attachment 3 – Notice of Passing and By-law 500-2020-0003
Attachment 4 – LSRCA Comments dated September 18, 2024

KEY MAP



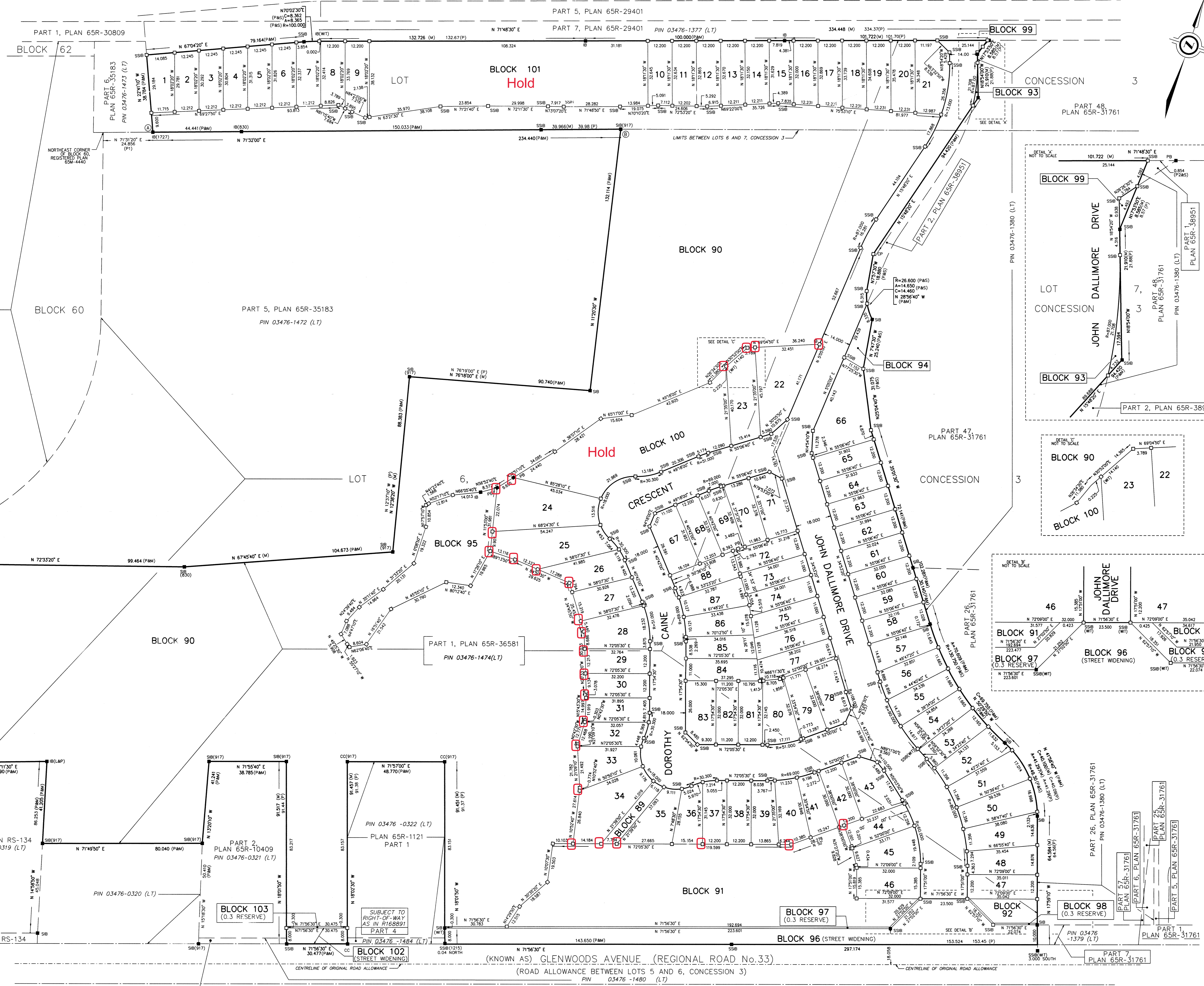
**Subject
Properties**

Block 101

Block 100

Report # DS-2024-0062
Attachment 1
Page 1 of 1

LOT/BLOCK	RADIUS	CURVE	TABLE	CHORD	BEARING
LOT 1	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 2	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 3	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 4	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 5	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 6	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 7	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 8	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 9	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 10	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 11	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 12	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 13	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 14	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 15	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 16	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 17	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 18	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 19	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 20	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 21	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 22	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 23	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 24	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 25	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 26	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 27	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 28	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 29	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 30	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 31	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 32	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 33	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 34	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 35	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 36	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 37	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 38	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 39	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 40	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 41	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 42	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 43	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 44	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 45	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 46	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 47	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 48	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 49	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 50	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 51	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 52	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 53	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 54	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 55	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 56	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 57	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 58	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 59	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 60	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 61	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 62	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 63	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 64	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 65	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 66	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 67	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 68	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 69	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 70	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 71	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 72	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 73	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 74	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 75	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 76	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 77	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 78	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 79	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 80	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 81	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 82	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 83	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 84	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 85	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 86	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 87	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 88	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 89	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 90	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 91	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 92	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 93	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 94	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 95	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 96	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 97	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 98	100.000	8.365	8.365	N 89° 59' 59" W	W
LOT 99	100.000	8.365	8.365	N 10° 00' 00" E	E
LOT 100	100.000	8.365	8.365	N 89° 59' 59" W	W



PLAN 65M-4700

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION (No. 65) AT 09:35 O'CLOCK ON THE 23 DAY OF July 2021 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 03476-1474 (LT) AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. 182366244 "M. PICKARD" REPRESENTATIVE FOR LAND REGISTRAR

PLAN OF SURVEY OF PART OF LOTS 6 AND 7 CONCESSION 3 GEOGRAPHIC TOWNSHIP OF NORTH GUILMBURY TOWN OF GEORGINA REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 750

J.D. BARNES LIMITED

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 88 BOTH INCLUSIVE, BLOCKS 89 TO 95 BOTH INCLUSIVE, 99 TO 101 BOTH INCLUSIVE, THE STREET WIDENINGS NAMELY BLOCKS 96 AND 102, THE O.3 RESERVES NAMELY BLOCKS 97, 98 AND 103, THE STREETS NAMELY JOHN DALLIMORE DRIVE, AND DOROTHY CANE CRESCENT HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS ARE HEREBY DEDICATED TO THE CORPORATION OF THE TOWN OF GEORGINA AS PUBLIC HIGHWAY.
- THE STREET WIDENINGS ARE HEREBY DEDICATED TO THE REGIONAL MUNICIPALITY OF YORK AS PUBLIC HIGHWAY.

DATED THIS 5th DAY OF May, 2021

BALLYMORE DEVELOPMENT (KESWICK) CORP.

LOUIE MORRA, PRESIDENT
"HAVE THE AUTHORITY TO BIND THE CORPORATION"

NOTES

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999752.

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD83 (CSRS) (2010.0)

COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10.

POINT ID	EASTING	NORTHING
ORP ①	623 359.77	4 897 276.97
ORP ②	623 592.09	4 897 351.19

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB DENOTES STANDARD IRON BAR
- SB DENOTES SHORT STANDARD IRON BAR
- SB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- BY DENOTES WITNESS
- M DENOTES MEASURED
- M DENOTES MEASURED
- SET DENOTES SET
- P DENOTES PLAN 65R-36581
- P DENOTES REGISTERED PLAN 65M-4440
- P2 DENOTES PLAN 65R-38951
- 917 DENOTES R.A. GARDEN LTD. OLS
- 1727 DENOTES E.A. GARDEN LTD. OLS
- 830 DENOTES E.W. PETZOLD, OLS
- L&P DENOTES LLOYD AND PURCELL LTD. OLS
- 1215 DENOTES OTTO ERTL, OLS

SURVEY MONUMENTS FOUND ARE J.D.BARNES LIMITED, UNLESS OTHERWISE NOTED. SURVEY MONUMENTS PLANTED ARE IRON BAR, UNLESS OTHERWISE NOTED. WIDTH OF 0.3 RESERVES EXAGGERATED FOR CLARITY. DISTANCES SHOWN ON CURVED LIMITS ARE ARC MEASUREMENTS.

ALL SET SSB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF OREG. 525/91.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON FEBRUARY 24, 2021.

MAY 5, 2021 DATE

Harold W. Leivers, M.C.I.P., R.F.S. ONTARIO LAND SURVEYOR

MUNICIPAL APPROVAL

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, C.P.13

THIS 13 DAY OF JULY 2021

For: *K. Blome (Acting)*
HAROLD W. LEIVERS, M.C.I.P., R.F.S.
DIRECTOR OF DEVELOPMENT SERVICES

Report # DS-2024-0062
Attachment 2
Page 1 of 1

Drawn By: YJ CHECKED BY: GGR REFERENCE NO.: 16-21-907-00
FILE: G:\16-21-907\00\Drawings\1621907.dwg DATED: MAY 3, 2021

J.D. BARNES SURVEYING MAPPING & GIS
LAND INFORMATION SPECIALISTS
140 KENNEDY DRIVE, SUITE 100, MARKHAM, ON L3R 6B3
T: (905) 477-3600 F: (905) 477-3882 www.jdbarnes.com



GEORGINA

NOTICE OF PASSING OF A ZONING BY-LAW BY THE CORPORATION OF THE TOWN OF GEORGINA

TAKE NOTICE that the Council of The Corporation of the Town of Georgina passed By-law Number 500-2020-0003 (PL-5) on the **26th day of February, 2020** pursuant to Sections 34 and 36 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended.

AND TAKE NOTICE that through the circulation and review of the application to amend Zoning By-law Number 500, the public provided 8 written and 6 verbal submissions to the Town. The public also provided to Council 1 verbal submission at the October 15, 2013 public meeting, 2 verbal submissions at the August 13, 2014 public meeting, 1 verbal submission at the May 24, 2017 public meeting, and 3 verbal submissions at the September 26, 2018 public meeting. Council considered all public submissions received on this application and Staff Reports No. PB-2013-0099, No. PB-2014-0052, No. DS-2017-0046 and No. DS-2018-0111, the effect of which helped Council to make an informed decision.

The purpose of Zoning By-law Number 500-2020-0003 (PL-5), which amends Zoning By-law Number 500, is to rezone the subject lands from 'Rural' (RU) to 'Low Density Urban Residential' ('R1-153', 'R1-154', 'R1-155', 'R1-160' and 'R1-160(H) and 'Open Space' ('OS', 'OS-105' and 'OS-106') in order to facilitate a plan of subdivision comprised of single detached dwellings, a storm water management facility, and blocks for open space and environmental protection.

ANY APPEALS of the Zoning By-Law Amendment must be filed to the Local Planning Appeal Tribunal in respect of the By-law by filing with the Clerk of the Corporation of the Town of Georgina not later than 4:30 p.m. on the **26th day of March 2020**. A notice of appeal must set out the reasons for the appeal and must be accompanied by a completed Local Planning Appeal Tribunal form "Appellant Form (A1)", a certified cheque or money order in the amount of \$300.00 payable to the Minister of Finance, and payment of the Town's Administrative Fee of \$306.00. A copy of the appellant form is available on the Tribunal's website at: www.elto.gov.on.ca.

A complete By-law is available for viewing in the Clerk's Division during regular office hours.

Dated at the Town of Georgina this **6th day of March 2020**.

Mamata Baykar, Deputy Clerk
The Corporation of the Town of Georgina

OWNERS:	Ballymore Development (Keswick) Corp. c/o Larry Dekkema
APPLICANT:	Michael Smith Planning Consultants; Development Coordinators Ltd.
DESCRIPTION:	Part of Lots 6 & 7, Concession 3 (NG) Parts 56, 58 & 59, Plan 65R-31761 Roll No.: 143-466 & 146-574
FILE NUMBER:	03.1069 – Zoning By-law Amendment

NOTE: Only individuals, corporations and public bodies may appeal a zoning by-law to the Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the council or, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

**THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK
BY-LAW NUMBER 500-2020-0003 (PL-5)**

**A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW TO REGULATE
THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF BUILDINGS
AND STRUCTURES WITHIN THE TOWN OF GEORGINA.**

Pursuant to Section 34 of the *Planning Act*, R.S.O., 1990, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 2, pg. 2, of Schedule 'A' to Zoning By-law Number 500, as amended, is hereby further amended by changing the zone symbol from 'RU' to 'R1-153', 'R1-154', 'R1-155', 'R1-160', 'R1-160(H)', 'OS', 'OS-105' and 'OS-106' on lands described as Part of Lots 6 and 7, Concession 3 (N.G.), shown in heavy outline and designated 'R1-153', 'R1-154', 'R1-155', 'R1-160', 'R1-160(H)', 'OS', 'OS-105' and 'OS-106' in Schedule 'A' attached hereto.
2. That Section 7.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 7.5.107, the following:

"7.5.108	PART OF LOTS 6 & 7, CONCESSION 3 (N.G.) N/S GLENWOODS AVENUE S/S DOVEDALE DRIVE	'R1-153', 'R1-154', 'R1-155', 'R1-160' & 'R1-160 (H)' (Map 2, pg. 2)
-----------------	--	---

- a) Notwithstanding Sections 6.1 (a), (b), (c), (d), (e), (f), and (i), the following requirements shall apply on lands shown in heavy outline and designated 'R1-153', 'R1-154', 'R1-155', 'R1-160' and 'R1-160(H)', in Schedule 'A' attached hereto:

Zone	R1-153	R1-154 & R1-155	R1-160 & R1-160 (H)
Lot Frontage (Minimum) Interior Lot Corner Lot	11.0 metres 14.0 metres	12.2 metres 15.2 metres	15.0 metres 18.0 metres
Lot Area (Minimum) Interior Lot Corner Lot	330 m ² 420 m ²	366 m ² 456 m ²	450 m ² 540 m ²
Front Yard (Minimum) To Attached Garage To Dwelling	6 metres (i) 5 metres (i)	6 metres (i) 5 metres (i)	6 metres (i)(ii) 5 metres (i)
Exterior Side Yard (Minimum)	4 metres (i) (ii)	4 metres (i) (ii)	4 metres (i) (ii)
Rear Yard (Minimum)	7.5 metres	7.5 metres	7.5 metres
Interior Side Yard (Minimum)	1.2 metres and 0.6 metres on the other side, plus 0.5 metres for each additional or partial storey above the second (iii)	1.2 metres and 0.6 metres on the other side, plus 0.5 metres for each additional or partial storey above the second (iii)	1.2 metres, plus 0.5 metres for each additional or partial storey above the second (iii)
Lot Coverage (Maximum)	Not Applicable	Not Applicable	Not Applicable

- (i) The minimum setback for the main wall of a dwelling to a sight triangle which forms part of the street shall be 2.5 metres, and the minimum setback for any other building or structure to a sight triangle which forms part of the street shall be 0.6 metres.
- (ii) No entrance shall be permitted to provide access to the exterior flankage of a corner lot. Notwithstanding the foregoing, an entrance shall be permitted to the exterior flankage of the corner lot zoned 'R1-155'. For a lot zoned 'R1-155', the minimum exterior side yard setback shall be 6 metres to an attached garage. Further, where a garage door faces an interior side lot line the minimum front yard setback to the garage shall be 5 metres.

- (iii) Where there is a detached garage in the rear yard of a lot, the minimum interior side yard on the side providing access to a detached garage shall be 3.5 metres.
- b) Notwithstanding Sections 5.28 (h) and (i), and any other provisions to the contrary, the following additional requirements shall apply to garages, driveways, and parking areas:
 - (i) Every lot shall provide a garage.
 - (ii) The minimum interior dimensions of a garage shall be 4.5 metres in width by 5.7 metres in length. Furthermore, the maximum interior garage width shall be 6 metres, in all residential zones.
 - (iii) No encroachments shall be permitted into a required parking space located within a garage, save and except for one step (2 risers) into the minimum garage length.
 - (iv) With the exception of corner lots, no attached garage shall project into the front yard more than 1 metre beyond the most distant point of any wall of the dwelling facing the street at the ground floor level, or more than 2 metres beyond the most distant point of any wall of the dwelling facing the street at the ground floor level where there is a covered unenclosed porch or entry feature. In no case shall an attached garage project forward beyond a covered unenclosed porch or entry feature adjacent to the attached garage.

For corner lots, no attached garage shall project into the front yard more than a maximum of 2.0 metres beyond the most distant point of any wall of the dwelling facing the street at the ground level with or without an enclosed porch or entry feature adjacent to the attached garage.

- (v) Notwithstanding (iv) above, on those lands zoned 'R1-160' and 'R1-160 (H)' in Schedule 'A' hereto, where a dwelling contains an attached garage with the garage door(s) facing an interior side lot line, the following shall apply:
- i. The attached garage may project into the front yard a maximum of 9 metres beyond the most distant point of any wall of the dwelling facing the street at ground level and 7.0 metres beyond a covered unenclosed porch or entry feature, subject to the minimum front yard requirements.
 - ii. The attached garage shall be setback a minimum of 7 metres from the interior side lot line the garage door(s) faces.
 - iii. No portion of any building or structure shall project into the vehicular access (inclusive of, but not limited to, driveways or parking areas) of the attached garage.
- (vi) In the case of a dwelling with an attached garage, no part of any driveway or parking area in the front yard shall be located closer than 0.6 metres from a sight triangle and 0.9 metres from a side lot line. Furthermore, the maximum width of a driveway or parking area in the front yard shall be the interior width of the attached garage on the lot, plus 0.5 metres.
- (vii) In the case of a lot with a detached garage in the rear yard, no part of any driveway or parking area shall be located closer than 0.9 metres from a side lot line. Furthermore, the minimum width of a driveway leading to a parking area and a detached garage in the rear yard shall be 2.5 metres, and the maximum width of a driveway or parking area in the front yard shall be 3 metres.

- c) Notwithstanding the provisions of Section 5.12, the erection of fences on residential lots shall be subject to the following:
- (i) Fences not exceeding 2 metres in height are permitted in the rear yard, as well as within the back half of the interior side yard. Such fences are exempt from the minimum yard requirements. Any fence within the above noted yards that exceeds 2 metres in height must be erected in compliance with the minimum yard requirements for the appropriate zone.
 - (ii) Fences are permitted in the front and exterior side yards, as well as the front half of the interior side yard, provided such fence does not exceed 0.9 metres in height. Such fences are exempt from the minimum yard requirements of the by-law.
 - (iii) Notwithstanding (ii) above, where the front yard abuts the rear yard or back half of the interior side yard of an abutting residential lot, fences not exceeding 2 metres in height are permitted along the common lot line.
 - (iv) Notwithstanding (i) and (ii) above, where a lot or block abuts a commercial zone, a fence may be erected along the common lot line or in the commercial zone to a maximum height of 3 metres.
- d) Notwithstanding Section 5.45 (a) as it applies to yard encroachments for Unenclosed Porches and Steps in the required front and exterior side yard areas, unenclosed porches are permitted to encroach 2 metres into any required front yard or exterior side yard with an additional 0.5 metre encroachment permitted for steps. All other yard encroachments as provided in Section 5.45 (a) within By-law Number 500, as amended, continue to apply.

e) Finally, notwithstanding any other provision herein, while the (H) Holding symbol is in place, no building or structure, and no site alteration or development, shall be permitted to be erected on lands shown in heavy outline and designated 'R1-160 (H)' in Schedule 'A' attached hereto. Pursuant to Section 36 of the *Planning Act*, R.S.O. 1990 as amended, Council shall enact a by-law to remove the (H) Holding symbol from the land under the following circumstance:

(i) Written confirmation from the Lake Simcoe Region Conservation Authority that the heronry is no longer active or that it has been demonstrated that development within this zone will not harm any remaining habitat area. This will require a post-construction monitoring program for two breeding seasons.

For purposes of this section, a heronry is defined within the Natural Heritage Reference Manual and Significant Wildlife Habitat Criteria Schedules for Ecoregion 6 E.”

3. That Section 27.5 **SPECIAL PROVISIONS** of Zoning By-law Number 500 as amended, is hereby further amended by adding after Subsection 27.5.104, the following:

“27.5.105 PART OF LOTS 6 AND 7, CON.3 (N.G.) ‘OS-105’
N/S GLENWOODS AVENUE (Map 2, pg. 2)

Notwithstanding Section 27.2, on lands shown in heavy outline and designated 'OS-105' in Schedule 'A' attached hereto, only the following non-residential uses shall be permitted:

- conservation or forestry use
- municipal road
- accessory buildings, structures and uses to any permitted use.

27.5.106 PART OF LOTS 6 AND 7, CON.3 (N.G.) ‘OS-106’

N/S GLENWOODS AVENUE

(Map 2, pg. 2)

Notwithstanding Section 27.2, on lands shown in heavy outline and designated 'OS-106' in Schedule 'A' attached hereto, only the following non-residential uses shall be permitted:

- storm water pond, including access driveway
- accessory buildings, structures and uses to any permitted use."

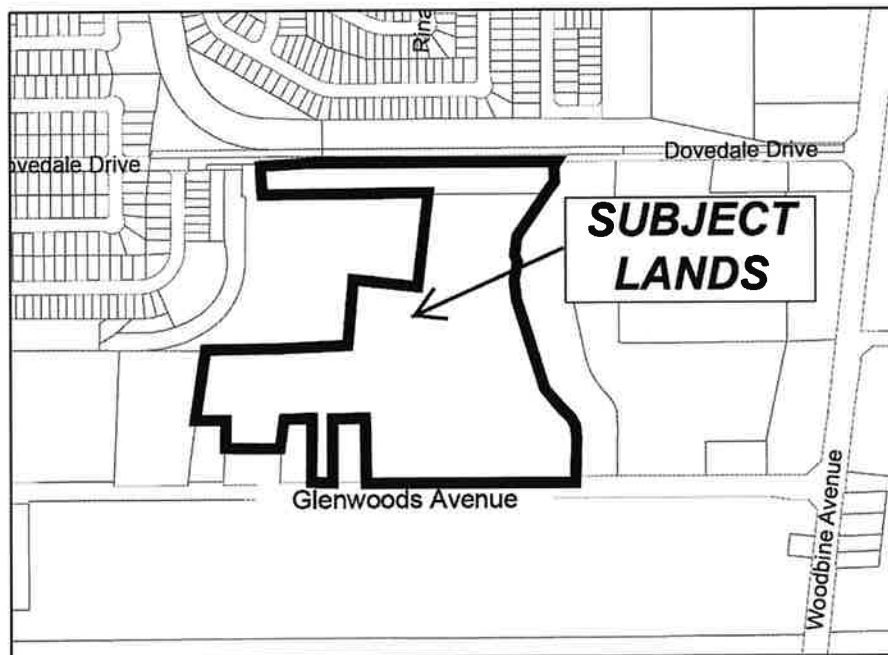
READ and enacted this 26th day of February, 2020.


Margaret Quirk, Mayor


Rachel Dillabough, Town Clerk

**EXPLANATORY NOTE (BALLYMORE DEVELOPMENT (KESWICK) CORP.)
(TOWN FILE NO.: 03.1069)**

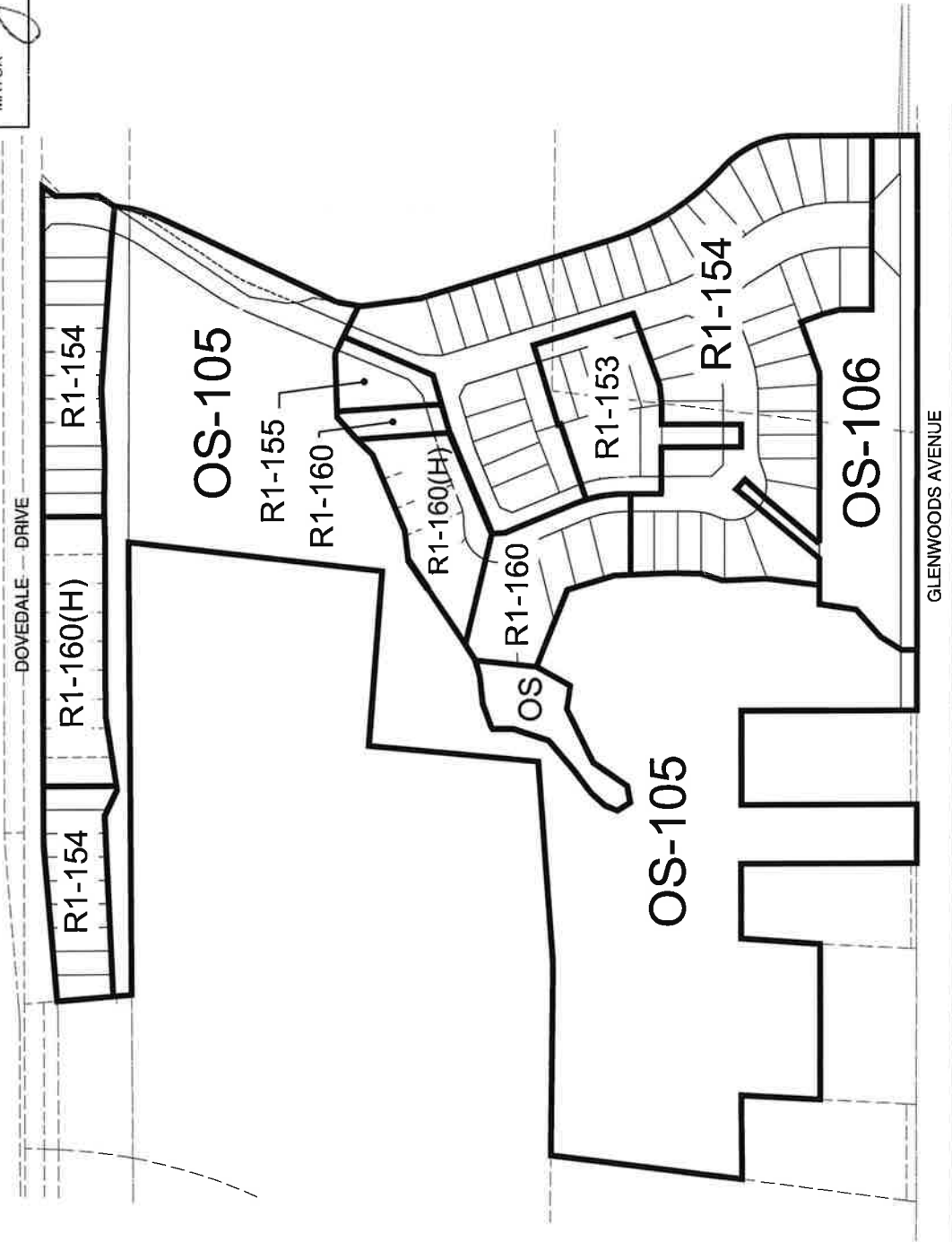
1. The purpose of Zoning By-law Number 500-2020-0003 (PL-5), which amends Zoning By-law Number 500, is to rezone the subject lands from 'Rural' (RU) to 'Low Density Urban Residential' ('R1-153', 'R1-154', 'R1-155', 'R1-160' and 'R1-160(H)') and 'Open Space' ('OS', 'OS-105' and 'OS-106') in order to facilitate a plan of subdivision comprised of single detached dwellings, a storm water management facility, and blocks for open space and environmental protection.
2. Two areas are zoned 'Low Density Urban Residential' ('R1-160(H)'). These areas cannot be developed until the (H) Holding symbol is removed. The Holding symbol has been put in place to protect a blue heron colony or heronry. At such time as the Lake Simcoe Region Conservation Authority has advised the Town that the holding provisions are no longer required, the Town may, by amendment to the zoning by-law, remove the Holding zone symbol.
3. Zoning By-law Number 500-2020-0003 (PL-5) conforms to the Town of Georgina Official Plan, as amended by the Keswick Secondary Plan.
4. A **Key Map** showing the location of the land to which By-law Number 500-2020-0003 (PL-5) applies is shown below.



**BY-LAW NUMBER 500-2020-0003 (PL-5) WHICH AMENDS ZONING BY-LAW
NO. 500 OF THE CORPORATION OF THE TOWN OF GEORGINA**

PART OF LOTS 6 AND 7, CONCESSION 3
 TOWN OF GEORGINA
 THE REGIONAL MUNICIPALITY OF YORK
 GEOGRAPHIC TOWNSHIP OF NORTH WILLIMBURY

THIS IS SCHEDULE 'A' TO
 BY-LAW 500-2020-0003 (PL-5)
 PASSED THIS 26th DAY OF
 FEBRUARY 2020
Rachel D. [Signature]
 CLERK
Debra [Signature]
 MAYOR



Report # DS-2024-0062
 Attachment 3
 Page 10 of 10

SCHEDULE 'A' TO BY-LAW 500-2020-0003 (PL-5)

From: [Dave Ruggle](#)
To: [Brittany Dobrindt](#)
Subject: Ballymore - Heronry Site - Removal of the Holding Provision
Date: September 18, 2024 3:53:11 PM

CAUTION! This email is originated from **outside the organization**. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please forward the message to support@georgina.ca. If you think you may have clicked on a phishing link, please contact the IT Service Desk immediately at 905-476-4301 ext. 2256.

Hi Brittany,

I can advise that the LSRCA have no objection to the removal of the Holding Provision for Zoning By-law 500-2020-0003. The removal of the holding provision requires: *Written confirmation from the Lake Simcoe Region Conservation Authority that the heronry is no longer active or that it has been demonstrated that development within this zone will not harm any remaining habitat area. This will require a post-construction monitoring program for two breeding seasons.*

Monitoring for two breeding seasons post-construction has been completed and the heronry is continuing to grow and expand closer to the development.

Please let me know if you have any questions or require anything further.

Thanks,

Dave

Dave Ruggle, BAA, MCIP, RPP

Manager, Planning

Lake Simcoe Region Conservation Authority

120 Bayview Parkway,

Newmarket, Ontario L3Y 3W3

905-895-1281, ext. 240 | 1-800-465-0437 |

d.ruggle@LSRCA.on.ca | www.LSRCA.on.ca

Report # DS-2024-0062

Attachment 4

Page 1 of 1

MEMORANDUM

TO: Mayor Quirk
Members of Council

FROM: Rachel Dillabough, Town Clerk

SUBJECT: General Information Items

DATE: October 23, 2024

Please notify the Clerk's office if you wish to have any of these items placed on the agenda for discussion:

- i) Monthly Building Report for September, 2024.
- ii) Bradford West Gwillimbury endorsing the expansion of the Ontario Deposit Return Program to include non-alcoholic beverage containers.
- iii) Regional Council Decision respecting report entitled 'Source Water Protection Committee Appointment' delegating authority to the Commissioner of Public Works to nominate York Region's municipal representatives on Credit Valley, Toronto Region and Central Lake Ontario and the South Georgian Bay Lake Simcoe Source Protection Committees.
- iv) Regional Council Decision respecting report entitled 'Update on the Paramedic Services Master Plan 2021-2031', requesting update on models of care innovation fund and advocating for stable, sustainable provincial funding.
- v) Regional Council Decision respecting report entitled 'Dispatch Modernization Update: Implementation of the Medical Priority Dispatch System in November 2024'.
- vi) Regional Council Decision respecting report entitled '2024 Speed Limit Revisions' throughout the Region; in Georgina, Woodbine Avenue (YR 8) to Lake Drive East, 50 km/h reduced to 30 km/h, this section functions as a local road adjoining 30 km/h neighbourhood with high pedestrian volumes.

:rd

THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK

BY-LAW NUMBER 2024-0068 (PL-1)

BEING A BY-LAW TO DEEM CERTAIN REGISTERED PLANS OF SUBDIVISION OR PARTS THEREOF NOT TO BE REGISTERED PLANS OF SUBDIVISION FOR THE PURPOSES OF SECTION 50(3) OF THE PLANNING ACT, R.S.O. 1990, c.P.13, AS AMENDED.

WHEREAS Lot 32, Registered Plan 180 and Lot 33, Registered Plan 180 are whole lots on a registered plan of subdivision that can be conveyed independently;

AND WHEREAS the registered owners of lands described as Lot 32 and Lot 33, Registered Plan 180 desire to merge the lands together to allow severing of the land to take place;

AND WHEREAS this deeming by-law will legally cause Lot 32 and Lot 33, Registered Plan 180, to merge in title, thereby creating a single landholding;

NOW THEREFORE, pursuant to Section 50(4) of the *Planning Act*, R.S.O. 1990, as amended, the Council of the Corporation of the Town of Georgina ENACTS AS FOLLOWS:

1. **THAT** Lot 32 and Lot 33, Registered Plan 180, of the Town of Georgina in the Regional Municipality of York, are hereby deemed not to be lots within a registered plan of subdivision for the purposes of Section 50(3) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended.

READ and enacted this 23rd day of October 2024.

Margaret Quirk, Mayor

Mamata Baykar, Deputy Clerk

THE CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK

BY-LAW NUMBER 500-2024-0009 (PL-5)

A BY-LAW TO AMEND BY-LAW NUMBER 500, BEING A BY-LAW TO REGULATE THE USE OF LANDS AND THE CHARACTER, LOCATION AND USE OF BUILDINGS AND STRUCTURES WITHIN THE TOWN OF GEORGINA.

Pursuant to Section 34 and 36 of the Planning Act, R.S.O., 1990, as amended, the Council of the Town of Georgina **ENACTS AS FOLLOWS:**

1. That Map 2, Page 2, Schedule 'A' to Zoning By-Law Number 500, as amended, is hereby further amended by changing the zone symbol from 'R1-160(H)' to 'R1-160' on the lands described as Parts of Lots 6 and 7, Concession 3 (NG) as it applies to Blocks 100 and 101 on Registered Plan 65M-4700, shown in heavy outline and designated 'R1-160' on Schedule 'A' attached hereto.
2. That Section 7.5.108 **SPECIAL PROVISIONS** of Zoning By-law Number 500, as amended, is hereby further amended by removing all references to 'R1-160(H)' and removing Section 7.5.108 e) in its entirety.

READ and enacted this 23rd day of October, 2024

Margaret Quirk, Mayor

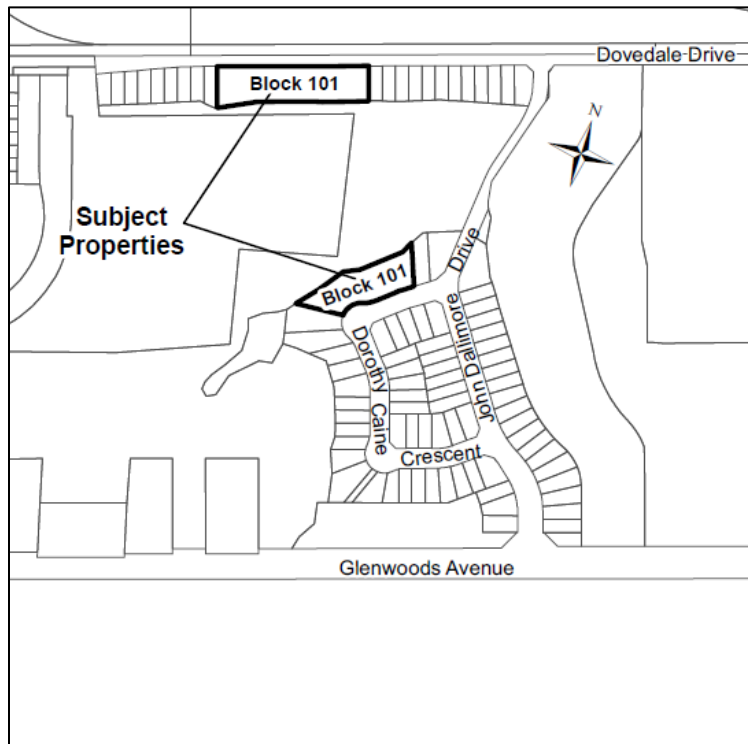
Mamata Baykar, Deputy Clerk

EXPLANATORY NOTE

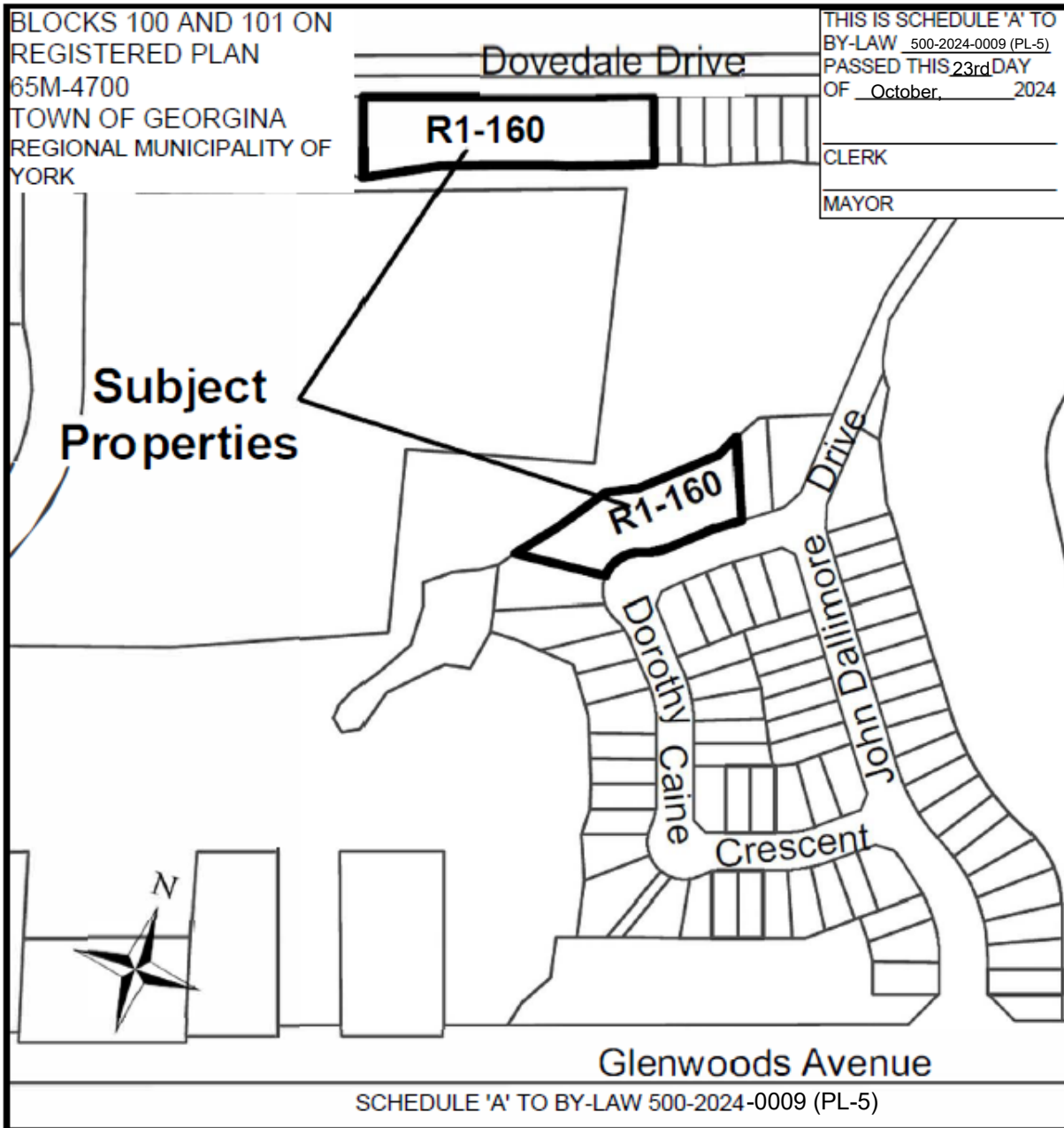
**(Ballymore Development (Keswick) Corporation)
(FILE NO.: 03.1188)**

1. The purpose of Zoning By-law Number 500-2024-0009 (PL-5), which amends Zoning By-law No. 500, is to remove the Holding (H) Symbol that prevents the development of the subject properties. The purpose of the Holding (H) Zone provision was to ensure that development was restricted until such time that confirmation was received from the Lake Simcoe Region Conservation Authority (LSRCA) that either the heronry located near the site is no longer active, or that it has been demonstrated that development within this zone will not harm any remaining habitat area. As confirmation has been received from the LSRCA that development within this zone will not harm any remaining habitat area, the Holding (H) Symbol may be removed in accordance with Section 36 of the Planning Act, R.S.O. 1990, as amended.
2. Zoning By-law Number 500-2024-0009 (PL-5) conforms to the Keswick Secondary Plan.
3. A **KEY MAP** showing the general location of the land to which By-law Number 500-2024-0009 (PL-5) applies is shown below:

KEY MAP



BY-LAW NUMBER 500-2024-0009 (PL-5), WHICH AMENDS ZONING BY-LAW NUMBER 500 OF THE CORPORATION OF THE TOWN OF GEORGINA



CORPORATION OF THE TOWN OF GEORGINA
IN THE
REGIONAL MUNICIPALITY OF YORK

BY-LAW NO. 2024-0069 (COU-2)

BEING A BY-LAW TO CONFIRM THE PROCEEDINGS OF THE
COUNCIL MEETING HELD ON THE 23rd DAY OF OCTOBER, 2024

WHEREAS pursuant to Section 5(1) of the *Municipal Act, 2001*, S.O. 2001, c. M.25 (the Act) as amended, the powers of a municipality shall be exercised by its Council;

AND WHEREAS pursuant to Section 5(3) of the Act, a municipal power, including a municipality's capacity, rights, powers and privileges under Section 9 of the Act, shall be exercised by bylaw unless the municipality is specifically authorized to do otherwise;

AND WHEREAS it is deemed expedient that the proceedings of the Council of the Corporation of the Town of Georgina at this meeting be confirmed and adopted by bylaw;

NOW THEREFORE, the Council of the Corporation of the Town of Georgina, in the Regional Municipality of York, enacts as follows:

1. The actions of the Council of the Corporation of the Town of Georgina at its meeting held on October 23, 2024, in respect of each recommendation contained in the Reports of the Departments and each motion and resolution passed and other action taken by the Council of the Corporation of the Town of Georgina at this meeting, is hereby adopted and confirmed as if all such proceedings were expressly embodied in this bylaw;
2. The Mayor and proper officials of The Corporation of the Town of Georgina are hereby authorized and directed to do all things necessary to give effect to the action of the Council of the Corporation of the Town of Georgina referred to in the preceding section hereof;
3. The Mayor or Deputy Mayor and Clerk or Deputy Clerk are hereby authorized and directed to execute all documents necessary on that behalf and to affix thereto the Seal of the Corporation of the Town of Georgina; and
4. For the purposes of the exercise of the authority of the head of Council to veto a bylaw in accordance with Section 284.11 of the Act, this Confirmatory Bylaw shall be deemed to be separate Confirmatory Bylaws for each item listed on the agenda.

READ AND ENACTED this 23rd day of October, 2024.

Margaret Quirk, Mayor

Mamata Baykar, Deputy Clerk